



Landmarks Certificate of Appropriateness & Overlay District Permit

Louisville Metro Planning & Design Services

Case No.: **20-COA-0181** Intake Staff: **PB**

Date: **09/02/2020** Fee: No Fee

Instructions:

For detailed definitions of *Certificate of Appropriateness* and *Overlay District Permit*, please see page 4 of this application.

Project Information:

Certificate of Appropriateness: Butchertown Clifton Cherokee Triangle Individual Landmark
 Limerick Old Louisville Parkland Business West Main Street

Overlay Permit: Bardstown/Baxter Ave Overlay (BRO) Downtown Development Review Overlay (DDRO)
 Nulu Review Overlay District (NROD)

Project Name: Little Way Pregnancy Resource Center

Project Address / Parcel ID: 515 West Oak Street, Louisville, KY 40203

Total Acres: 0.19710

Project Cost (exterior only): 20,000 PVA Assessed Value: 221,080

Existing Sq Ft: 4,061 New Construction Sq Ft: 0 Height (Ft): 19' Stories: 1

Project Description (use additional sheets if needed):

Little Way is in need of a facelift on the front of its building that will include removal of the flat overhang roof and brick side panels that support it, as well as brick flower beds. We will replace the shingled roof and paint the building with an off-white/cream paint. New metal awnings will be added over front windows and front door and new planters will be placed under windows.

- The front flat overhang roof is poorly built and allows for water collection and unsightly mold that runs down the building. The overhang will be replaced with metal awnings over windows and front door.
- The brick side panels that support the flat overhang roof area a serious safety hazard that must be addressed. Often, as we have exited our driveway, the lack of visibility has almost resulted in collisions with pedestrians and bikers. (see attached video)
- The large brick planters will be replaced with more appropriately-sized planters under the windows and will serve to keep sidewalk traffic away from the building so visibility of bikers and walkers is improved.
- There are numerous brick buildings and homes in our neighborhood with a paint color similar to what we have chosen, as well as awnings. (see attached photo) The new face lift would fit seamlessly into the neighborhood.
- The inside and outside of our do not match. The inside of our building has a clean and fresh look, and we would like the outside to reflect what our clients will see when they walk through our doors.

Contact Information:

Owner: Check if primary contact

Applicant: Check if primary contact

Name: Ellen Wichmann

Name: Bryan Harmeling

Company: Little Way Pregancy Resource

Company: Stengel Hill Architecture

Address: 515 West Oak Street

Address: 613 West Main Street

City: Louisville State: KY Zip: 4020

City: Louisville State: KY Zip: 40202

Primary Phone: 502-589-0370

Primary Phone: 502-893-1875

Alternate Phone: _____

Alternate Phone: _____

Email: ewichmann@littleway.org

Email: bharmeling@stengelhill.com

Owner Signature (required): _____

Attorney: Check if primary contact

Plan prepared by: Check if primary contact

Name: Jason Woodall

Name: Bryan Harmeling

Company: Woodall PLLC

Company: Stengel Hill Architecture

Address: 1974A Douglas Blvd

Address: 613 West Main Street

City: Louisville State: KY Zip: 4020

City: Louisville State: KY Zip: 40202

Primary Phone: 502-387-0024

Primary Phone: 502-893-1875

Alternate Phone: _____

Alternate Phone: _____

Email: Jason.woodallpllc.com

Email: bharmeling@stengelhill.com

Certification Statement: A certification statement must be submitted with any application in which the owner(s) of the subject property is (are) a limited liability company, corporation, partnership, association, trustee, etc., or if someone other than the owner(s) of record sign(s) the application.

I, Anne Ramsey, in my capacity as Board Chair, hereby
representative/authorized agent/other

certify that Little Way Pregnancy Resource Center, Inc. is (are) the owner(s) of the property which
name of LLC / corporation / partnership / association / etc.

is the subject of this application and that I am authorized to sign this application on behalf of the owner(s).

Signature: Anne Ramsey Date: 9-1-20

I understand that knowingly providing false information on this application may result in any action taken hereon being declared null and void. I further understand that pursuant to KRS 523.010, et seq. knowingly making a material false statement, or otherwise providing false information with the intent to mislead a public servant in the performance of his/her duty is punishable as a Class B misdemeanor.

