



CLASS "A" SURVEY
URBAN OR SUBURBAN
DATE OF FIELD SURVEY
JULY 15, 2015

DEVELOPER
JR. FOODS, INC.
700 CHURCH STREET
BOWLING GREEN, KY 42101

FLOODPLAIN INFORMATION
THE PROPERTY SHOWN HEREON DOES NOT LIE IN A FLOOD PRONE AREA ACCORDING TO (FIRM) FLOOD INSURANCE RATE MAP FOR JEFFERSON COUNTY, KENTUCKY. SAID AREA IS SHOWN ON MAP #211111C0095E, WITH AN EFFECTIVE DATE OF DECEMBER 5, 2006.

TOTAL AREA OF SURVEY
161,947 +/- SQ. FT.
3.72 +/- ACRES

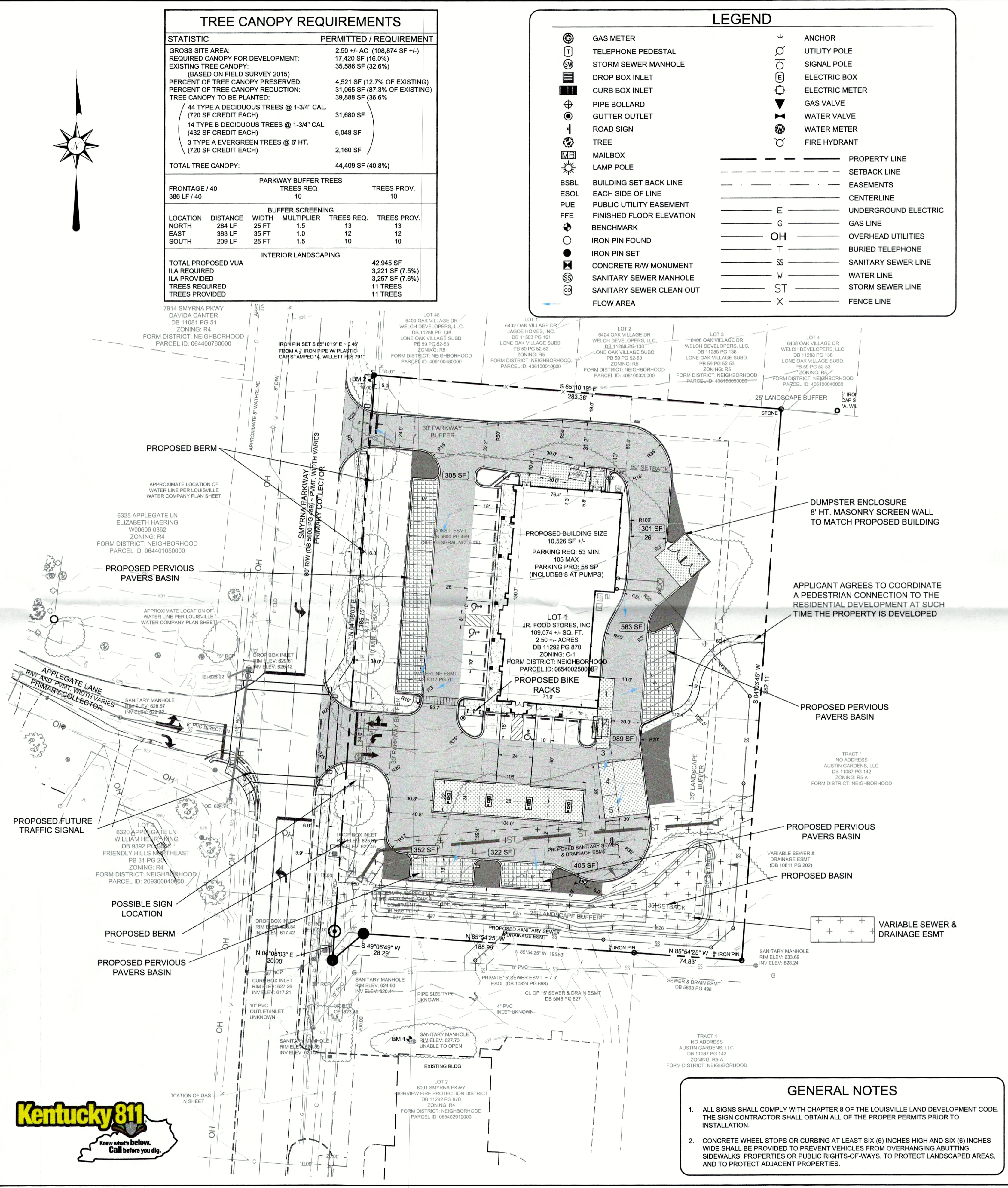
PARCEL OWNER, ADDRESS, AND SOURCE OF TITLE
JR. FOOD STORES, INC.
700 CHURCH STREET
BOWLING GREEN, KY. 42107
DEED BOOK 9919 PAGE 599
PARCEL ID: 06540025000

SEWAGE TREATMENT PLANT
METROPOLITAN SEWER DISTRICT

BENCHMARK DATA:
BENCHMARK 1
EXISTING SANITARY MANHOLE NEAR THE SOUTHERN PORTION OF THE PROPERTY LOCATED APPROXIMATELY 9' FROM THE EXISTING BUILDING.
ELEV: 627.73
BENCHMARK 2
1/2" IRON PIPE W/ PLASTIC CAP STAMPED "A. WILLETTS PLS 791" NEAR THE NORTHWESTERN PORTION OF PROPERTY LOCATED 19.4' FROM EDGE OF PAVEMENT.
ELEV: 639.80

DRAINAGE INFORMATION
PRE-DEVELOPED
FLOW RATES:
Q(2YR) = 2,304 CFS
Q(10YR) = 4,910 CFS
Q(100YR) = 8,813 CFS
POST-DEVELOPED
UNMITIGATED FLOW RATE*
Q(2YR) = 7,119 CFS
Q(10YR) = 10,849 CFS
Q(100YR) = 15,777 CFS
MITIGATED FLOW RATE (AT OUTLET PIPE DETENTION BASIN)
Q(2YR) = 1,644 CFS
Q(10YR) = 2,093 CFS
Q(100YR) = 3,452 CFS
*MODELED USING HYDRAFLOW HYDROGRAPHS 2004

GPS NOTE
THE SURVEY SHOWN HEREON IS BASED ON GPS DATA COLLECTED BY ACES USING BOTH STATIC AND RTK METHODS WITH DUAL FREQUENCY TOPCON HIPER GA (GG2) RECEIVERS. THE ENTIRETY OF THE DATA COLLECTED FOR THIS SURVEY WAS DONE SO THROUGH GPS MEANS WHEN ACCEPTABLE, AND BY CONVENTIONAL MEANS, FROM GPS CONTROL POINTS, WHEN NECESSARY. RTK DATA WAS COLLECTED FOR ANY SITE FEATURES AND ALL CONTROL POINTS AND BOUNDARY INFORMATION WAS COLLECTED IN STATIC MODE WITH A RMS OF 0.02" OR LESS. VECTORS AND/OR BASELINES HAVE BEEN CHECKED THROUGH STATIC OBSERVATIONS.



