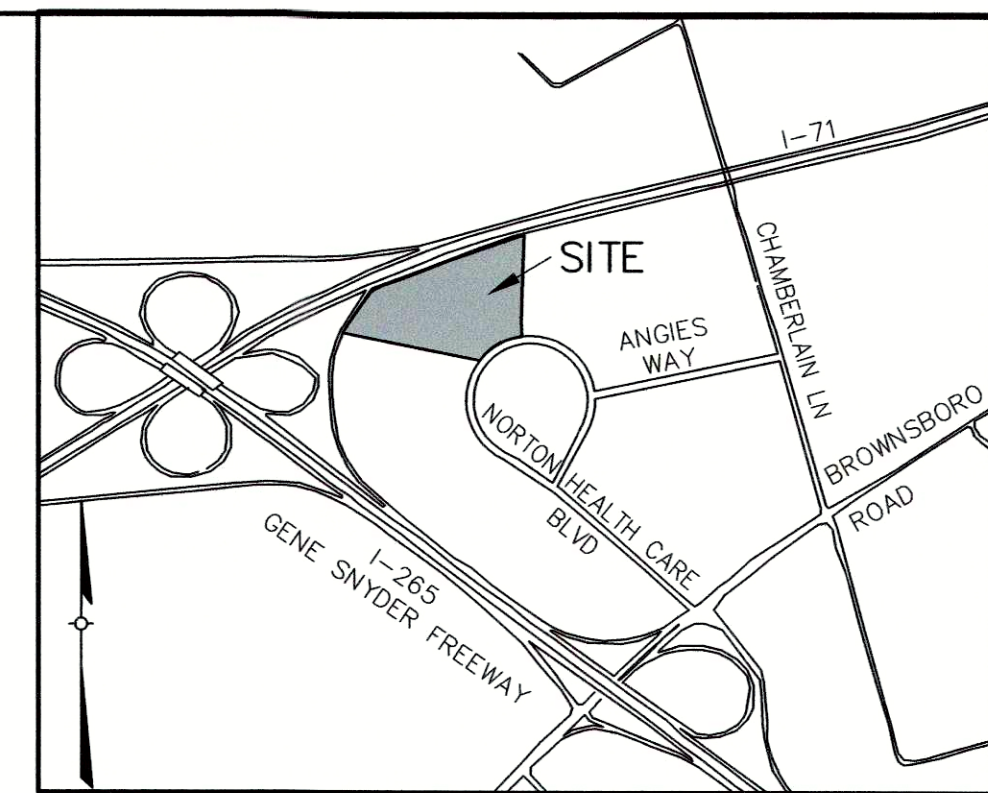


1. Parking areas and drive lanes to be a hard and durable surface.
2. No portion of the site is within the 100 year flood plain per FIRM Map No. 21111C008E dated December 5, 2006.
3. Drainage pattern depicted by arrows (⇒) is for conceptual purposes. Final configuration and size of drainage pipes and channels shall be determined during the construction plan design process. Drainage facilities shall conform to MSD requirements.
4. Erosion & Silt Control: Prior to any construction activities on the site a Erosion & Silt Control Plan shall be provided to MSD for approval.
5. Construction fencing shall be erected prior to any construction or grading activities preventing compaction of root systems of trees to be preserved. The fencing shall enclose the area beneath the dripline of the tree canopy and shall remain in place. No parking, material storage or construction activities shall be permitted within the fenced area.
6. Mitigation measures for dust control shall be in place during construction to prevent fugitive particulate emissions from reaching existing roads and neighboring properties.
7. All construction and sales trailers must be permitted by the Department of Public Health and Wellness in accordance with chapter 115 of Louisville Jefferson County Metro Ordinances.
8. Site is subject to MSD regional facility fee.

1. A Conditional Use Permit was granted to locate a Hospital on the subject site by Section 4.2.28 of the Louisville Metro Land Development Code on July 11, 2007, Docket No. 8764.
2. A Conditional Use Permit was granted for a helipod to be constructed on the subject site by Section 4.2.4 of the Louisville Metro Land Development Code on August 16, 2010, Case B-14374-10.

