

Case No. 17DEVPLAN1229

Blue Iguana Carwash



**Louisville Metro Board of Zoning Adjustment Public
Hearing**

Ross Allen, Planner I

Feb. 19, 2018

Request(s)

- **VARIANCE:** from LDC 5.2.4.C.3.a to allow the proposed structure to exceed the 15 ft. maximum front setback along the Bardstown Road property line by approximately 96 feet for a total of 111 feet from the property line (shown as the proposed dedication of right of way line on the development plan).

Location	Requirement	Request	Variance
Maximum Front Setback	15 ft.	111 ft. (from proposed line of dedicated Right of Way)	96 ft.

Request(s)

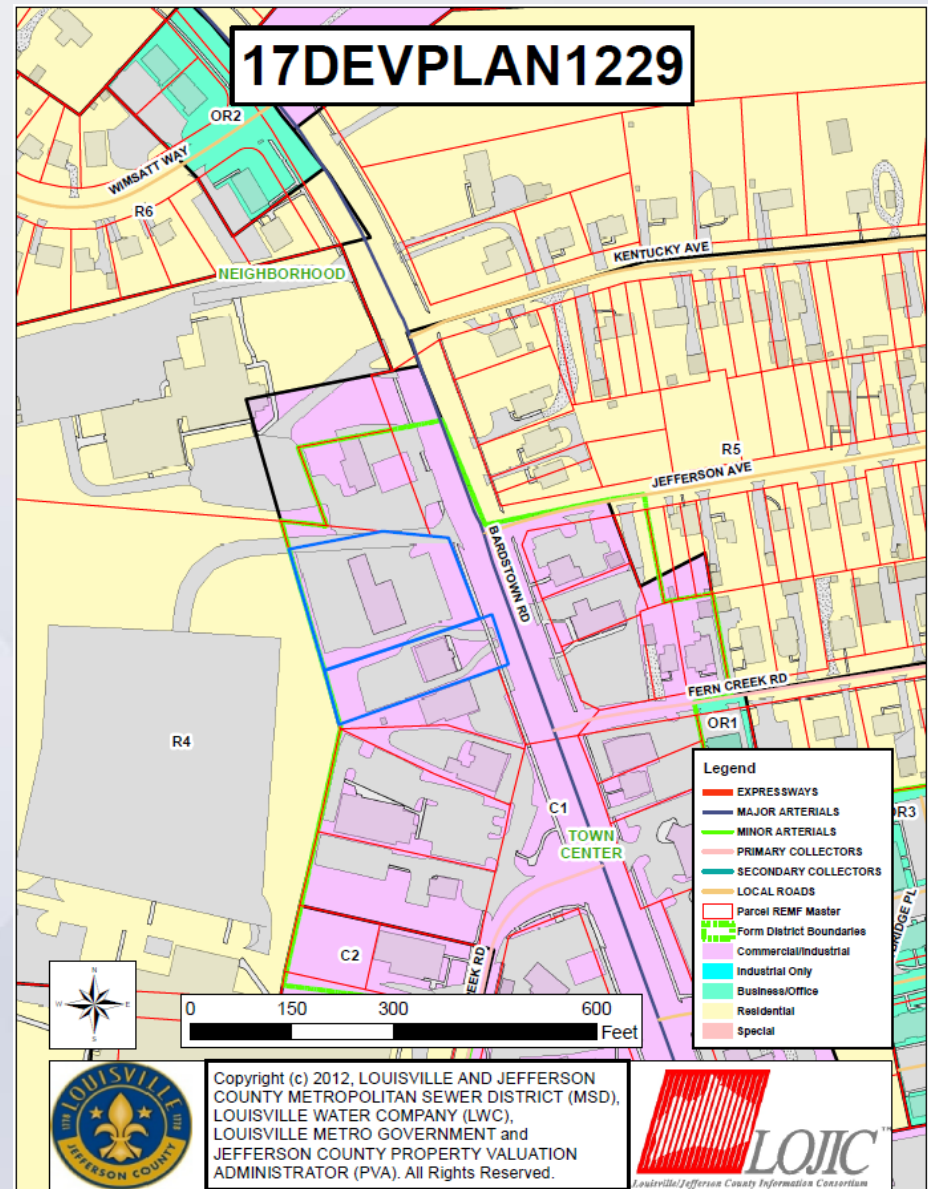
WAIVER: from LDC Section 5.5.1.A.3.a. to allow the parking lot location to be located in the front of the proposed structure as found between the primary structure and Bardstown Road frontage.