TREE CANOPY REQUIREMENTS

STATISTIC	PERMITTED / REQUIREMENT				
GROSS SITE AREA:	2.50 +/- AC (108,874 SF +/-)				
REQUIRED CANOPY FOR DEVELOPMENT:	17,420 SF (16.0%)				
EXISTING TREE CANOPY:	35,888 SF (32.9%)				
(BASED ON FIELD SURVEY 2015)					
PERCENT OF TREE CANOPY PRESERVED:	4,521 SF (12.7% OF EXISTING)				
PERCENT OF TREE CANOPY REDUCTION:	31,366 SF (87.3% OF EXISTING)				
TREE CANOPY TO BE PLANTED:	39,888 SF (36.6%)				
44 TYPE A DECIDUOUS TREES @ 1-3/4" CAL. (720 SF CREDIT EACH)	31,680 SF				
14 TYPE B DECIDUOUS TREES @ 1-3/4" CAL. (432 SF CREDIT EACH)	6,048 SF				
3 TYPE A EVERGREEN TREES @ 6" HT. (720 SF CREDIT EACH)	2,160 SF				
TOTAL TREE CANOPY:	44,409 SF (40.8%)				
FRONTAGE / 40	PARKWAY BUFFER TREES	TREES PROV.			
388 LF / 40	10	10			
LOCATION	DISTANCE	WIDTH	MULTIPLIER	TREES REQ.	TREES PROV.
NORTH	284 LF	25 FT	1.5	13	13
EAST	383 LF	35 FT	1.0	12	12
SOUTH	209 LF	25 FT	1.5	10	10
INTERIOR LANDSCAPING					
TOTAL PROPOSED VUA ILA REQUIRED	42,945 SF				
ILA PROVIDED	3,221 SF (7.5%)				
TREES REQUIRED	11 TREES				
TREES PROVIDED	11 TREES				

LEGEND

	GAS METER		ANCHOR
	TELEPHONE PEDESTAL		UTILITY POLE
	STORM SEWER MANHOLE		SIGNAL POLE
	DROP BOX INLET		ELECTRIC BOX
	CURB BOX INLET		ELECTRIC METER
	PIPE BOLLARD		GAS VALVE
	GUTTER OUTLET		WATER VALVE
	ROAD SIGN		WATER METER
	TREE		FIRE HYDRANT
	MAILBOX		PROPERTY LINE
	LAMP POLE		SETBACK LINE
	BUILDING SET BACK LINE		EASEMENTS
	EACH SIDE OF LINE		CENTERLINE
	PUBLIC UTILITY EASEMENT		UNDERGROUND ELECTRIC
	FINISHED FLOOR ELEVATION		GAS LINE
	BENCHMARK		OVERHEAD UTILITIES
	IRON PIN FOUND		BURIED TELEPHONE
	IRON PIN SET		SANITARY SEWER LINE
	CONCRETE R/W MONUMENT		WATER LINE
	SANITARY SEWER MANHOLE		STORM SEWER LINE
	SANITARY SEWER CLEAN OUT		FENCE LINE
	FLOW AREA		

DEVELOPMENT SUMMARY

STATISTIC	PERMITTED / REQUIREMENT	PROVIDED/PROPOSED
CURRENT ZONING	C1 - COMMERCIAL	C1 - COMMERCIAL
FORM DISTRICT	N (NEIGHBORHOOD)	N (NEIGHBORHOOD)
TAX BLOCK	N/A	0654
LOT NUMBER	N/A	0025
TOTAL SITE AREA	N/A	2.50 AC +/- 108,874 SQ. FT. +/-
EXISTING USE	N/A	VACANT
PROPOSED USE	N/A	NEIGHBORHOOD MARKET WITH FUEL SALES & DRIVE-THRU RESTAURANT
BUILDING SQ. FT.	N/A	10,526 SQ. FT. +/-
FLOOR AREA RATIO	1.0	0.097
PORCH AREA	N/A	1,172 SQ. FT. +/-
GAS CANOPY	N/A	3,463 SQ. FT. +/-
BUILDING HEIGHT	45'	29' +/-
BUILDING SETBACKS	FRONT (SMYRNA PKWY): 10' MIN SIDE (NORTH): 95' MAX SIDE (WEST): 30' SIDE (SOUTH): 30'	FRONT (SMYRNA PKWY): 93.7' SIDE (NORTH): 66.6' REAR (WEST): 112.4' SIDE (SOUTH): 159.4'
TOTAL PARKING	53 SPACES (MIN) 105 SPACES (MAX) 4 BICYCLE SPACES	58 SPACES 8 AT PUMPS 3 ADA SPACES 4 BICYCLE SPACES
SITE ACCESS	PER CITY OF LOUISVILLE & KYTC	2 ACCESS POINTS ON SMYRNA PARKWAY

SURVEY NOTES

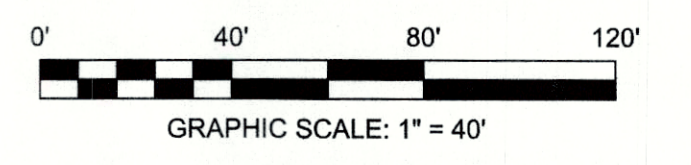
- THE BOUNDARY OF THE PROPERTY DEPICTED ON THIS SURVEY IS BASED ON DEED BOOK 9919 PAGE 599 AS FOUND IN THE OFFICE OF THE JEFFERSON COUNTY CLERK.
- A BOUNDARY SURVEY DOES NOT DETERMINE LAND OWNERSHIP. A PROFESSIONAL LAND SURVEYOR ONLY PROVIDES AN OPINION OF THE PURCHASE OF SAID RIGHT OF WAY. DESIGN PLANS WHICH MAY OR MAY NOT BE UPHOLD BY A COURT OF LAW. UNWRITTEN RIGHTS MAY OR MAY NOT EXIST ON SUBJECT PROPERTY.
- ALL IRON PINS SET ARE 1/2" X 18" PINS SET WITH 1" YELLOW PLASTIC CAP STAMPED "J. ARNOLD PLS 2934".
- THE LOCATION OF ALL UTILITIES SHOWN HEREON ARE BASED ON THE FIELD LOCATION OF FOUND VISIBLE STRUCTURES OR AS FLAGGED OR MARKED BY THEIR RESPECTIVE UTILITY COMPANIES. THERE MAY BE OTHER UNDERGROUND UTILITIES LOCATED ON THE PROPERTY SHOWN HEREON. NO GUARANTEE IS EXPRESSED OR IMPLIED TO THE ACTUAL LOCATION OF SAID UTILITIES.
- THIS TOPOGRAPHIC SURVEY IS SUBJECT TO ANY AND ALL FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO ANY AND ALL LEGAL EASEMENTS AND RIGHT-OF-WAYS RECORDED AND UNRECORDED, INCLUDING BUT NOT LIMITED TO THOSE SHOWN HEREON.
- THE DATUM FOR THIS SURVEY IS GRID NORTH AS ESTABLISHED BY KY STATE PLANE COORDINATES, NORTH ZONE 1601.
- THE RIGHT OF WAY WIDTH FOR SMYRNA PARKWAY AS SHOWN HEREON WAS DETERMINED BY A COMBINATION OF FOUND MONUMENTS AND RECORDED PLATS ON ADJOINING PROPERTIES. NO SOURCE OF TITLE WAS FOUND FOR THE PURCHASE OF SAID RIGHT OF WAY. DESIGN PLANS WERE UNABLE TO BE FOUND ON FILE OR PROVIDED BY LOUISVILLE METRO PUBLIC WORKS. SAID RIGHT OF WAY IS CLAIMED AND MAINTAINED BY THE LOUISVILLE METRO GOVERNMENT. HOWEVER, METRO GOVERNMENT OFFICIALS WERE UNABLE TO PROVIDE ANY DOCUMENTATION PERTAINING TO SAID RIGHT OF WAY.