Please submit the completed application along with the following items:

Required for every application:

- Land Development Report¹
- Current photographs showing building front, specific project area, and surrounding buildings
- Elevations, pictures, samples, brochures, or other technical data describing materials, such as windows, doors, roofing, fencing, etc. to be used in the renovation or replacement

Site and Project plan: (required for building additions, new structures and fencing)

- Site plan drawn to scale with dimensions, as applies to the project, indicating property lines, structures, landscaping, fencing, and parking
- Floor plans drawn to scale with dimensions and each room labeled
- Elevation drawings (a drawing showing exterior walls) drawn to scale with dimensions. For fencing, only photos/drawings of the proposed fence are required.

Committee Review Only

Committee reviews may be required due to the complexity of the case. The necessity of these items will be determined by staff upon review. Projects requiring committee level review include construction of new buildings, demolition, and projects that vary widely from design guidelines.

- Two sets of 11"x17" format site plans drawn to scale with dimensions
- Two sets of 11"x17" elevation drawings to scale with dimensions
- Two sets of 11"x17" landscaping drawings to scale with dimensions
- One set of mailing label sheets for: 1st tier Adjoining Property Owners (APOs)³, owners, applicants, contacts, and Case Manager. Applicant is responsible for mailing.
- One copy of the mailing label sheets

Resources:

1. For a Land Development Report, go to the following website and enter address in the search bar. After the map zooms to the location, click on the icon that looks like the letter "d" in a green circle. Print report.
<https://www.lojic.org/lojic-online>
2. Deeds and plats can be found at the Jefferson County Clerk's Office (527 West Jefferson Street , 2nd fl, 502-574-6220. Many deeds, plats and other records are available online at:
<https://search.jeffersondeeds.com/>
3. Adjoining property ownership information can be found at the Property Valuation Administrator (PVA) office at 531 Court Place, Suite 504 or via their website: <https://jeffersonpva.ky.gov/property-search/>
4. View agency comments at: <http://portal.louisvilleky.gov/codesandregs/mainsearch>. Enter your case number in the 'Permit/Case/Docket Number' search bar and then select your case under the 'Application Number' tab.

Submittal Instructions:

Applications are due on Fridays at 5:00 p.m. Once complete, please bring the application and supporting documentation to: Planning and Design Services, located at 444 South 5th Street, Suite 300. For more information, call (502) 574-6230 or visit <https://louisvilleky.gov/government/planning-design/>

Definitions:

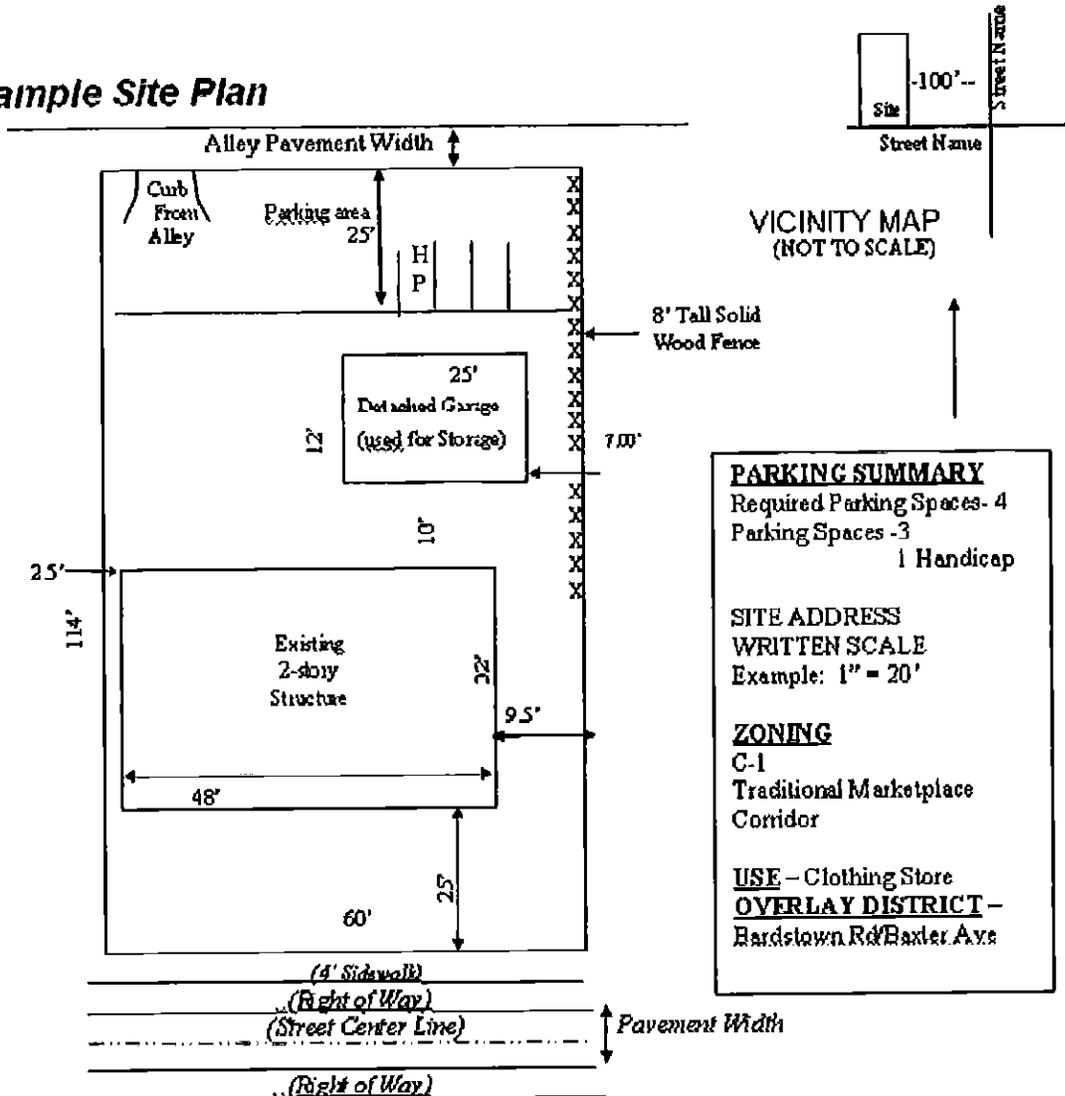
Certificate of Appropriateness: A project involving physical changes to the exterior of a building, structure, or property designated as a local landmark or located within a local preservation district shall require prior approval in the form of a Certificate of Appropriateness. An approval requires substantial conformance to design guidelines established for each landmark and district. The design guidelines, along with other information regarding local preservation districts, may be found at the website of the Landmarks and Preservation Districts Commission:

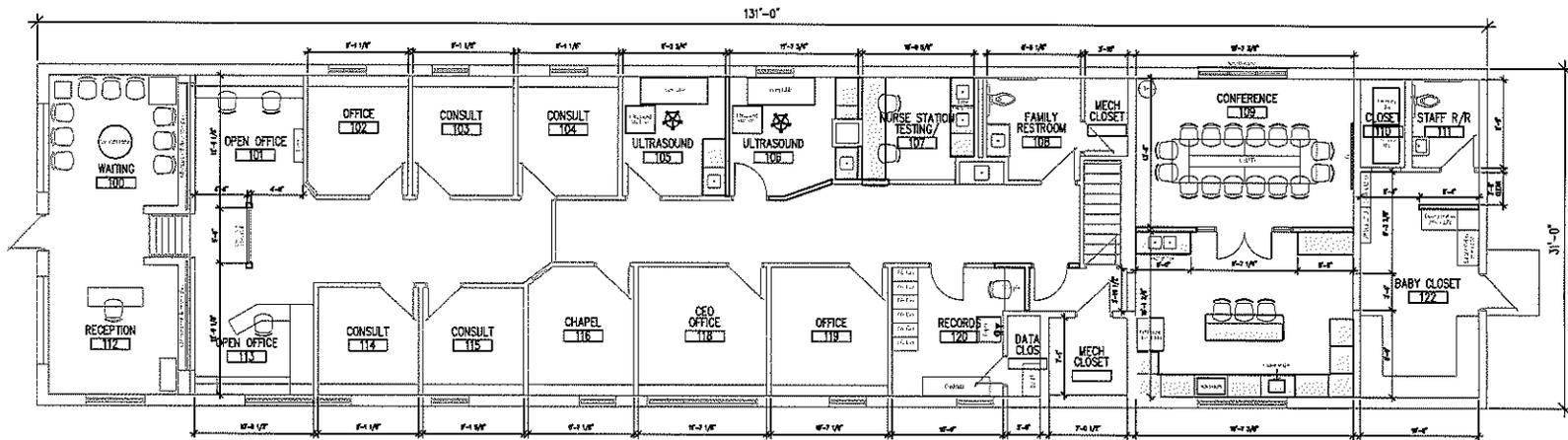
<https://louisvilleky.gov/government/planning-design/historic-preservation-landmarks-and-overlay-districts>

