

19-CUP-0145

630 Louis Coleman Jr. Drive



**Louisville Metro Board of Zoning Adjustment
Public Hearing**

**Jon E. Crumbie, Planning & Design Coordinator
December 2, 2019**

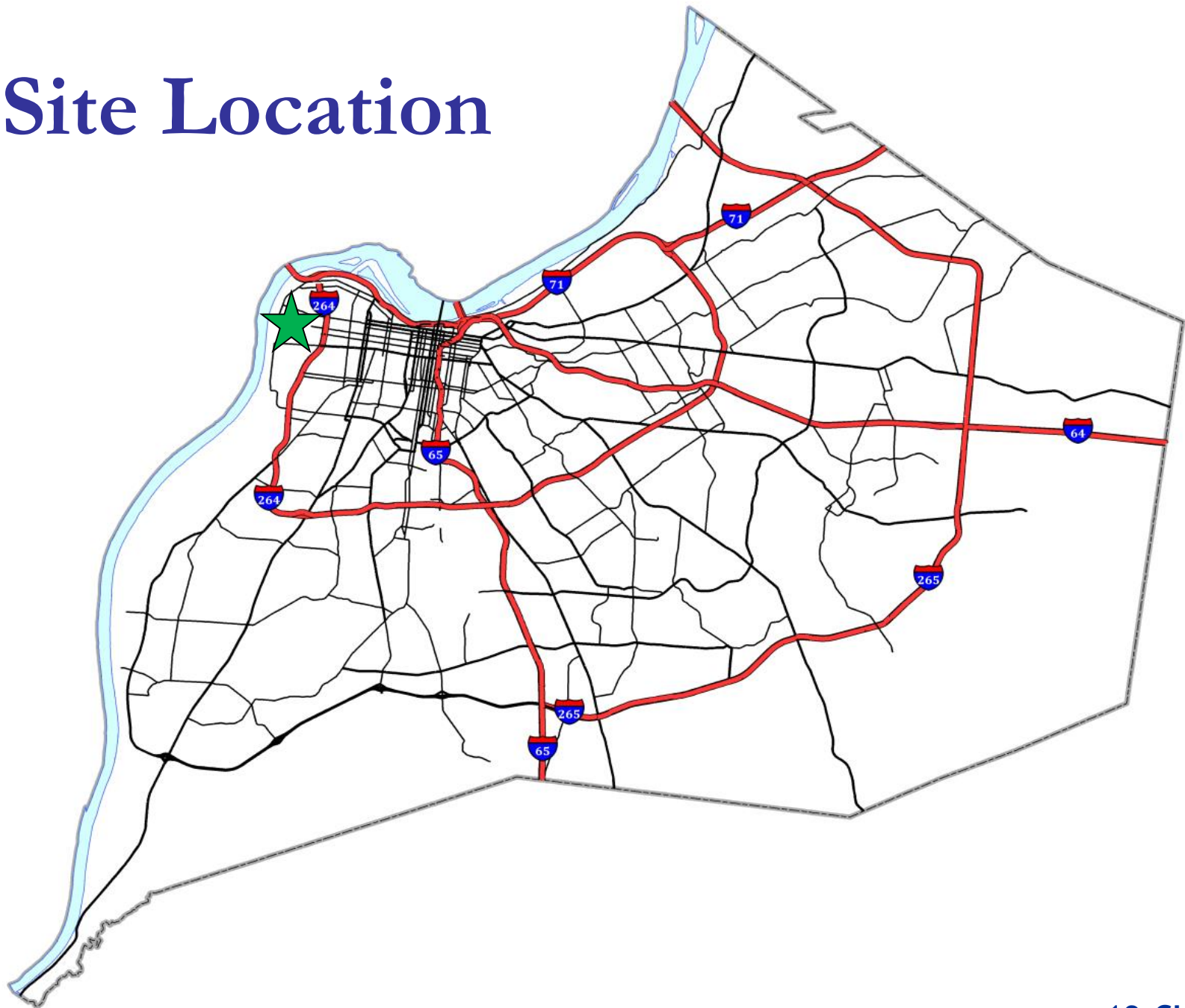
Request(s)

