

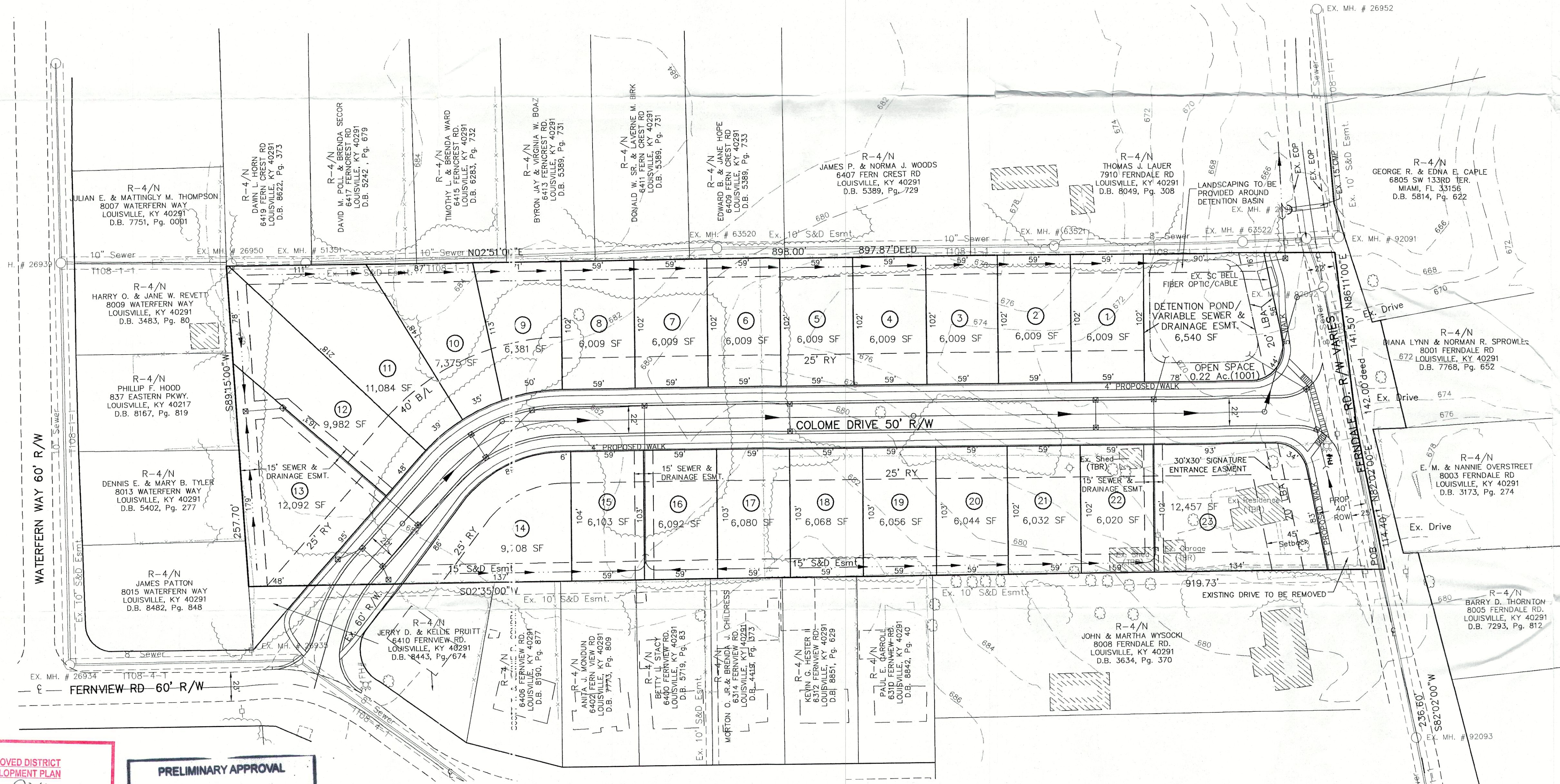
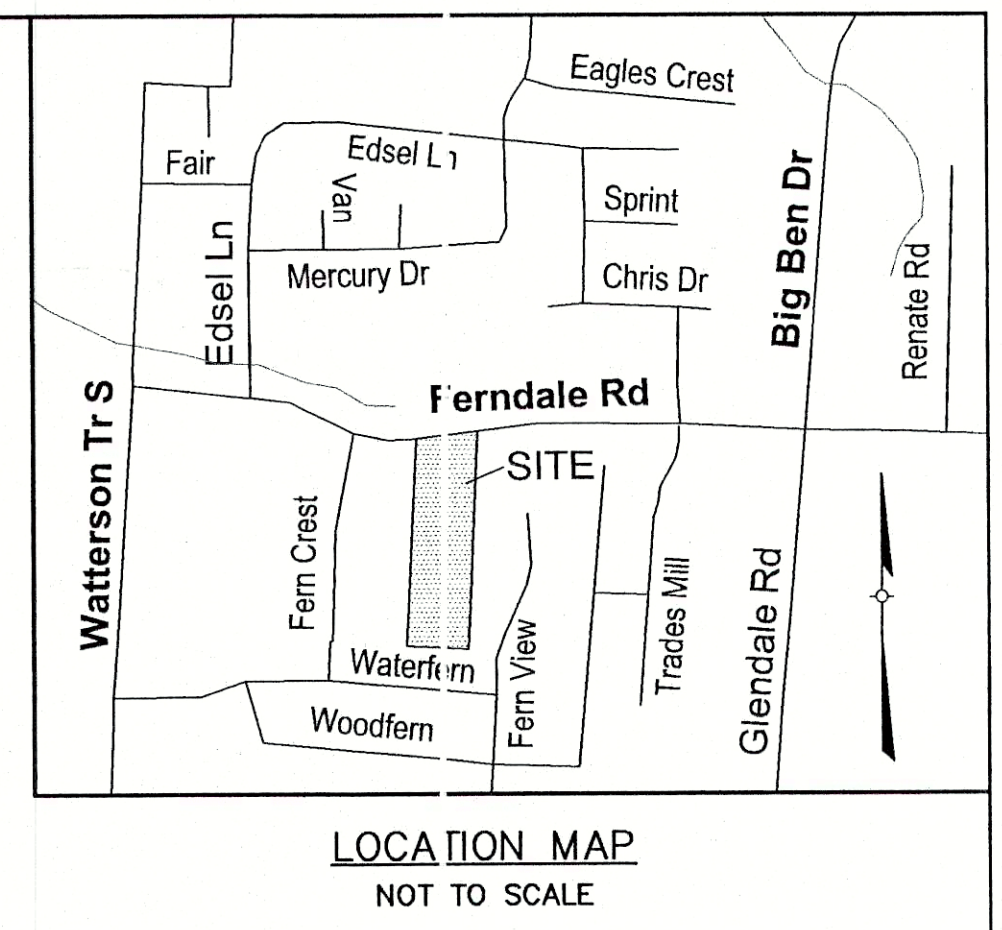
**NOTICE**  
 PERMITS SHALL BE ISSUED ONLY IN CONFORMANCE WITH THE BINDING ELEMENTS OF THIS DISTRICT DEVELOPMENT PLAN.