Overlay District Permit: A project involving physical changes to the exterior of a building, structure, or property within an overlay district shall require prior approval in the form of an Overlay Permit. An approval requires substantial conformance to design guidelines established for each overlay district. The design guidelines, along with other information regarding overlay districts, may be found at the following website:

<https://louisvilleky.gov/government/planning-design/historic-preservation-landmarks-and-overlay-districts>

Sample Site Plan





01

SK01-01

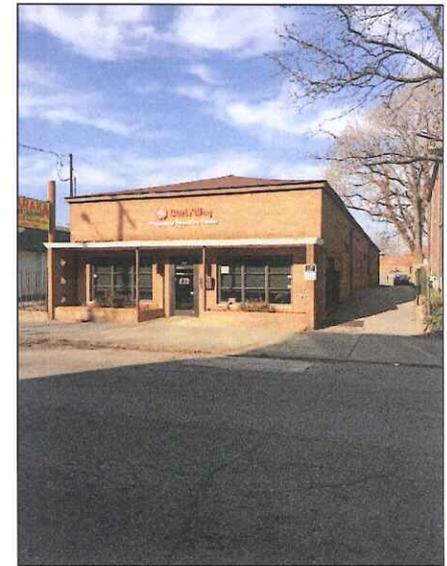
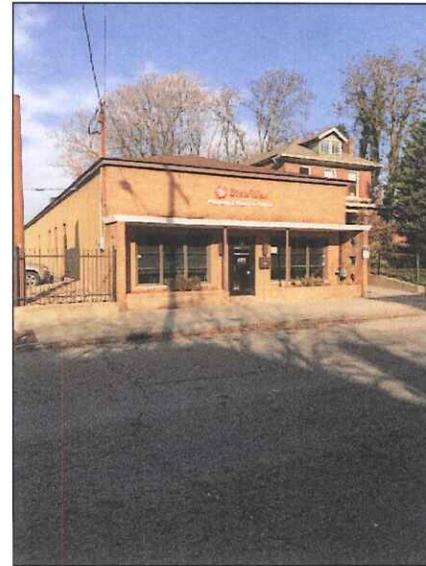
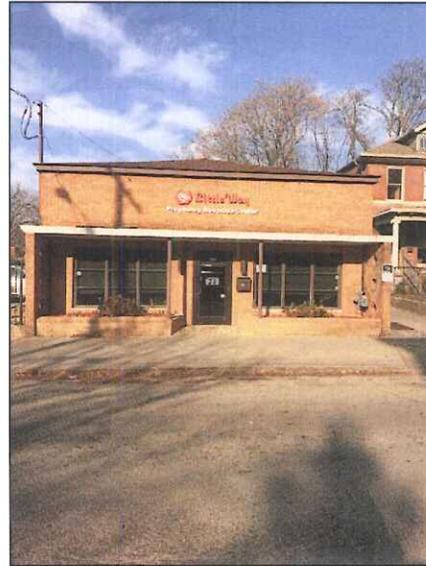
ENLARGED
FIRST FLOOR PLAN

3/16" = 1'-0"