- Conditional Use Permit to allow transitional housing

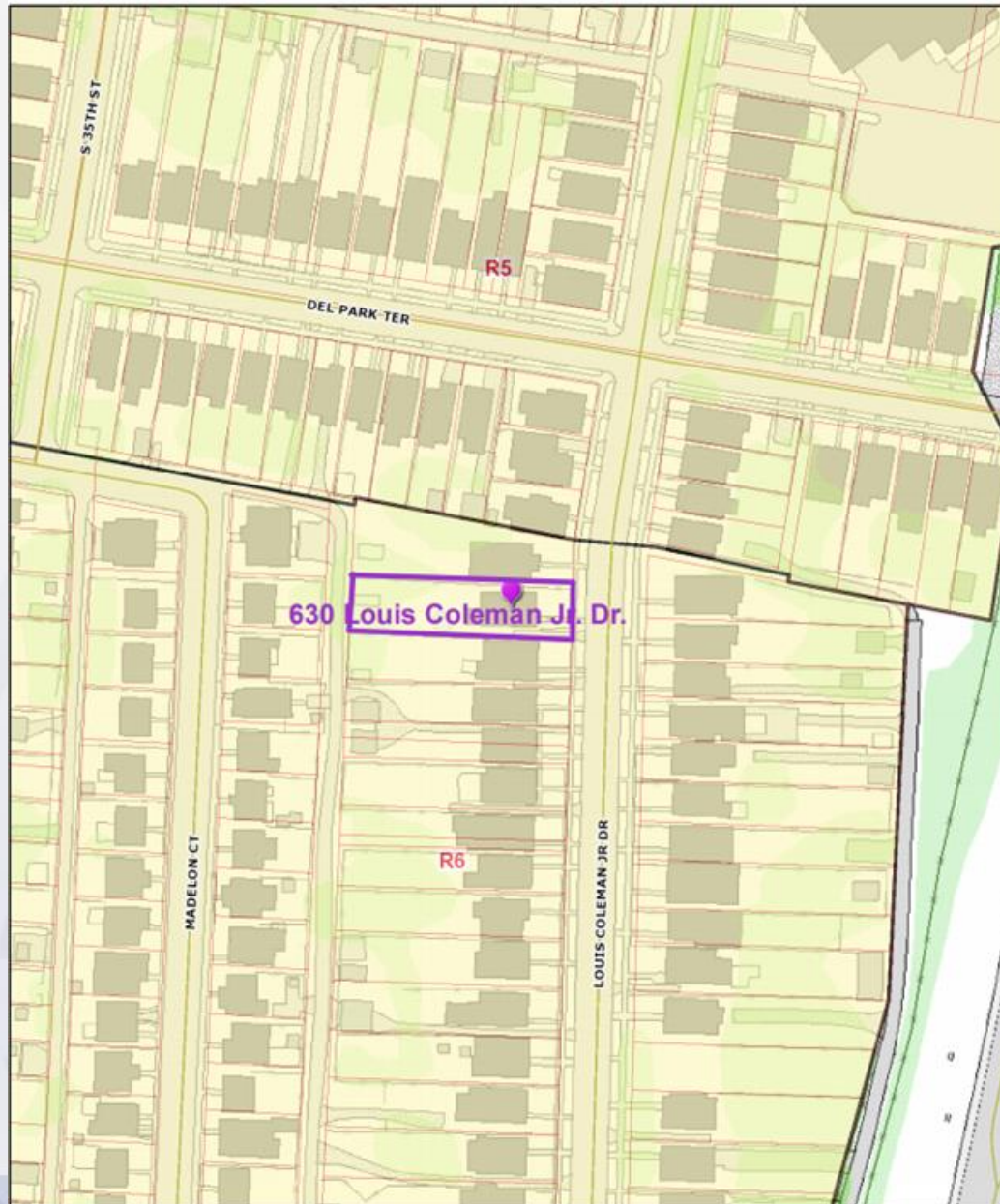
Case Summary/Background

- The resident will have a maximum number of eight men ages 13 through 18. The applicant will get referrals from the State of Kentucky and serve as a temporary home for kids waiting to be adopted.