SITE & MUNICIPALITY NOTES

- CONSTRUCTION PLANS, BOND AND PERMIT ARE REQUIRED BY METRO PUBLIC WORKS (MPW) PRIOR TO CONSTRUCTION APPROVAL FOR ALL WORK WITHIN RIGHT OF WAY.
- ALL NEW AND EXISTING SIDEWALKS SHALL BE BROUGHT UP OR BUILT TO CURRENT ADA STANDARDS.
- ALL PAVED AREAS, EXCLUDING PERVIOUS PAVEMENT, SHALL BE AS FOLLOWS: STANDARD DUTY CONCRETE W/ 3,000 PSI CONCRETE, 4" COMPACTED AGGREGATE BASE AND HEAVY DUTY CONCRETE W/ 3,000 PSI CONCRETE, 6" COMPACTED AGGREGATE BASE.
- MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE PARTICULATE EMISSION FROM REACHING EXISTING ROADS AND NEIGHBORING PROPERTIES.
- ONSITE DETENTION WILL BE PROVIDED. POST DEVELOPED PEAK FLOWS WILL BE LIMITED TO PREDEVELOPED PEAK FLOWS FOR THE 2, 10, 25 AND 100 YEAR STORMS OR TO THE CAPACITY OF THE DOWNSIDE SYSTEM, WHICHEVER IS MORE RESTRICTIVE.
- MSD SANITARY SEWERS AVAILABLE BY NEW CONNECTION. FEES MAY APPLY. BUILDING DOWNSPOUTS TO DRAIN ONTO SURFACE.
- MOSQUITO CONTROL IN ACCORDANCE WITH CHAPTER 96 OF LOUISVILLE JEFFERSON COUNTY METRO ORDINANCE MUST BE MAINTAINED.
- ALL CONSTRUCTION AND SALES TRAILERS MUST BE PERMITTED BY THE DEPT. OF PUBLIC HEALTH & WELLNESS IN ACCORDANCE WITH CHAPTER 115 OF LOUISVILLE JEFFERSON COUNTY METRO ORDINANCE.
- AN MSD DRAINAGE BOND WILL BE REQUIRED.
- ANY SYSTEM ROUTING OFF-SITE WATER SHALL BE PLACED IN A 15" SEWER AND DRAINAGE EASEMENT.
- COMPATIBLE UTILITIES SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPROPRIATE AGENCIES.
- THE FINAL DESIGN OF THIS PROJECT MUST MEET ALL MS4 WATER QUALITY REGULATIONS BY MSD. SITE LAYOUT MAY CHANGE AT THE DESIGN PHASE DUE TO PROPER SIZING OF GREEN EST MANAGEMENT PRACTICES.
- ALL RETAIL SHOPS MUST HAVE INDIVIDUAL CONNECTIONS PER MSD'S FATS, OIL AND GREASE POLICY.
- THE FINAL DESIGN OF THIS PROJECT MUST MEET ALL MS4 WATER QUALITY REGULATIONS ESTABLISHED BY MSD. SITE LAYOUT MAY CHANGE AT THE DESIGN PHASE DUE TO PROPER SIZING OF GREEN BEST MGMT. PRACTICES.
- KYTC APPROVAL REQUIRED PRIOR TO MSD CONSTRUCTION PLAN APPROVAL.
- A SITE GEOTECHNICAL INVESTIGATION WAS PERFORMED ON THE SITE JUNE 8, 2016 AND NO KARST FEATURES WERE DISCOVERED. THE GEOTECHNICAL SITE DRILLING WAS DONE BY HOOSIER DRILLING.

GENERAL NOTES

- ALL SIGNS SHALL COMPLY WITH CHAPTER 8 OF THE LOUISVILLE LAND DEVELOPMENT CODE. THE SIGN CONTRACTOR SHALL OBTAIN ALL OF THE PROPER PERMITS PRIOR TO INSTALLATION.
- CONCRETE WHEEL STOPS OR CURBING AT LEAST SIX (6) INCHES HIGH AND SIX (6) INCHES WIDE SHALL BE PROVIDED TO PREVENT VEHICLES FROM OVERHANGING ADJUTING SIDEWALKS, PROPERTIES OR PUBLIC RIGHTS-OF-WAYS, TO PROTECT LANDSCAPED AREAS, AND TO PROTECT ADJACENT PROPERTIES.



REVISIONS

02-27-2020	REVISED PER COMMENTS
03-11-2020	REVISED PER COMMENTS
04-03-2020	REVISED PER COMMENTS

HOUGHENS INDUSTRIES
STORE #788
7941 SMYRNA PARKWAY
LOUISVILLE, KY 40228

ACES
ARNOLD CONSULTING
ENGINEERING SERVICES, INC.
P.O. BOX 1938
BOWLING GREEN, KY 42101
PHONE: (270) 780-9445

JOB NUMBER: 5430
DATE: 02-03-2020
SCALE: 1" = 40'
DRAWN: B. SHIRLEY
CHECKED: J. ARNOLD
FILE PATH: 2:SITE/DEVDP

Digitally signed by Aaron T. Arnold
Date: 2020.04.08 08:20:32 -05'00

E-1
REVISED DISTRICT DEVELOPMENT PLAN

WM 11316 15ZONE1065 17DEVPLAN1134 20-DDP-0010

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 8001 SMYRNA PARKWAY
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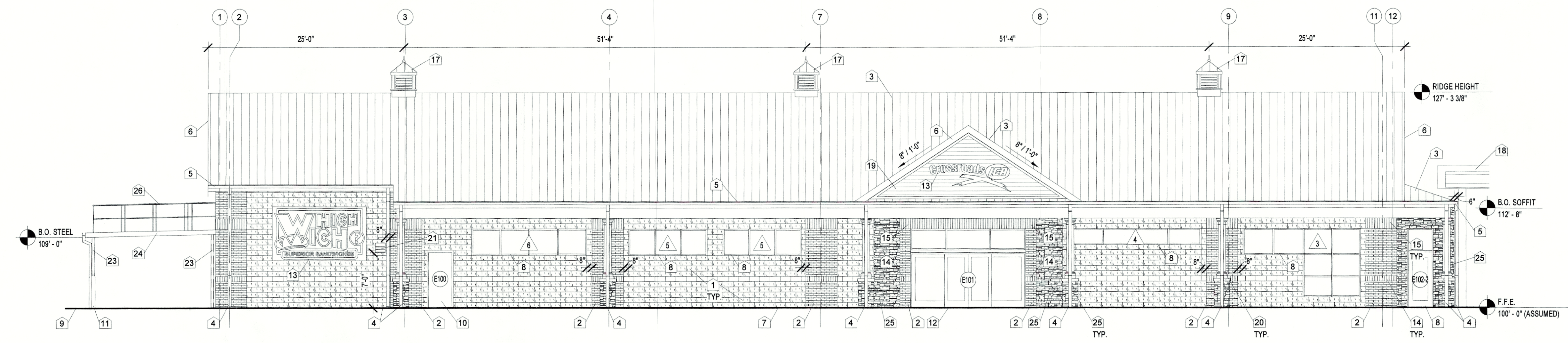


SEWELL AND SEWELL ARCHITECTS
 996 WILKINSON TRACE, SUITE B4
 BOWLING GREEN, KY 42103
 PH: 270-964-3388
 www.sewellarchitects.com