Case Summary / Background

- Subject site is two abutting parcels on the western side of Bardstown Road across from the intersections of Jefferson Ave./Bardstown Rd. and Fern Creek Rd./Bardstown Rd. AND North of Fern Creek High School
- Proposal includes the demolition of two existing structures and the construction of an 5,600 sf. Automated Carwash with a 24,074 sf. VUA with 23 parking spaces with one ADA parking space included.

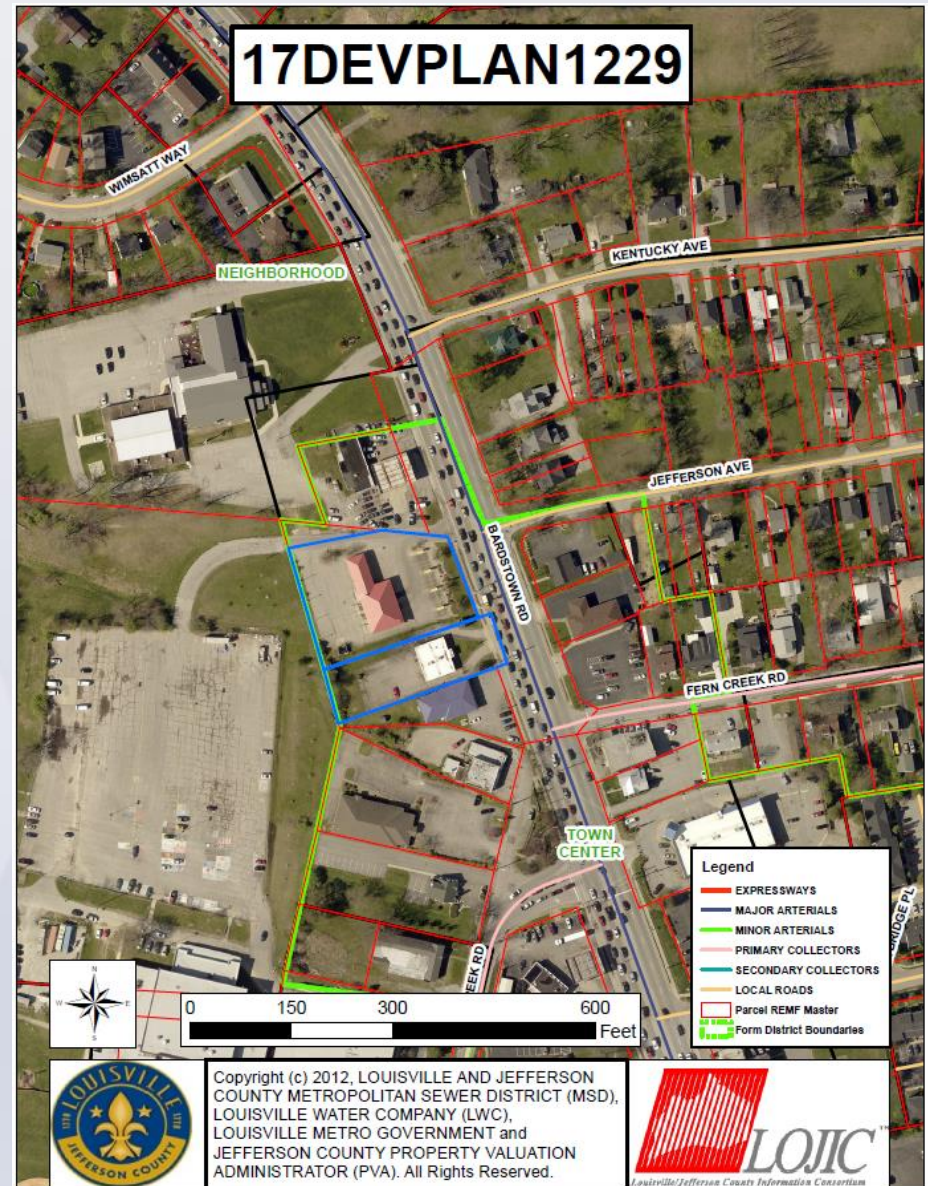
Zoning/Form Districts

- **Subject Property:**
 - Existing: C-1/Town Center
 - Proposed: C-1/Town Center
- **Adjacent Properties:**
 - North: R-4, C-1/Neighborhood, Town Center
 - South: C-1/Town Center
 - East: R-5, C-1/Neighborhood, Town Center
 - West: R-4/Neighborhood



Aerial Photo/Land Use

- **Subject Property:**
 - Existing: Automated and Self-Service Car Wash