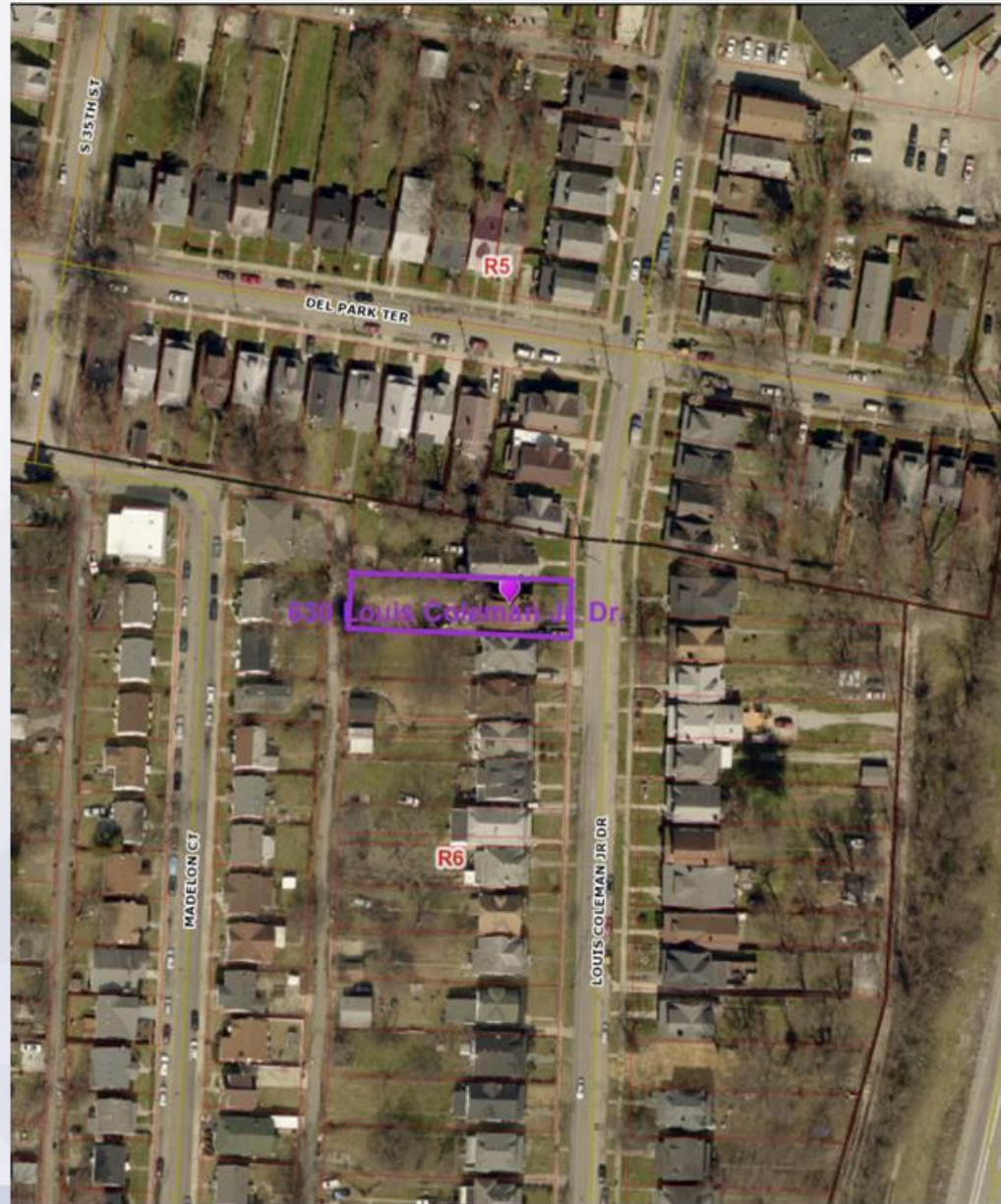
Site Location

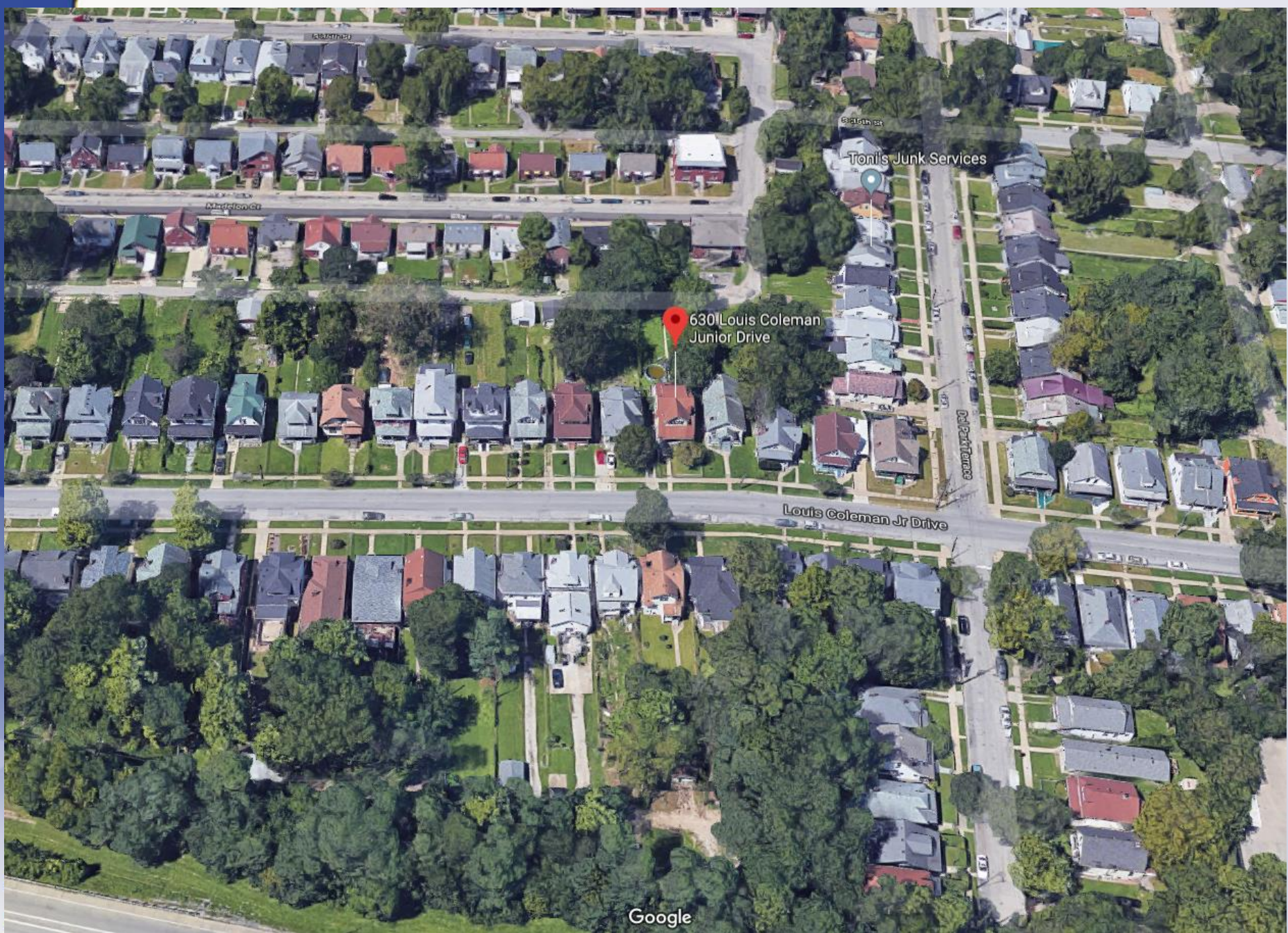


Zoning/Form Districts



Aerial Photo/Land Use





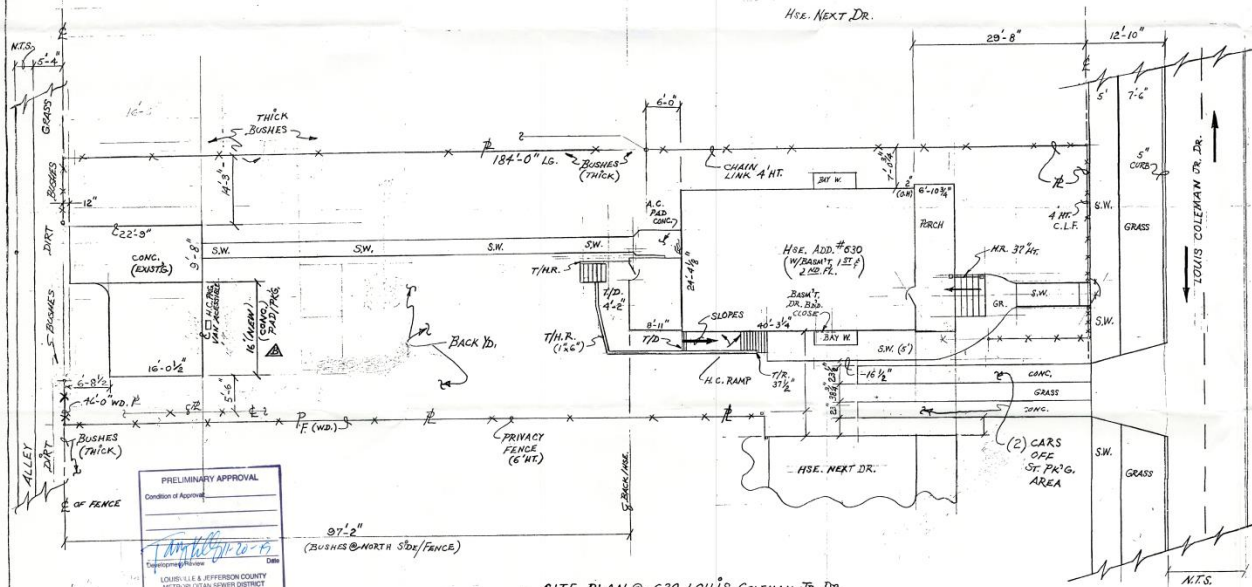
Site Plan



Here Measurements
Top to Root 30 ft.
House from basement 33 ft.
House is from 1st floor to
top of roof is 24 ft.
1st floor to CLG 2nd
FL to CLG 9' basement
to CLG 8'

PRELIMINARY APPROVAL
DEVELOPMENT PLAN
CONDITIONS

BY *James W. Paul*
DATE 11/1/03
METROPLIS DETAIL DESIGN DISTRICT