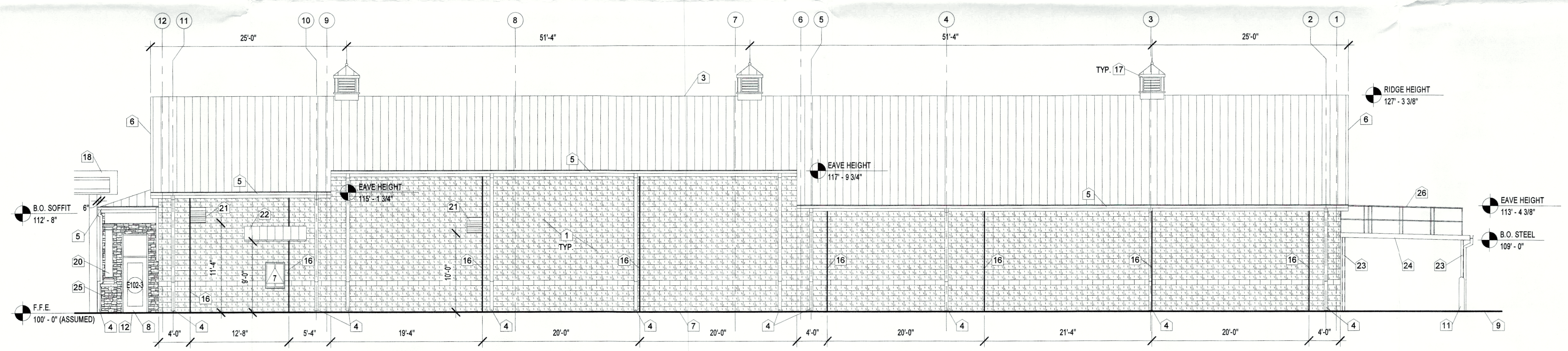
EXTERIOR BUILDING ELEVATIONS

JOB NO. 1645
 DATE JULY 31, 2017
 DRAWN MAS
 CHECKED NBS
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SHEET
A3.0



1 EXTERIOR BUILDING ELEVATION - GROCERY ENTRANCE
 1/8" = 1'-0"



2 EXTERIOR BUILDING ELEVATION - DRIVE-THRU
 1/8" = 1'-0"

GENERAL ELEVATION NOTES

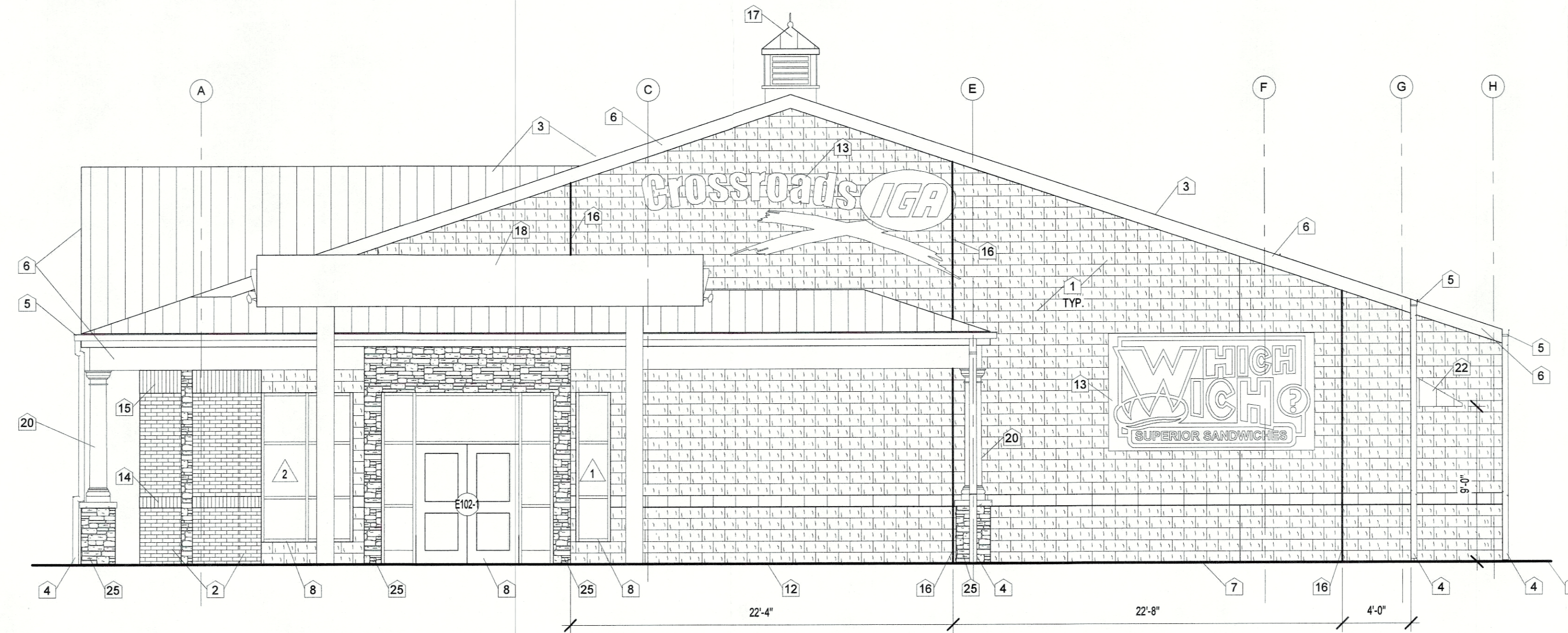
- A. BUILDING ELEVATIONS SHOWN ON THIS DRAWING ARE INTENDED FOR GENERAL REFERENCE PURPOSES ONLY. REFER TO REFERENCED SECTIONS AND DETAILS FOR MORE FULLY DESCRIBED CONDITIONS AND REQUIREMENTS.
- B. MATERIAL INDICATIONS AND DESCRIPTIONS, VERTICAL AND OTHER DIMENSIONS SHOWN ON ONE BUILDING ELEVATION APPLY TO OTHER BUILDING ELEVATIONS WHERE SHOWN, U.N.O.
- C. LINES REPRESENTING PAVING AND FINISH GRADES ARE APPROXIMATE AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. REFER TO SITE PLANS FOR SPECIFIC GRADE AND SPOT ELEVATIONS AT EACH RESPECTIVELY.
- D. REFER TO FLOOR PLANS FOR SPECIFIC ALUMINUM WINDOW TYPES AND WINDOW ELEVATIONS.
- E. ALL EXPOSED EXTERIOR METAL SUCH AS FLASHINGS, COPINGS, GUTTERS DOWNSPOUTS SHALL RECEIVE FIELD OR SHOP-APPLIED FINISH COATING.
- F. PRE-ENGINEERED METAL BUILDING TO PROVIDE SHOP DRAWINGS SHOWING ALL NECESSARY STRUCTURAL COMPONENTS (I.E. WALL GIRTS, ROOF PURLINS, X-BRACING).
- G. NOT ALL MEP ITEMS ARE SHOWN FOR CLARITY. CONTRACTOR SHALL COORDINATE ALL MEP ITEMS AS REQUIRED.
- H. REFER TO FLOOR PLANS FOR DOOR LOCATIONS AND DOOR SCHEDULE FOR FULL EXTENT AND COMPLETE DESCRIPTION OF DOOR AND FRAME TYPES.
- J. ALL EXTERIOR LOUVER AND FAN COLORS SHALL MATCH ADJACENT WALL FINISH.