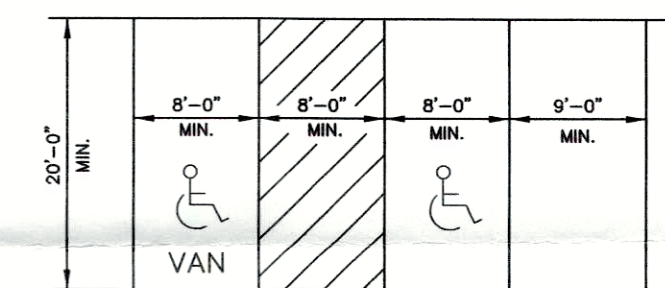


THE BUILDING ADDITION FOR AN MRI IS THE ONLY REVISION FOR THIS MODIFIED CONDITIONAL USE PERMIT.

TOTAL SITE AREA	= 15.10 Ac.
EXISTING ZONING	= OR-3 (CUP FOR HOSPITAL & HELIPORT)
FORM DISTRICT	= REGIONAL CENTER
EXISTING USE TO REMAIN	= HOSPITAL
EXISTING BUILDING AREA TO REMAIN	= 298,000 SF
PROPOSED MRI BUILDING ADDITION AREA	= 2,200 SF (1% INCREASE)
TOTAL BUILDING AREA	= 300,200 SF
F.A.R.	= 0.5 (4.0 MAX.)
EXISTING BUILDING HEIGHT	= 79' (5 STORY)
PARKING REQUIRED	= TO BE DETERMINED

TOTAL EXISTING VEHICULAR USE AREA TO REMAIN AS IS =	285,814 SF
INTERIOR LANDSCAPE AREA REQUIRED =	21,436 SF
INTERIOR LANDSCAPE AREA PROVIDED TO REMAIN AS IS =	23,825 SF

TOTAL SITE AREA	=	657,756 S.F.
EXISTING TREE COVERAGE	=	15% (98,663 S.F.)
EXISTING TREE CANOPY TO BE PRESERVED	=	15% (98.663 S.F.)
EXISTING TREE CANOPY TO BE REQUIRED	=	15% (98.663 S.F.)



22' MINIMUM WIDTH OF AISLEWAY

TYPICAL PARKING SPACE LAYOUT

NO SCALE

Condition of Approval:_____

Development Review Date 8/9/15

RECEIVED
SEP 04 2015
PLANNING &
DESIGN SERVICES

CURRENT CASE:
15CUP1035
& 15DEVPLAN1135
RELATED CASES:
13CUP1020,
13DEVPLAN1094,
B-14374-10, 8764
8693, 11684, 9-55-01
WM # 9607

SITE ADDRESS:
4960 NORTON HEALTHCARE BLVD.
LOUISVILLE, KY 40241
D.B. 8914, PG. 404
PLAT BOOK 50, PAGE 65
PARCEL 3712 LOT 0005

[illegible]

SURVEYOR'S SEAL

ENGINEER'S SEAL

PROJECT DATA

FILE NAME: 06102 MOD CUP FOR PED BRIDGE

DATE: 8-10-15

SCALE: AS SHOWN

CHECKED BY: AER

DRAWN BY: JH

LD&D

LAND DESIGN & DEVELOPMENT, INC.

ENGINEERING • LAND SURVEYING • LANDSCAPE ARCHITECTURE
605 WASHINGTON AVENUE, SUITE 101 LOUISVILLE, KENTUCKY 40212
FAX: 502.444.9575 PHONE: 502.444.0514
WEB SITE: WWW.LDD-INC.COM

**REVISED DETAILED DISTRICT DEVELOPMENT PLAN
MODIFIED CONDITIONAL USE PERMIT &
NORTON BROWNSBORO HOSPITAL**

OWNER/DEVELOPER
NORTON HOSPITALS INC.
P.O. BOX 35070
LOUISVILLE, KY 40232

JOB NO.
06102

SHEET
1
OF 1