SITE PLAN @ 630 LOUIS COLEMAN JR. DR.

SCALE: 1/8" = 1'-0"

GENESIS GROUP HOME (NEW)

OLIVIA 574-3871

NOTES:

1. FULL BASEMENT NOT USED FOR GEOPHONIC. DOOR TO BASEMENT TOP LATCH TO BE ADDED. FL. READ OUT IN TOWN HALL. WEIR ON DOOR, KEEP DOOR LOCKED AT ALL TIMES.
2. NO ADDITIONAL LANDSCAPE

PARKING SUMMARY

1. NO PARKING SPACES (OFF STREET)
 2. NO PARKING SPACES (ON STREET)
 3. NO PARKING SPACES (IN DRIVEWAY OR CURB)
 4. PICK UP/DROP OFF IN DRIVEWAY OR CURB
 5. MIN. PARKING SPACES REQUIRED
- ZONING - R6
USE - GROUP HOME
630 LOUIS COLEMAN JR. DR.
LOUISVILLE, KY

Architectronics

Thomas A. Hardy III
Owner

Certified Contractor • Architectural
Designer • S.D. Plans • Piping & Mechanical
System Designer • I.P.L. Permit Drawing
Builder • Repair • Painting • Drywall
Roofing & Concrete

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REV.	DESCRIPTION	DATE	BY	APPROV.
A	ISSUED FOR PERMIT	11/1/03	THOMAS	THOMAS
B	ADD'D 2 NEW PARKING SPACES	11/1/03	THOMAS	THOMAS