 - Proposed: Automated Car Wash
- **Adjacent Properties:**
 - North: Used Car Lot
 - South: Crown Trophy/Fern Creek Optimist Message Center
 - East: Sheldon Vet Care
 - West: Fern Creek H.S. Parking Lot



Site Photos-Subject Property



Looking west from Bardstown Rd. towards the existing carwash (TBR) on the northern parcel of the proposal.

Site Photos-Surrounding Areas



Looking east across Bardstown Rd./Jefferson Ave. towards the R-5 zoned residence (left) and State Farm Insurance (right) in the Town Center Form District.

Site Photos-Surrounding Areas



Looking northwest towards the used car lot north of the subject site.

Site Photos-Surrounding Areas



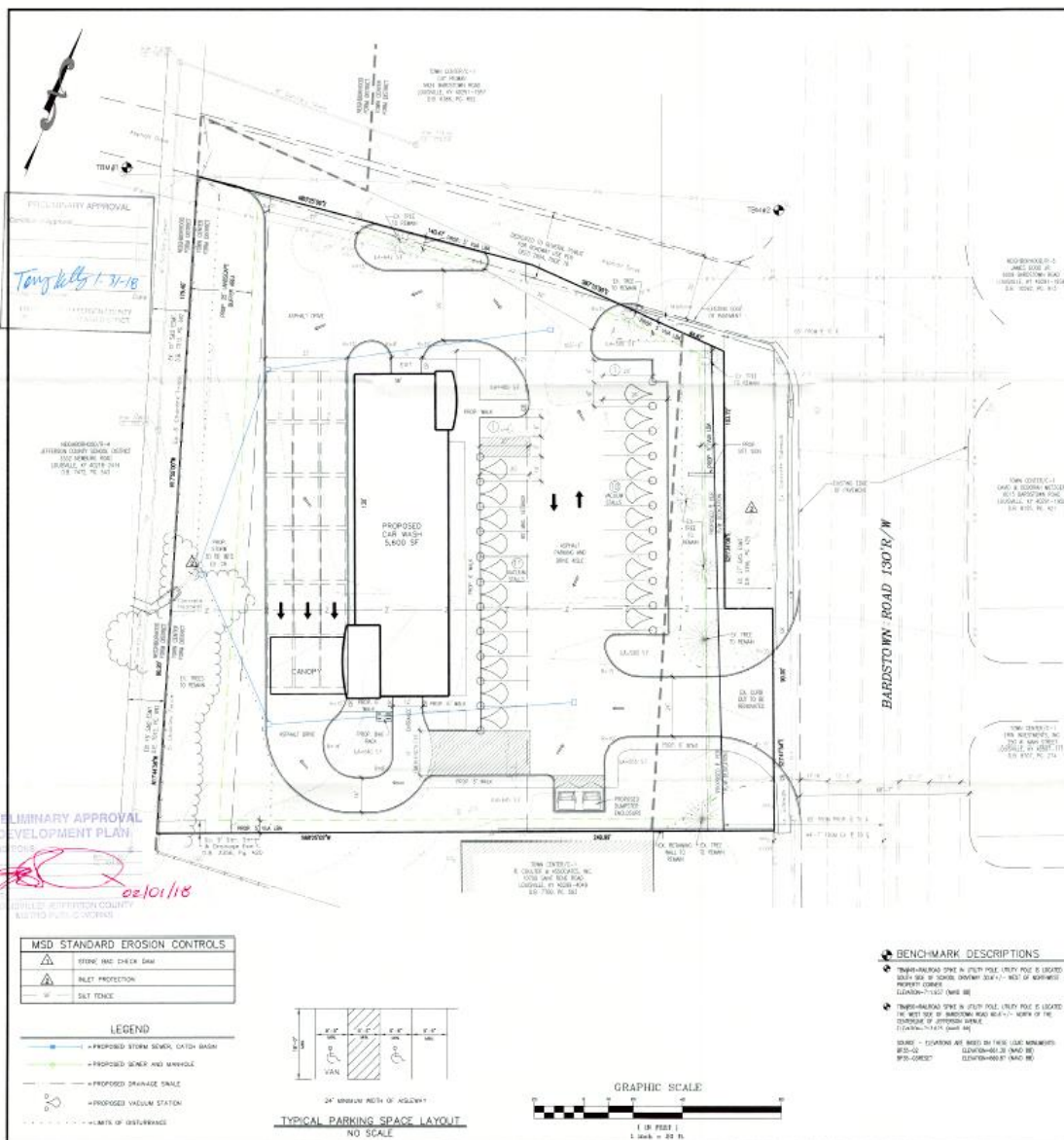
Looking southwest towards the existing Weichert Realtors ABG Properties building (TBR) found on the southern lot of the subject site.