**TRANSPORTATION APPROVAL PRELIMINARY DEVELOPMENT PLAN**  
 CATEGORY: 2  3  4   
 CONDITIONS:  
 BY: [Signature]  
 DATE: 7/18/07

**DETENTION BASIN CALCULATIONS**  
 $X = \Delta CRA/12$   
 $\Delta C = 0.70 - 0.25 = 0.47$   
 $A = 5.3 \text{ ACRES}$   
 $R = 2.9 \text{ INCH/S}$   
 $X = (0.47)(5.3)(2.9)/12 = 0.60 \text{ AC.-FT.}$   
 REQUIRED  $X = 26,136 \text{ CU.FT.}$   
 PROVIDED BASIN = 6,540 SF.  
 TOTAL = 6,540 SQ. FT. @ APPROX. 4 FT. DEPTH = 26,160 SQ. FT. > 26,136 SQ. FT.

**TREE CANOPY CALCULATIONS**  
 TOTAL SITE AREA = 230,868 S.F.  
 TOTAL TREE CANOPY AREA REQUIRED = 20% (46,147 S.F.)  
 EXISTING TREE CANOPY TO BE PRESERVED = 0% (0 S.F.)  
 TREES TO BE PLANTED:  
 32 TYPE "A" STREET TREES @ 1 3/4 CAL. (900 SF CREDIT EACH) = 28,800 S.F.  
 6 TYPE "A" TREES @ 1 3/4 CAL. (720 SF CREDIT EACH) = 4,320 S.F.  
 TREES TO BE PLANTED WITHIN OPEN SPACE OR LOTS:  
 19 TYPE "A" TREES @ 1 3/4 CAL. (720 SF CREDIT EACH) = 13,680 S.F.  
 TOTAL TREE CANOPY TO BE PLANTED = 20% (46,800 S.F.)  
 TOTAL TREE CANOPY PROVIDED = 20% (46,800 S.F.)

**PROJECT DATA**  
 TOTAL SITE AREA = 5.3 ACRES  
 EXISTING ZONING = R-4  
 FORM DISTRICT = NEIGHBORHOOD  
 PROPOSED ZONING = R-5  
 TOTAL # RESIDENTIAL LOTS = 23  
 TOTAL # OPEN SPACE LOTS = 1  
 TOTAL AREA OF R/W = 1.29 AC.  
 NET AREA = 4± AC.  
 GROSS DENSITY = 4.3± DU/AC.  
 NET DENSITY = 5.7± DU/AC.  
 TOTAL AREA OF LOTS = 4± AC.  
 OPEN SPACE PROVIDED = 0.22 AC.  
 SETBACK:  
 FRONT YARD = 25'  
 SIDE YARD = 5'  
 REAR YARD = 25'  
 FERDALE RD. SETBACK = 45'