ELEVATION KEYNOTES

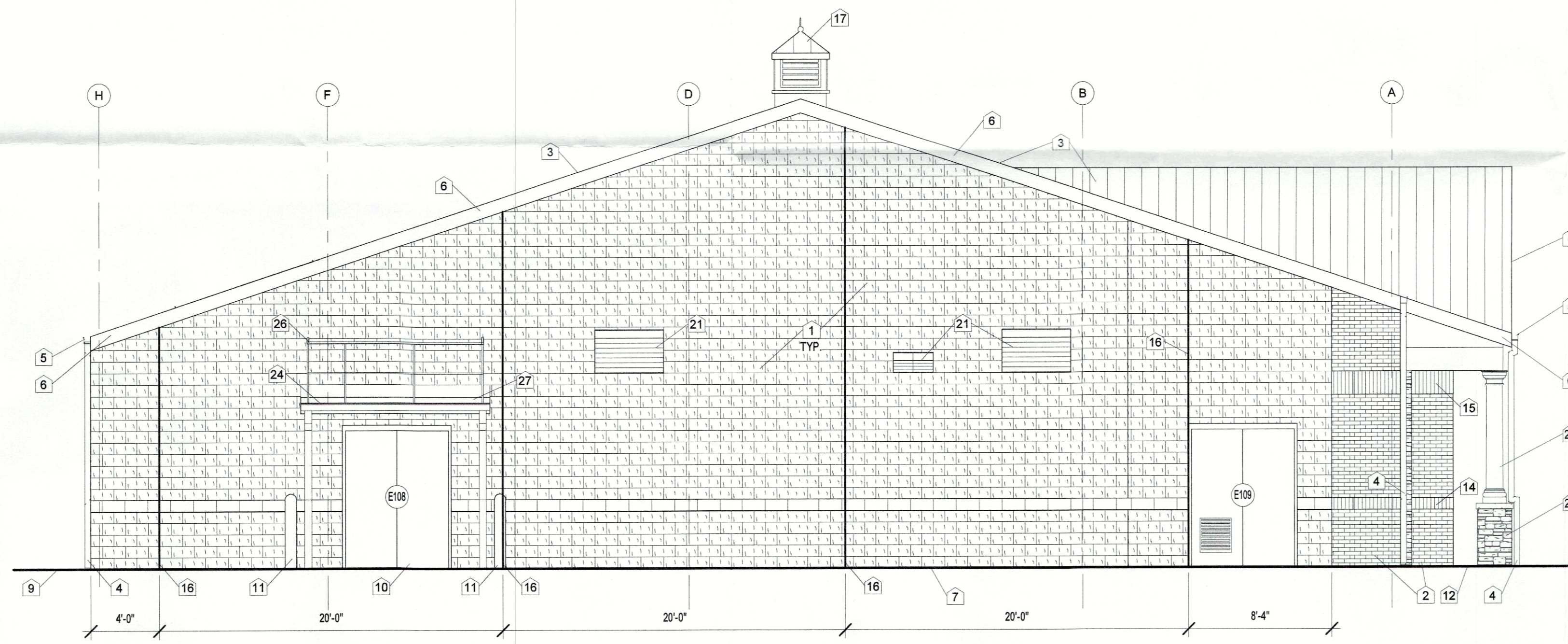
- 1. 4" SPLIT-FACE CMU VENEER (INTEGRALLY COLORED - OWNER TO SELECT TWO COLORS. DARK COLOR CMU AT BASE AND LIGHT COLOR CMU ABOVE BAND - REFER TO COLOR ELEVATIONS). PROVIDE SMOOTH FACE CMU BAND (PAINT) - T.O. BAND AT 4'-0".
- 2. FACE BRICK VENEER - OWNER TO SELECT STYLE AND COLOR.
- 3. ROOF ASSEMBLY TYPE 'A'.
- 4. PRE-FINISHED S.M. 5"x5" DOWNSPOUT U.N.O., EXTEND TO PAVEMENT BELOW.
- 5. PRE-FINISHED S.M. 6" GUTTER, REFER TO ROOF DETAILS.
- 6. PRE-FINISHED S.M. TRIM, REFER TO ROOF DETAILS.
- 7. LINE OF FINISH FLOOR.
- 8. PRE-FINISHED ALUMINUM STOREFRONT SYSTEM.
- 9. FINISH GRADE VARIES, REFER TO CIVIL DRAWINGS.
- 10. PAINTED GALVANIZED HOLLOW METAL FRAME AND INSULATED H.M. DOOR, REFER TO DOOR SCHEDULE ON SHEET A7.0.
- 11. PAINTED CONCRETE FILLED PIPE BOLLARD. REFER TO FLOOR PLANS FOR SIZE AND LOCATIONS.
- 12. CONCRETE STOOP, WALK, OR ASPHALT PAVEMENT, REFER TO CIVIL DRAWINGS.
- 13. EXTERIOR BUILDING SIGNAGE PROVIDED BY OWNER. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 14. FACE BRICK VENEER - SOLDIER COURSE.
- 15. FACE BRICK VENEER - DOUBLE HEIGHT SOLDIER COURSE.
- 16. EXPANSION / CONTROL JOINT. PROVIDE BACKER ROD AND SEALANT, CONT. REFER TO DETAIL 3/A5.0 FOR ADDITIONAL INFORMATION. TYPICAL 4'-0" FROM ALL CORNERS AND AT INSIDE CORNERS. REFER TO BUILDING ELEVATIONS FOR ADDITIONAL LOCATIONS.
- 17. PRE-MANUFACTURED CUPOLA BY CAMPBELLVILLE INDUSTRIES, MODEL #CU-210 OR APPROVED EQUAL. COLOR TO BE WHITE WITH METAL ROOF TO MATCH MAIN BUILDING METAL ROOF.
- 18. GAS CANOPY SYSTEM BY OTHERS, N.I.C.
- 19. PRE-FINISHED FIBER CEMENT HORIZONTAL SIDING (6" EXPOSURE) BY JAMES HARDIE OR APPROVED EQUAL. OWNER TO SELECT COLOR.
- 20. 16" DIAMETER FRP COLUMN WRAP (NON-LOAD BEARING).
- 21. EXHAUST FAN OR LOUVER. REFER TO MECHANICAL DRAWINGS.
- 22. METAL ROOF PANELS (COLOR TO MATCH MAIN ROOF) ON ALUMINUM FRAME AWNING. CLEARANCE TO BE 9'-0" MINIMUM. PROVIDE (1) COURSE OF SMOOTH FACE CMU BEHIND FLASHING. REFER TO DETAIL 3/A4.1 FOR ADDITIONAL INFORMATION.
- 23. STEEL TUBE COLUMN. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 24. ROOF ASSEMBLY TYPE 'B'.
- 25. ADHERED MANUFACTURED STONE VENEER (EASTERN LEDGESTONE - DURANGO COLOR BY CAVALIER STONE PRODUCTS).
- 26. 1 1/2" DIAMETER TWO-RAIL STEEL GUARDRAIL (3'-6" H). ATTACH TO TUBE STEEL AT EXTERIOR PERIMETER OF ROOF. LEAVE A 3'-0" WIDE OPENING FOR LADDER ACCESS.
- 27. PROVIDE (3) COURSES OF SMOOTH FACE CMU BEHIND TPO FLASHING. STEEL CHANNEL AND STEEL TUBE BEAM. REFER TO ROOF DETAILS FOR ADDITIONAL INFORMATION.

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20 - DDP - 0010



1 EXTERIOR BUILDING ELEVATION - GAS ENTRANCE
3/16" = 1'-0"



2 EXTERIOR BUILDING ELEVATION - SERVICE / LOADING
3/16" = 1'-0"

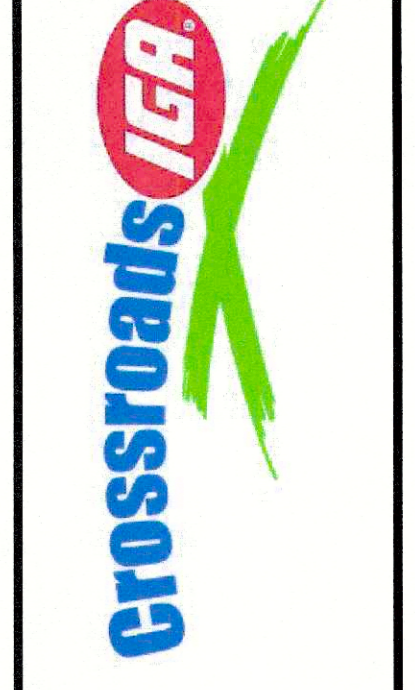
GENERAL ELEVATION NOTES	
A. BUILDING ELEVATIONS SHOWN ON THIS DRAWING ARE INTENDED FOR GENERAL REFERENCE PURPOSES ONLY. REFER TO REFERENCED SECTIONS AND DETAILS FOR MORE FULLY DESCRIBED CONDITIONS AND REQUIREMENTS.	F. PRE-ENGINEERED METAL BUILDING TO PROVIDE SHOP DRAWINGS SHOWING ALL NECESSARY STRUCTURAL COMPONENTS (I.E. WALL GIRTS, ROOF PURLINS, X-BRACING).
B. MATERIAL INDICATIONS AND DESCRIPTIONS, VERTICAL AND OTHER DIMENSIONS SHOWN ON ONE BUILDING ELEVATION APPLY TO OTHER BUILDING ELEVATIONS WHERE SHOWN, U.N.O.	G. NOT ALL MEP ITEMS ARE SHOWN FOR CLARITY. CONTRACTOR SHALL COORDINATE ALL MEP ITEMS AS REQUIRED.
C. LINES REPRESENTING PAVING AND FINISH GRADES ARE APPROXIMATE AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. REFER TO SITE PLANS FOR SPECIFIC GRADE AND SPOT ELEVATIONS AT EACH RESPECTIVELY.	H. REFER TO FLOOR PLANS FOR DOOR LOCATIONS AND DOOR SCHEDULE FOR FULL EXTENT AND COMPLETE DESCRIPTION OF DOOR AND FRAME TYPES.
D. REFER TO FLOOR PLANS FOR SPECIFIC ALUMINUM WINDOW TYPES AND WINDOW ELEVATIONS.	J. ALL EXTERIOR LOUVER AND FAN COLORS SHALL MATCH ADJACENT WALL FINISH.
E. ALL EXPOSED EXTERIOR METAL SUCH AS FLASHINGS, COPINGS, GUTTERS DOWNSPOUTS SHALL RECEIVE FIELD OR SHOP APPLIED FINISH COATING.	