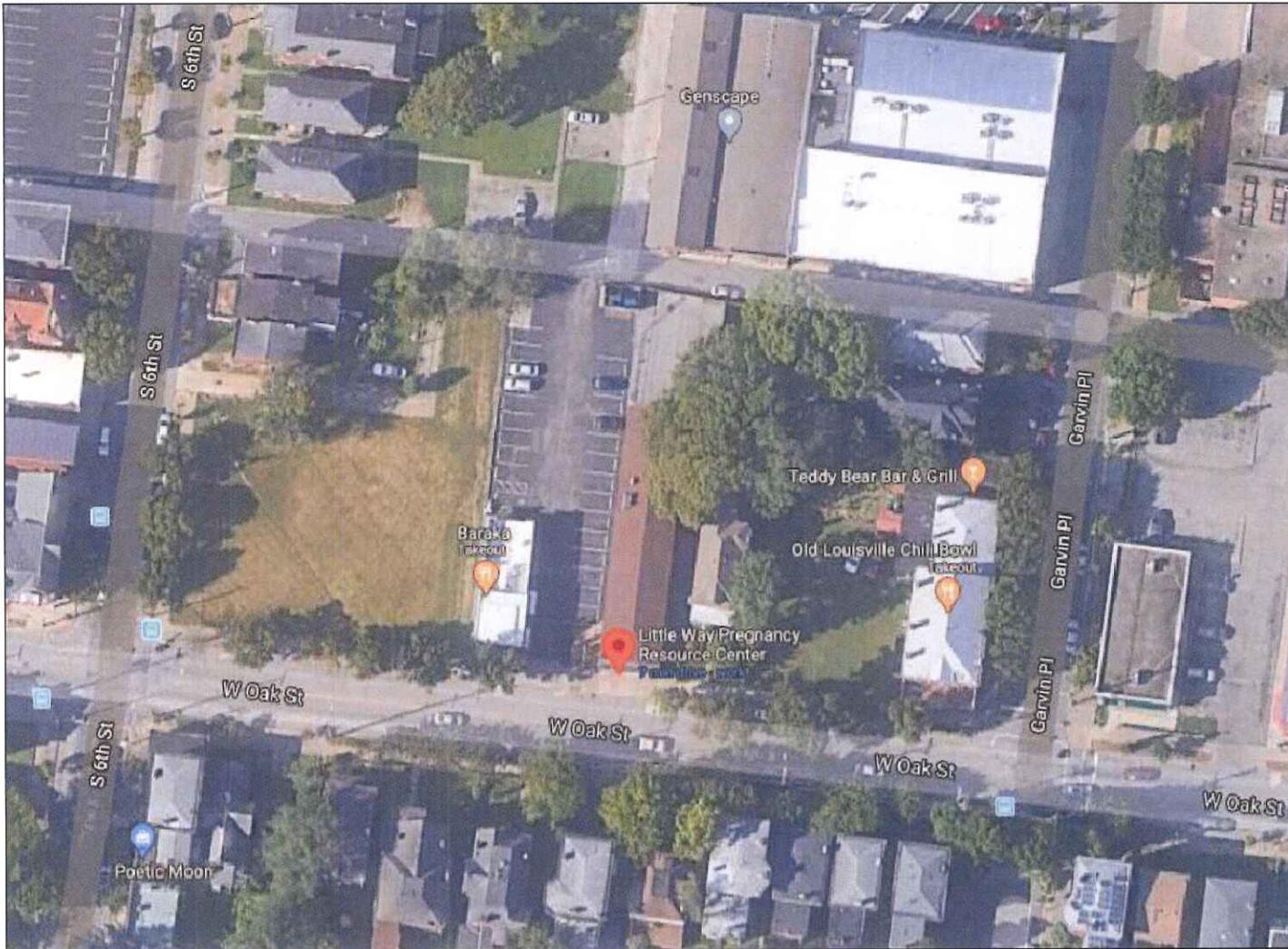
NORTH

RENOVATION FIRST FLOOR PLAN 3/16" = 1'-0"	
LITTLE WAY PREGNANCY RESOURCE CENTER 515 WEST OAK STREET LOUISVILLE, KENTUCKY	
SK01-01	21 JULY 2020
[WPI]B02	
STENGEL-HILL ARCHITECTURE	
<small>614 WEST MAIN STREET 402.581.1875 402.581.1875 402.581.1875</small>	



01 EXISTING EXTERIOR PHOTOS
 SK01-03 NOT TO SCALE

EXISTING PHOTOS NOT TO SCALE	
LITTLE WAY PREGNANCY RESOURCE CENTER 515 WEST OAK STREET LOUISVILLE, KENTUCKY LWP1802	SK01-03 21 JULY 2020
STENGEL-HILL ARCHITECTURE 813 WEST MAIN STREET SCHUYLER, KENTUCKY 40221 502.893.1183 502.893.1876 WA	