RECEIVED RECEIVED

OCT 09 2003 5:00 PM

RECEIVED

PLANNING & DESIGN SERVICES

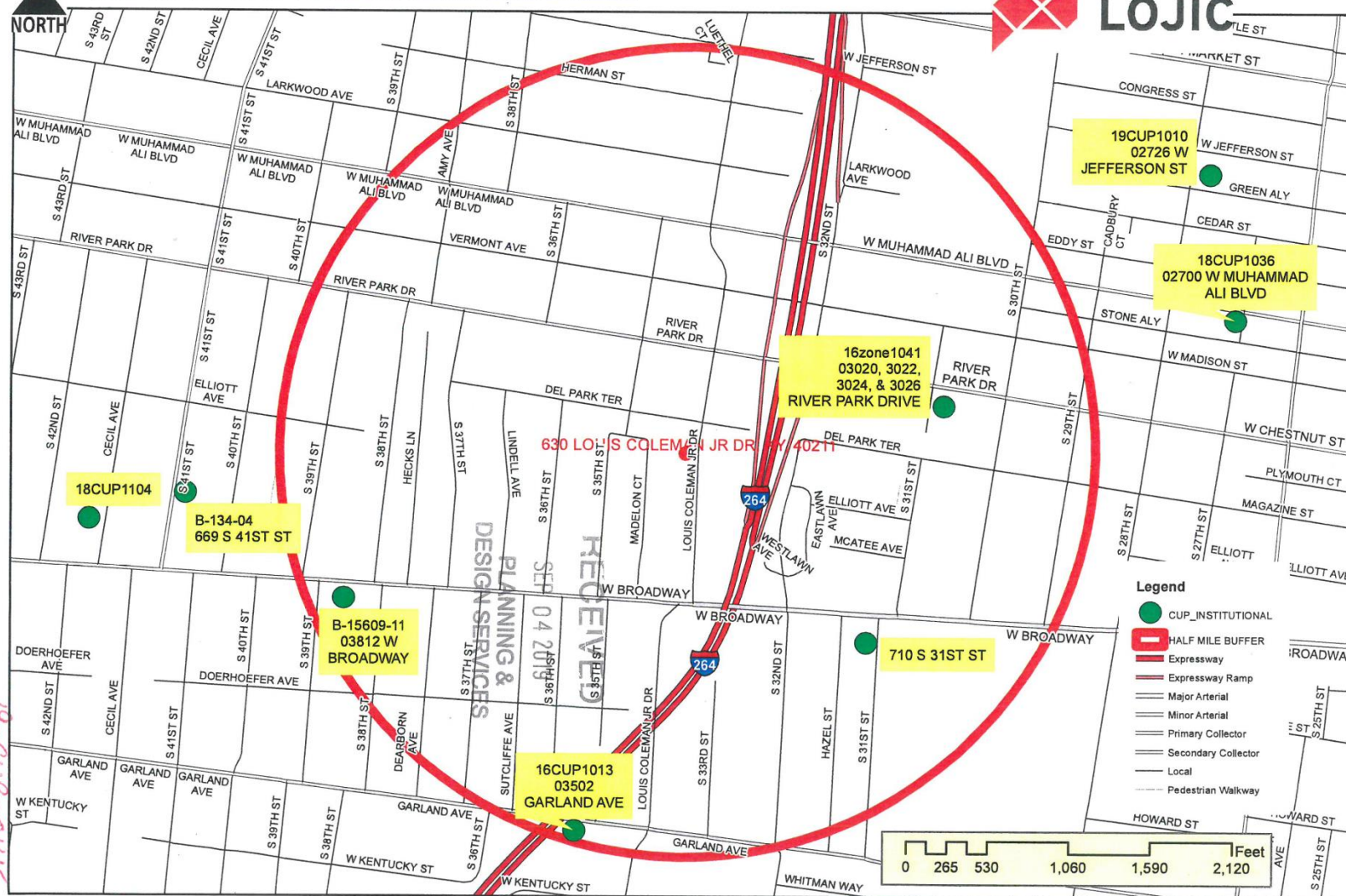
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11-1-03

19CUP1138 630 LOUIS COLEMAN JR. DRIVE



LOGIC



19-CUP-0145

Front



Across the Street



Parking Area/Front



Rear Area



11/22/2019 13:06

Rear of Residence



Alley



Staff Findings

- There are six listed requirements. The applicant will be requesting relief from item A.

Required Actions

Approve or Deny:

- Conditional Use Permit to allow transitional housing