ELEVATION KEYNOTES	
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2. FACE BRICK VENEER - OWNER TO SELECT STYLE AND COLOR.	11. PAINTED CONCRETE FILLED PIPE BOLLARD. REFER TO FLOOR PLANS FOR SIZE AND LOCATIONS.
3. ROOF ASSEMBLY TYPE 'A'.	12. CONCRETE STOOP, WALK, OR ASPHALT PAVEMENT, REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
4. PRE-FINISHED S.M. 6"X6" DOWNSPOUT U.N.O., EXTEND TO PAVEMENT BELOW.	13. EXTERIOR BUILDING SIGNAGE PROVIDED BY OWNER. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
5. PRE-FINISHED S.M. 6" GUTTER, REFER TO ROOF DETAILS.	14. FACE BRICK VENEER - SOLDIER COURSE.
6. PRE-FINISHED S.M. TRIM, REFER TO ROOF DETAILS.	15. FACE BRICK VENEER - DOUBLE HEIGHT SOLDIER COURSE.
7. LINE OF FINISH FLOOR.	16. EXPANSION / CONTROL JOINT. PROVIDE BACKER ROD AND SEALANT. CONT. REFER TO DETAIL 3145.0 FOR ADDITIONAL INFORMATION. TYPICAL 4'-0" FROM ALL CORNERS AND AT INSIDE CORNERS. REFER TO BUILDING ELEVATIONS FOR ADDITIONAL LOCATIONS.
8. PRE-FINISHED ALUMINUM STOREFRONT SYSTEM.	17. PRE-MANUFACTURED CUPOLA BY CAMPBELLSVILLE INDUSTRIES, MODEL #CU-210 OR APPROVED EQUAL. COLOR TO BE WHITE WITH METAL ROOF TO MATCH MAIN BUILDING METAL ROOF.
9. FINISH GRADE VARIES, REFER TO CIVIL DRAWINGS.	18. GAS CANOPY SYSTEM BY OTHERS, N.I.C.
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STORE #788
8001 SMYRNA PARKWAY
LOUISVILLE, KENTUCKY 40228



SEWELL AND SEWELL ARCHITECTS
996 WILKINSON TRACE, SUITE B4
BOWLING GREEN, KY 42103
PH: 606-444-3386
www.sewellandsewell.com

EXTERIOR BUILDING ELEVATIONS

JOB NO.	1645
DATE	JULY 31, 2017
DRAWN	MAS
CHECKED	NBS
COPYRIGHT © 2017 SEWELL AND SEWELL ARCHITECTS, PLLC	

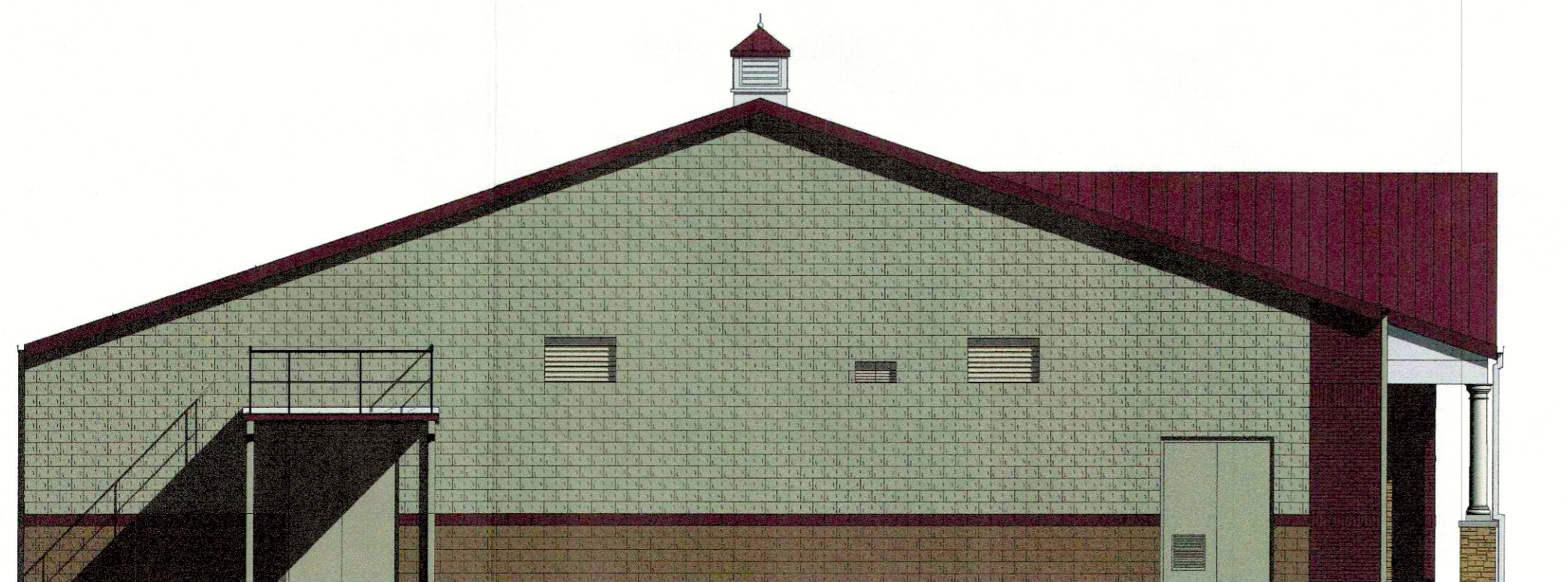
SHEET
A3.1



1 EXTERIOR BUILDING COLOR ELEVATION - GROCERY ENTRANCE
1/8" = 1'-0"



2 EXTERIOR BUILDING COLOR ELEVATION - DRIVE-THRU
1/8" = 1'-0"



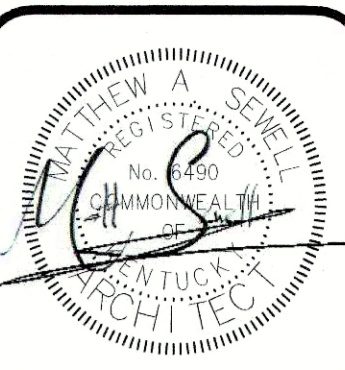
4 EXTERIOR BUILDING COLOR ELEVATION - SERVICE / LOADING
1/8" = 1'-0"



