

16ZONE1067
1100 Milton Street



Louisville Metro Planning Commission Public Hearing

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Requests

- Change in Zoning from R-5 Single-Family Residential to C-1 Commercial
- Approval of Detailed Development Plan

Case Summary / Background

- Proposal will expand existing commercial and residential uses on corner lot at 1100 Milton and replace residential use at 1102 Milton
- Two existing structures on two lots to be demolished and a single new structure to be built across both; lots will be consolidated to one parcel
- New two-story structure to include existing chiropractor's office, retail space and three apartments
- Parking on street and off alley at rear of parcel
- Remaining quadrants of intersection to remain R-5
- Site adjoins existing commercial use at rear alley

Zoning/Form Districts

Traditional Neighborhood Form District

Subject Property:

- Existing: R-5
- Proposed: C-1

Adjacent Properties:

- North: R-5
- South: C-1
- East: R-5
- West: R-5



Aerial Photo/Land Use

Subject Property:

- Existing: Professional Office/ Residential
- Proposed: Professional Office/ Commercial/Residential

Adjacent Properties:

- North: Single-Family Residential
- South: Bar/Restaurant
- East: Single-Family Residential
- West: Single-Family Residential



Site Photos

Subject Property



Milton Street view



Hickory Street view

Site Photos

Surrounding Area



Northeast Corner



Northwest Corner



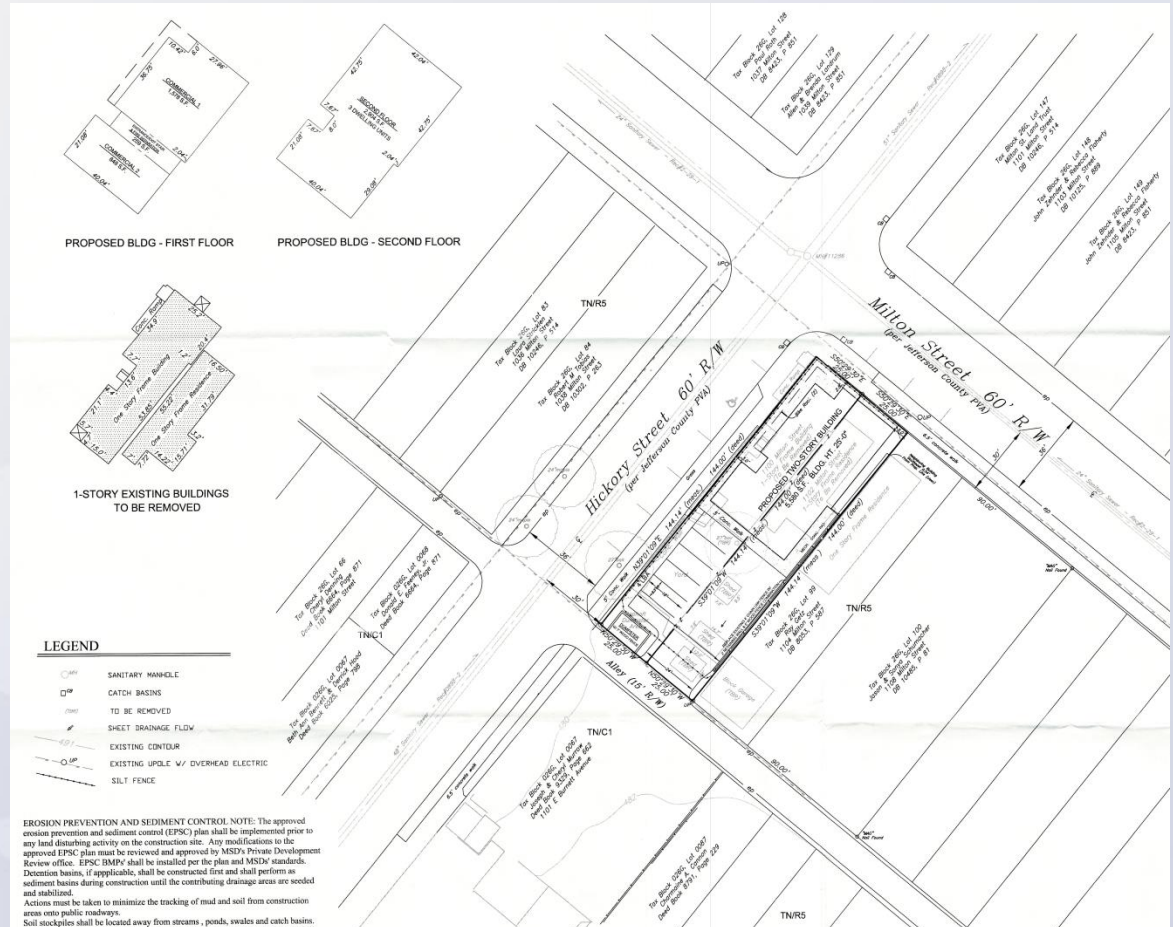
Southeast Corner



Southwest Corner

Applicant's Development Plan

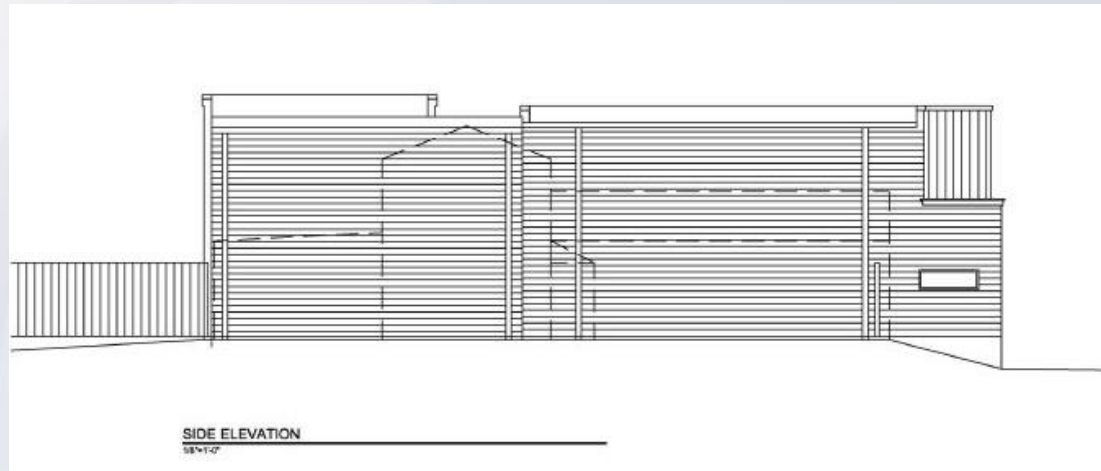
- Ground floor: chiropractor's office and retail space
2,685 sq ft
- Second floor: three apartments
2,904 sq ft
- 7 parking spaces required/12 provided
- 2 ft retaining wall topped with 6 ft wooden fence along property line



Building Elevations



Building Elevations



Applicable Plans & Policies

- **Cornerstone 2020:** Proposal meets all applicable goals and policies except those specifically regarding the exterior design of the structure, some aspects of which are not consistent with the surrounding area
- **Land Development Code:** Proposal meets all applicable standards and requirements

Technical Review

- All agency comments have been addressed and resolved

Staff Analysis and Conclusions

- Proposed zone is an extension of a neighborhood center located one block away
- Site design meets all requirements
- Building design is consistent in massing and height with surroundings
- Building design is not consistent in style with surroundings

Required Actions

- Zoning: Forward to Louisville Metro Council with recommendation for Approval/Denial
- Detailed District Development Plan with binding elements: Approve/Deny