Site Photos-Surrounding Areas



Looking west past the existing carwash (TBR- right), entrance way to Fern Creek H.S. Parking lot, and used car lot north (left) of the subject site.

Applicant's Development Plan



VARIANCE REQUEST

1. A VARIANCE IS REQUESTED FROM LOUISIANA METRO LAND DEVELOPMENT CODE, SECTION 53-4-C, FORM CENTER FORM DISTRICT TO ALLOW THE PROPOSED BUILDING TO EXCEED THE 15' MAXIMUM STORIES (FOR FORM OBJECTS) OF 60.0 FEET. FOR A TOTAL STORIES OF 50.0 FEET FROM THE FRONT PROPERTY LINE.



WAVES REQUEST

1. A WAMP IS REQUESTED FROM LOUISVILLE METRO LAND DEVELOPMENT CODE, SECTION 9.5.1.5a. PARKING LOT LOCATIONS AND DESIGN TO ALLOW THE PARKING LOT TO BE IN FRONT OF THE

PROJECT DATA

- [illegible]

GENERAL NOTES

- [illegible]

MSD NOTES:

7. Sanitary sewer service will be provided by existing collector and subject to applicable fees.
8. No portion of the site is within the 1980 year flood zone as FEMA Map No. 22111C-0006 dated December 5, 2006.
9. Drainage patterns depicted by owner (City) are to be considered tentative. The configuration and size of drainage pipes and channels and the locations during the construction phase (drainage lines and catch basins) will be subject to M&D requirements.
10. A Sansewer Facilities Capacity Request was approved by M&D on January 16, 2018.
11. The final design of this project must meet at least a medium quality riparianity established by M&D. Site layout may change as the design develops due to proper sizing of sewer line management practices.
12. Erosion & Sed Control Plan will be developed and design will be determined on construction phase.
13. Prior to any construction activities on the site, a Forest & Wetland Buffer will be provided to M&D for review.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