3 EXTERIOR BUILDING COLOR ELEVATION - GAS ENTRANCE
1/8" = 1'-0"



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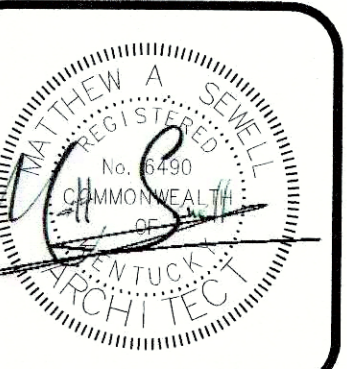
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EXTERIOR BUILDING
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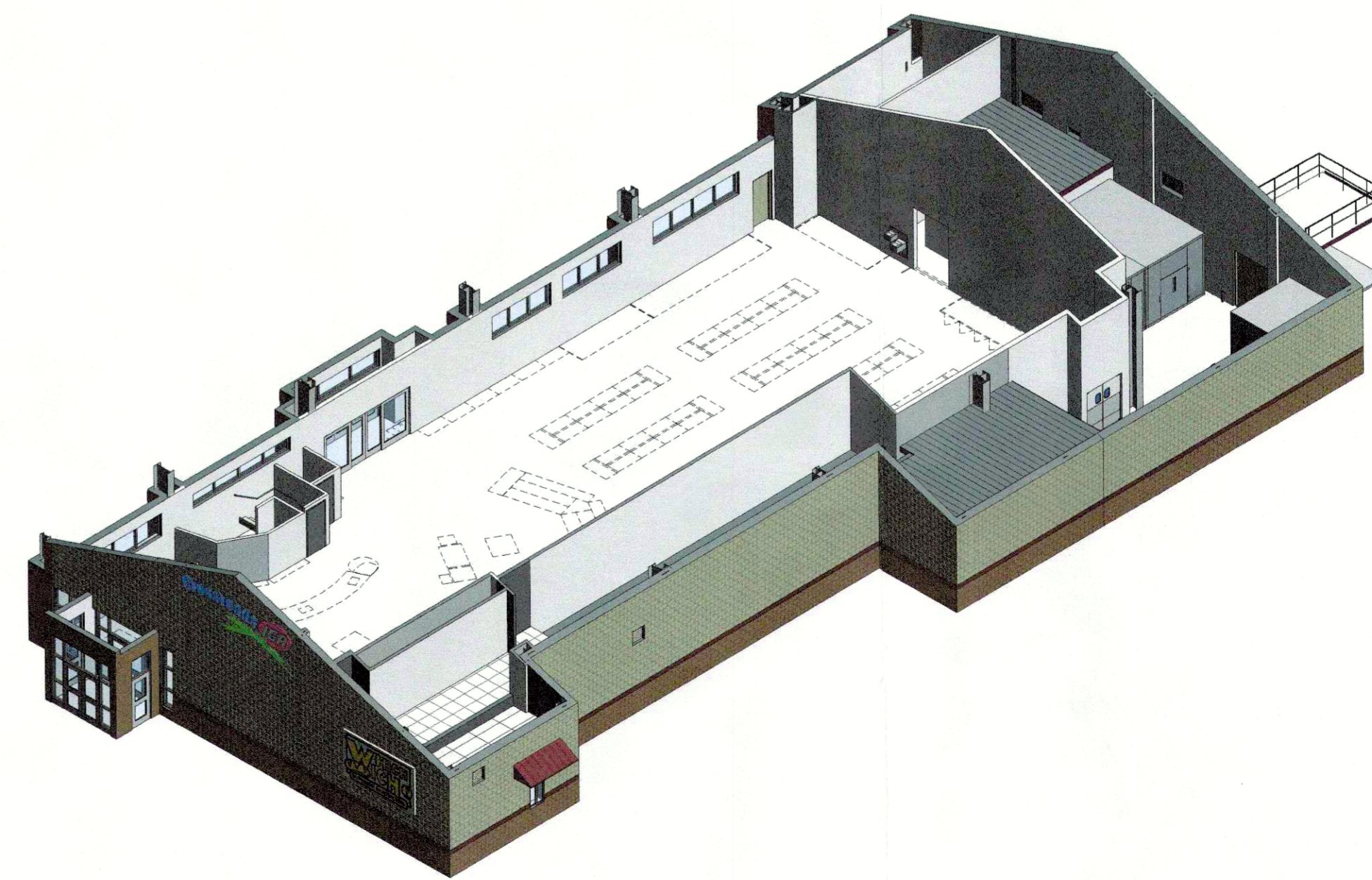