01

EXISTING SITE PLAN

SK01-04

NOT TO SCALE

EXISTING SITE PLAN	
NOT TO SCALE	
LITTLE WAY PREGNANCY RESOURCE CENTER 515 WEST OAK STREET LOUISVILLE, KENTUCKY	SK01-04
LWP1802	21 JULY 2020
STENGEL-HILL ARCHITECTURE 613 WEST MARKET STREET 1228 HILL KENTUCKY 40202 502.875.1875 502.875.1874 FAX	



01

SOUTH ELEVATION

SK01-02

1/4" = 1'-0"

SOUTH ELEVATION <small>1/4" = 1'-0"</small>	
LITTLE WAY PREGNANCY RESOURCE CENTER 515 WEST OAK STREET LOUISVILLE, KENTUCKY	SK01-02
DWP1602	21 JULY 2020
STENGEL-HILL ARCHITECTURE <small>133 WEST MAIN STREET LOUISVILLE, KENTUCKY 40202 502.951.1075 502.951.1074</small>	



01 CONCEPTUAL EXT. RENDERING
 SK01-05 NOT TO SCALE

CONCEPTUAL EXTERIOR RENDERING	
NOT TO SCALE	
LITTLE WAY PREGNANCY RESOURCE CENTER 515 WEST OAK STREET LOUISVILLE, KENTUCKY LWP1902	SK01-05 21 JULY 2020
STENDEL-HILL ARCHITECTURE 413 WEST 44TH STREET SCARLETT, KENTUCKY 40359 502.993.1475 502.993.1474 FAX	

3 PHOTOS DEPICTING SAFETY HAZARD CAUSED BY BRICK SIDE PANELS:

1. Photo shows driver's vision as you approach the end of Little Way driveway and pedestrian sidewalk.



2. Here is a car at the end of Little Way driveway. Driver is unable to see any pedestrians or bikers until very last minute, because brick panels impede vision.



3. Driver is often surprised by biker or pedestrian on the sidewalk at the end of Little Way driveway due to impeded vision.



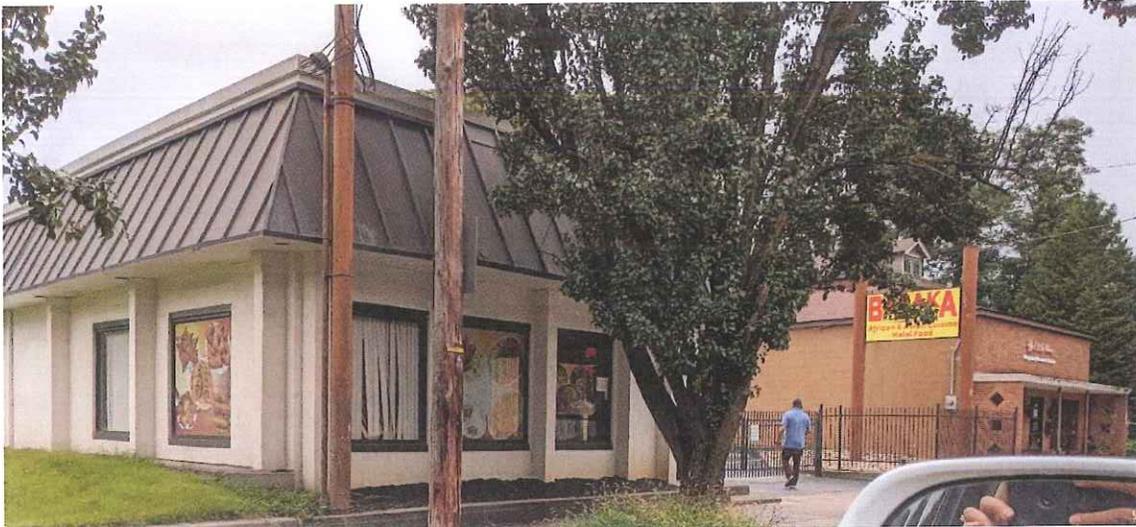
Neighborhood Comparison

Numerous buildings within a couple blocks of Little Way (515 West Oak)
with awnings & similar color (off-white/cream)

4th Block West Oak Street (Awnings and color)



5th Block West Oak Street (color)



6th Block West Oak Street (new renovation)



3rd Block Ormsby (awnings and color)



3rd Street (awnings and color)