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TREE CANOPY CALCULATIONS

- | | |
|--------------------------------------|---------------------------------|
| ERA SITE AREA | = 10,280 S.F. |
| EXISTING TREE CANOPY HIGH | = 0.577 S.F. / 10% OF SITE AREA |
| EXISTING TREE CANOPY TO BE PRESERVED | = 156 (0.577 x 2,700) |
| ERA 10% CANOPY AREA REQUIRED | = 1,028 S.F. - 156 (2,884 S.F.) |
| ERA 10% CANOPY TO BE PLANTED | |
| ON SA SITES > 100 S.F. | = 1,880 S.F. |
| ERA 10% CANOPY PROVIDED | = 0.577 S.F. / 10% OF SITE AREA |

BENCHMARK DESCRIPTIONS

- THINGS-ROADS SPKE IN UTILITY POLE UTILITY POLE IS LOCATED IN
SOUTH SIDE OF SCHOOL DRIVEWAY 304 +/- WEST OF WESTMOST
PROPERTY CORNER
ELEVATION=711.627 (NAD 83)
- THINGS-ROADS SPKE IN UTILITY POLE UTILITY POLE IS LOCATED IN
THE WEST SIDE OF BARBERSHOP ROAD 304 +/- NORTH OF THE
CENTRELINE OF JEFFERSON AVENUE
ELEVATION=713.674 (NAD 83)
- ROADS - EXISTING ARE BASED ON THREE LOCAL MONUMENTS:
M30-02 ELEVATION=661.39 (NAD 83)
M30-03 ELEVATION=660.87 (NAD 83)

SITE ADDRESS: 1014 BARDSTOWN ROAD LOUISVILLE, KY 40291 TAX BLOCK 638, LOT 35 D.B. 8506, PG. 026	SITE ADDRESS: 601B BARDSTOWN ROAD LOUISVILLE, KY 40291 TAX BLOCK 638, LOT 56 D.B. 10206, PG. 811
OWNER: HRC PROPERTIES, LLC 2725 LAMONT ROAD LOUISVILLE, KY 40205	OWNER: ABC PROPERTIES, LLC 2916 FRANKFORT AVENUE LOUISVILLE, KY 40206

COUNCIL DISTRICT - 00
FIRE PROTECTION DISTRICT - FISH CREEK

RECEIVED
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PLANNING &
SERVICES

NO	DATE	DESCRIPTION	BY
1	12/29/75	AGENCY COMPOSTS	385
2	1/18/76	AGENCY COMPOSTS	386
3	1/26/76	CHANGED REQUEST VERBAZE	385