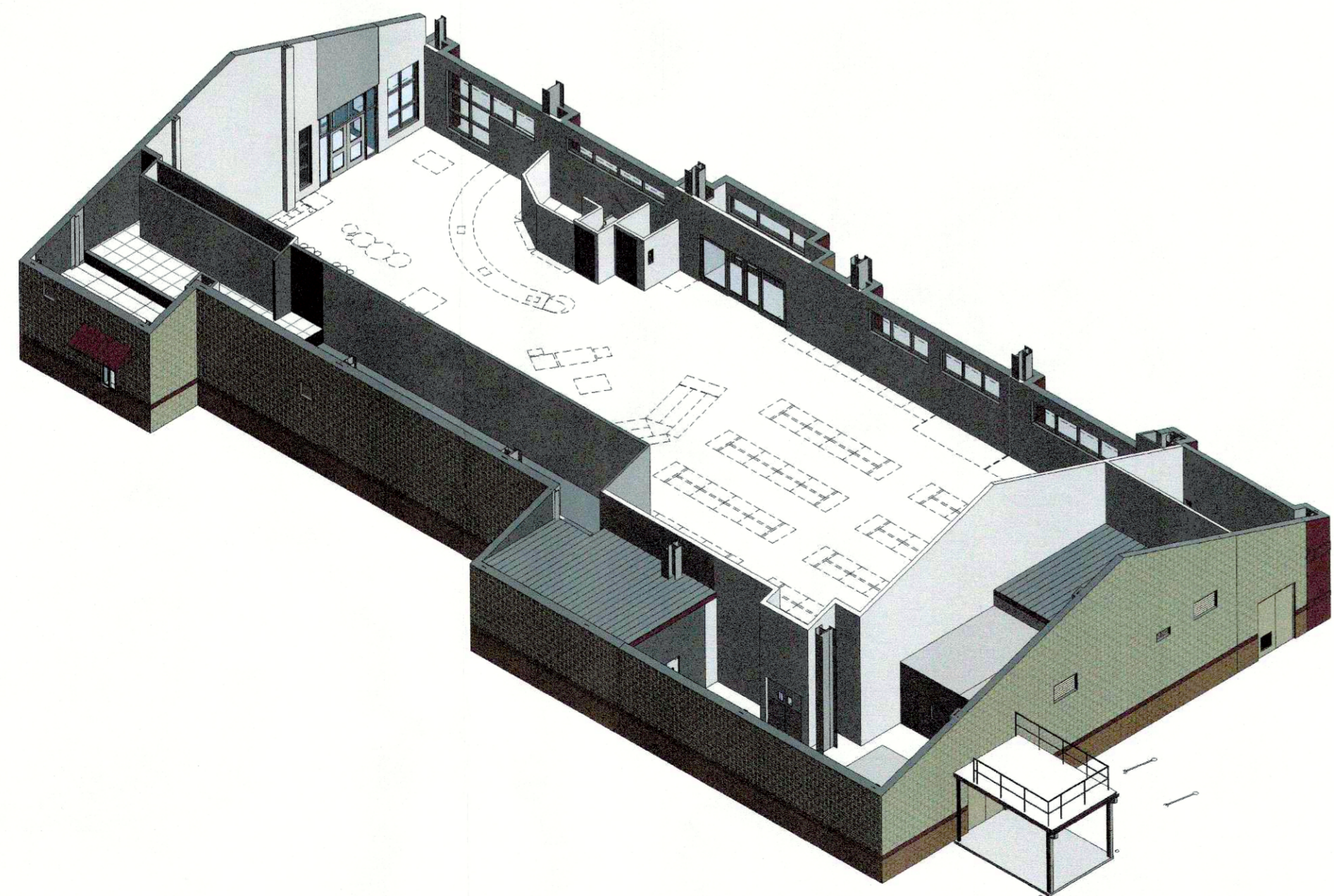
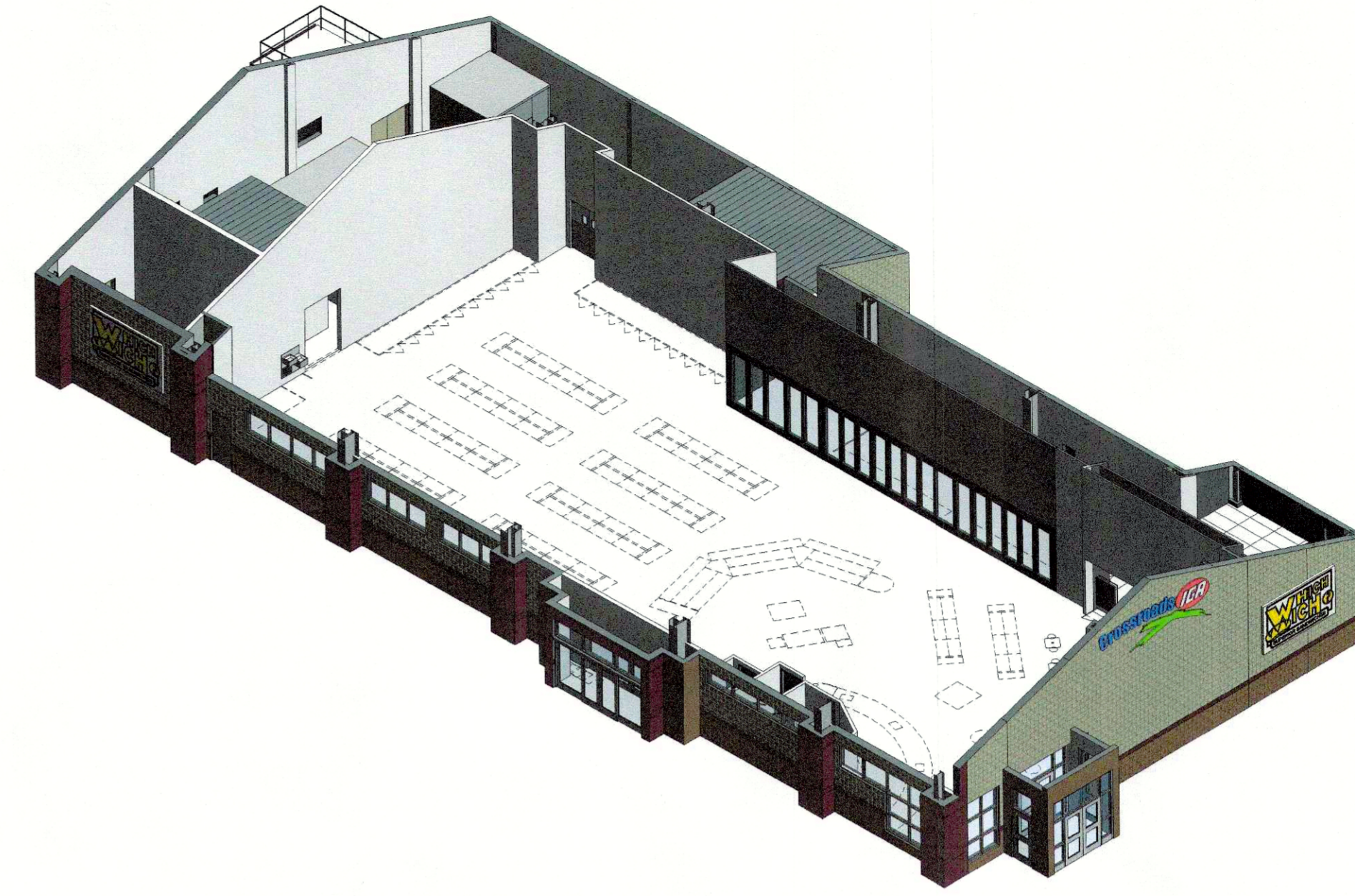
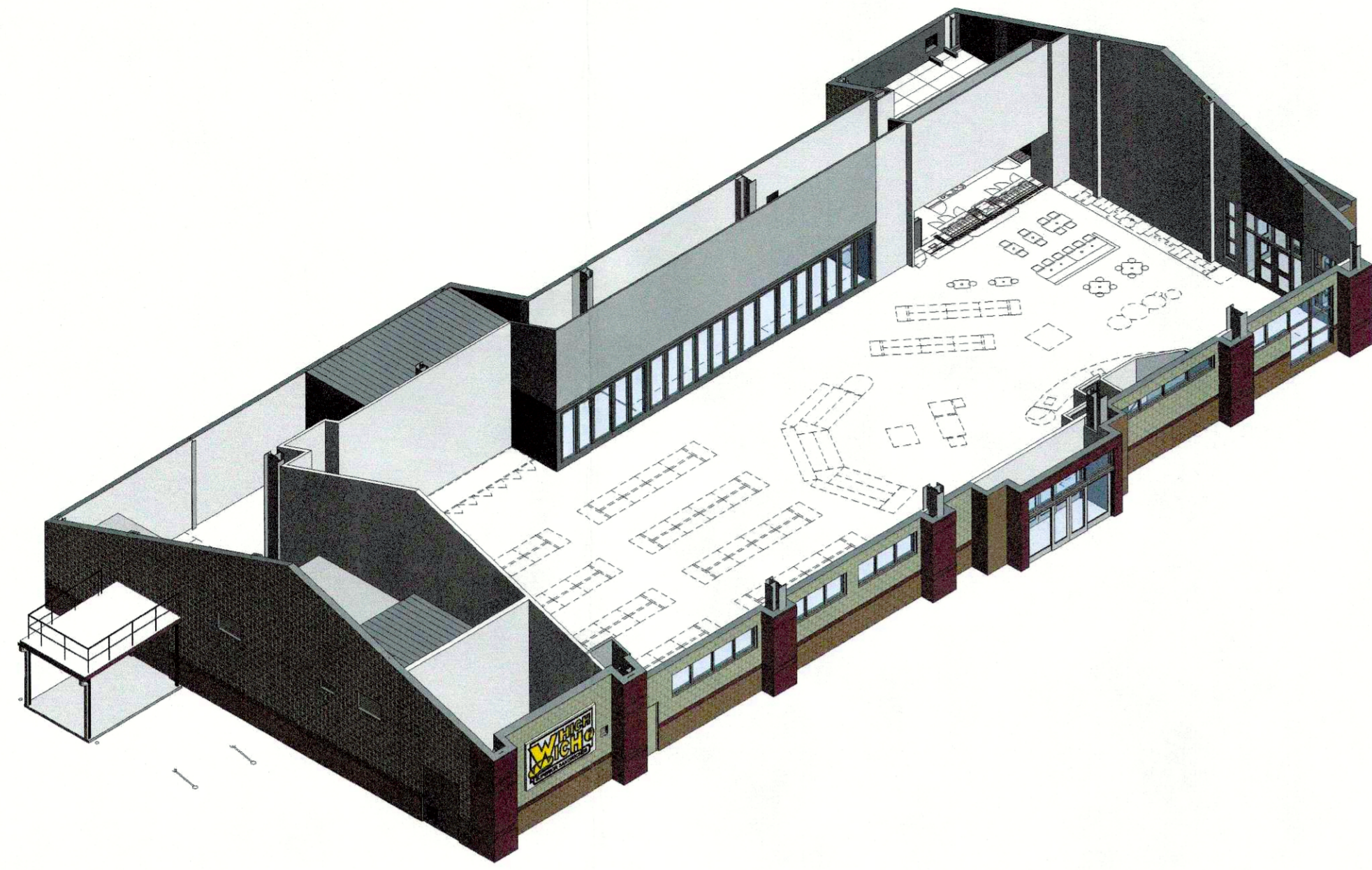
3D EXTERIOR VIEWS

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3D INTERIOR VIEWS

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