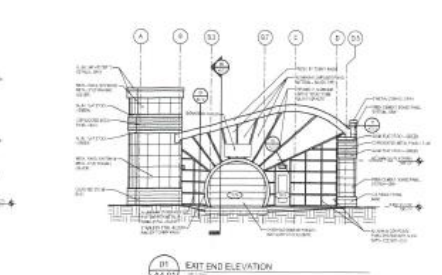
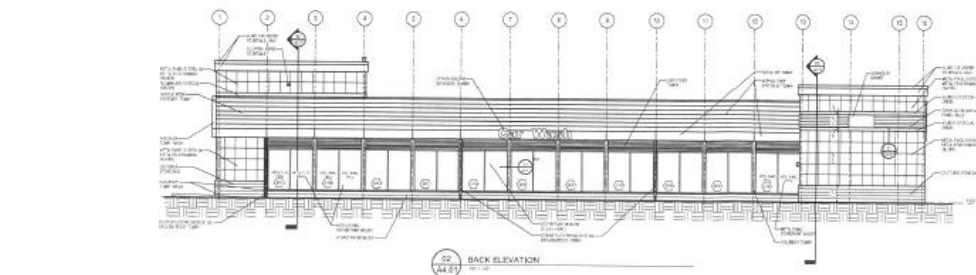
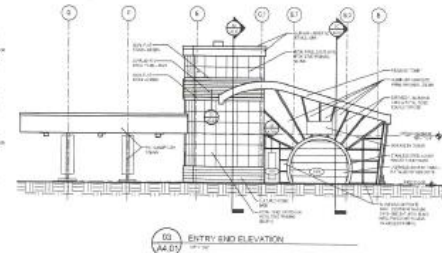
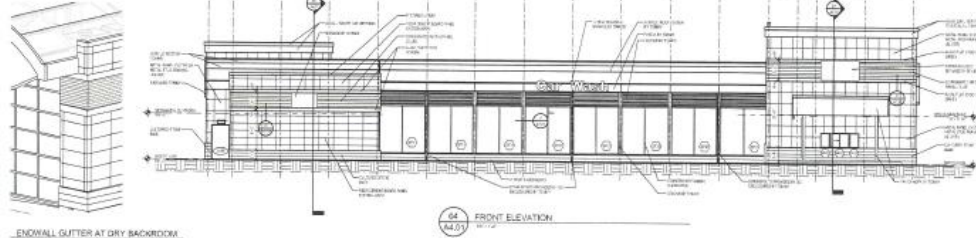
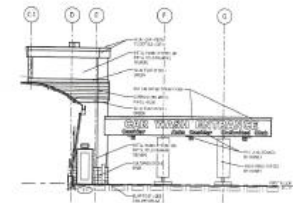
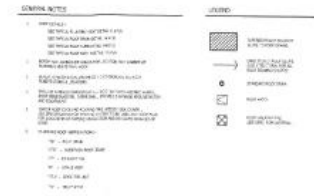
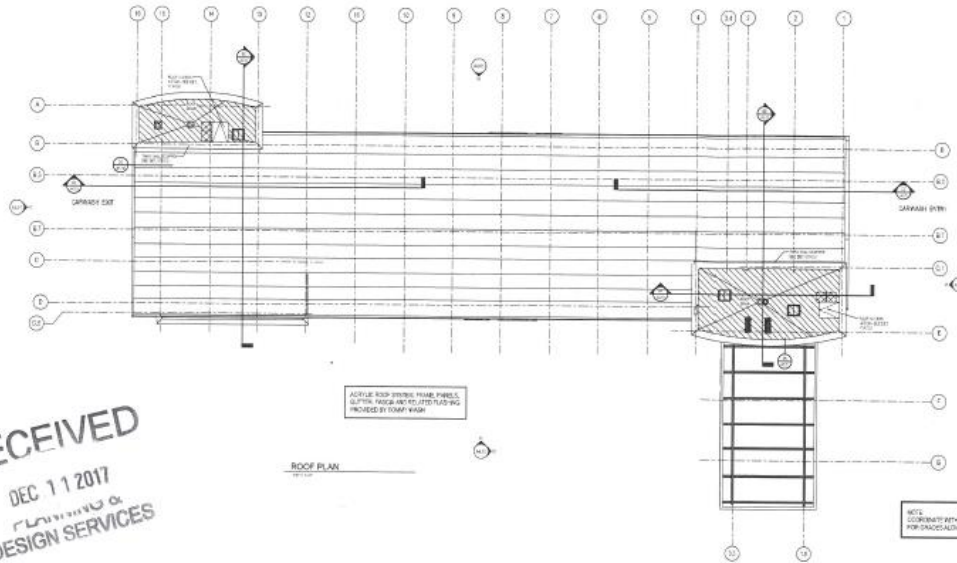
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PROJECT DATA	FILE NAME: 1750 0000.jpg	DATE: 1/15/18	SCALE: as shown	PROJECT BY: JES, JR

LD&D
LAND DESIGN & DEVELOPMENT, INC.
10000 W. 14TH AVE. SUITE 100
DENVER, CO 80202
TEL: 303.755.1100
FAX: 303.755.1101
WWW.LDAND.COM

JOB NO. 17150
 CATEGORY 20 SITE PLAN
 BLUE IGUANA CAR WASH
 BARDSTOWN ROAD
 DEVELP-SRP
 BLUE IGUANA CARWASH
 1640 SUNSHINE STREET
 SPRINGFIELD, MO 65804

Elevation



BLUE GUANA CAR WASH
TOMMY WASH EXPRESS
LOUISVILLE, KY

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	11/15/17
2	ISSUED FOR PERMIT	11/15/17
3	ISSUED FOR PERMIT	11/15/17
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5	ISSUED FOR PERMIT	11/15/17
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16	ISSUED FOR PERMIT	11/15/17
17	ISSUED FOR PERMIT	11/15/17

GMB

ARCHITECTURE & ENGINEERING

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17 DEVPLAN 1229

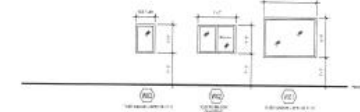
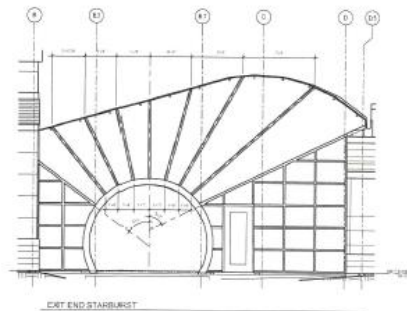
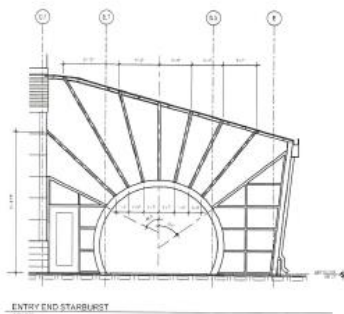
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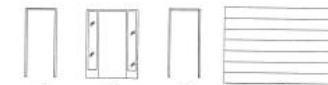
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DESIGN SERVICES

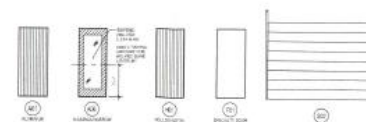
2020 + 2021 Academic Year									
Course Number	Course Title	Prerequisite	Credits	Details			Remarks		
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101	English I		3						
102	English II	101	3						
103	English III	102	3						
104	English IV	103	3						
105	Math I		3						
106	Math II	105	3						
107	Math III	106	3						
108	Math IV	107	3						
109	Science I		3						
110	Science II	109	3						
111	Science III	110	3						
112	Science IV	111	3						
113	History I		3						
114	History II	113	3						
115	History III	114	3						
116	History IV	115	3						
117	Art I		3						
118	Art II	117	3						
119	Art III	118	3						
120	Art IV	119	3						

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WINDOW LEGEND



DOOR FRAME LEGEND



ODOR TYPE LEGEND:

17 DEVPLAN 1 2 2 9



BLUE IGUANA CAR WASH
TOMMY WASH EXPRESS

CHESVILLE, KY

Section 199A	
Line	Qualifying Business Income
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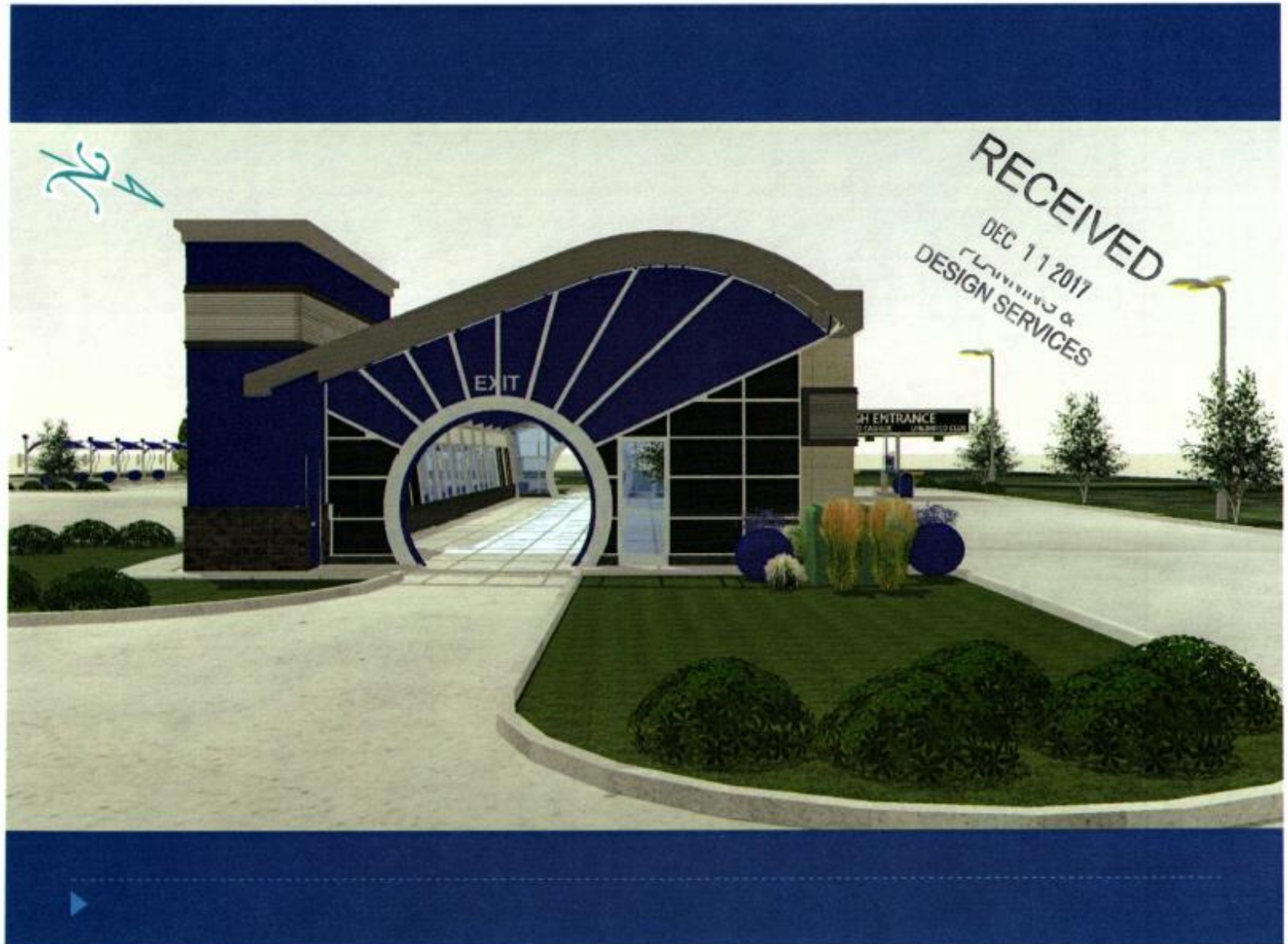
GMB
AN DER UNIVERSITÄT ZÜRICH

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DOOR AND FRAME SCHEDULE

A5.01

Rendering



Rendering



Rendering



Rendering



Rendering



Rendering



Applicable Plans & Policies

- Cornerstone 2020
- Land Development Code (2017a)

Staff Analysis and Conclusions

- The standard of review is justified for the variance and waiver and meet the standard of review. The setbacks from previous case B-226-03W indicates that the existing carwash already had a setback from Bardstown Rd. greater than allowed by LDC in 2003. Additionally, the site is not changing substantially from existing land uses that were present prior to the proposal.

Required Actions

APPROVE/DENY - VARIANCE: from LDC 5.2.4.C.3.a to allow the proposed structure to exceed the 15 ft. maximum front setback along the Bardstown Road property line by approximately 96 feet for a total of 111 feet from the property line (shown as the proposed dedication of right of way line on the development plan).

Location	Requirement	Request	Variance
Maximum Front Setback	15 ft.	111 ft. (from proposed line of dedicated Right of Way)	96 ft.

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