- NOTES**
- GENERAL**
- No lots shown hereon may be subdivided or resubdivided resulting in the creation of a greater number of lots than originally approved by the planning commission.
  - This development is located in the FERNCREEK Fire Protection District and approval shall be obtained prior to construction approval.
  - Construction fencing shall be erected at the edge of the limits of disturbance areas prior to any grading or construction activities. The fencing is to remain in place until all construction is completed. No parking, material storage, or construction activities shall be permitted within the fenced area.
  - A soil erosion and sedimentation control plan shall be developed and implemented in accordance with the Metropolitan Sewer District and USDA Soil Conservation Service recommendations.
  - All open space lots are non-buildable and will be recorded as open space and utility easements.
  - There shall be no access to any lot within proposed subdivision from FERDALE ROAD.
  - Benchmark and topographical information shown hereon were derived from Lojic data. Boundary information was taken from deeds.
  - Compatible on-site utilities, (electric, phone, cable) shall be placed in a common trench unless otherwise required by appropriate agencies.
  - Mitigation measures for dust control shall be in place during construction to prevent fugitive emissions reaching existing roads and neighborhoods.
- SEWER & DRAINAGE**
- Runoff from this development must be conveyed to an adequate public outlet. On-site detention will be provided, if required.
  - No portion of the site is located in a floodplain per FIRM map 21111C0079E dated DECEMBER 5, 2006
  - Sewers by L. E. and subject to all applicable fees.
  - This site will be served by West County WWTP.
  - Downstream analysis and upgrades will be required for this site to have sanitary sewer service.
  - Extension of MSD storm water boundaries may be required.
  - A "Request for Sanitary Sewer Capacity" has been filed with MSD.
  - All proposed sewer and drain easements shall be 15' unless otherwise indicated.
  - The Louisville Water Company will determine the width of their easement prior to construction plan approval.
  - Downstream analysis of existing culvert under FERDALE ROAD must be completed prior to construction approval.
  - Corps of Engineers wetland determination required due to possible hydric soils on site.
  - Downstream improvements will be required along with detention.
- STREETS & SIDEWALKS**
- COLOME DRIVE shall be 22 feet in width with a 35 foot radius at intersections, and shall have curb and gutters.
  - Sidewalks within the subdivision shall be provided in accordance with Table 6.2.1 of the Land Development Code.
  - Street grades shall not be less than 1% (Min.) or more than 10% (max.).
  - Street trees are required along FERDALE ROAD in the event that the trees are not allowed to be placed in mentioned streets and Right-of-Ways the trees shall be placed elsewhere on the property.
  - Street trees shall be planted in a manner that does not effect public safety or hamper sight distance. Final location will be determined during construction approval process.
  - A Bond & Encroachment Permit is required by Metro Public Works for all work within the FERDALE ROAD and FERNVIEW ROAD Rights-Of-Way, and for roadway approaches on all surrounding access roads to the subdivision site due to damages caused by construction traffic.
  - Verges shall be provided as required by Metro Public Works.
  - All streets, intersections, loop roads, cul-de-sacs, bulbs, traffic circles and rights-of-way shall be in accordance with the Development Code and Metro Public Works' standards and approved at the time of construction.
  - All street name signs shall conform with the MUTCD requirements and shall be installed prior to the recording of the applicable subdivision plot or prior to obtaining the first certificate of occupancy and shall be in place at time of bond release.
  - The location and type of plantings within the street right-of-way will be evaluated for roadway safety and sight distance requirements by Metro Public Works which reserves the right to remove them without the property owner's approval.
  - Should any existing drainage structures and/or utilities located within offsite rights-of-way become necessary to be altered, extended or relocated, such shall be at the owner's/developer's expense.
  - A Bond and Encroachment Permit will be required by Metro Works for roadway repairs within the site due to damage caused by construction traffic activities.
  - All roadway intersections shall meet the requirements for landing areas as set by Metro Public Works.
  - Road improvements along FERDALE ROAD will be required to provide an 8' shoulder per Metro Public Works standard.

LOUISVILLE METRO  
 APPROVED DISTRICT DEVELOPMENT PLAN  
 DOCKET NO. 9211  
 APPROVAL DATE 11/8/07  
 EXPIRATION DATE 11/8/09  
 SIGNATURE OF PLANNING COMMISSION [Signature]  
 PLANNING COMMISSION

**PRELIMINARY APPROVAL**  
 Conditions of Approval:  
 [Signature] 7-18-07  
 Development Review Date  
 LOUISVILLE & JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT

PRELIMINARY NOT FOR CONSTRUCTION  
 STATE OF KENTUCKY  
 JAMES K. HAYDEN  
 56  
 LANDSCAPE ARCHITECT  
 [Signature] 7/18/07  
 PROFESSIONAL STAMP

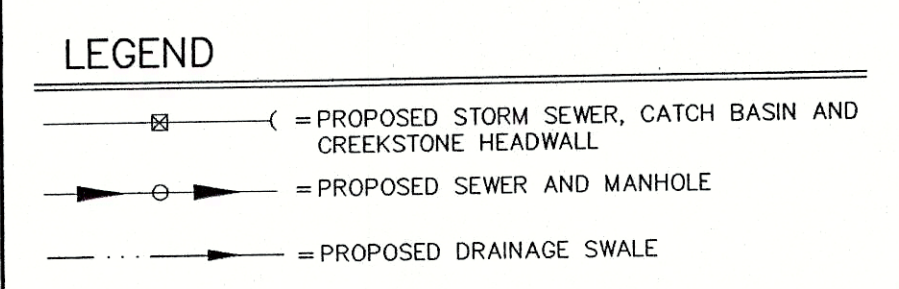
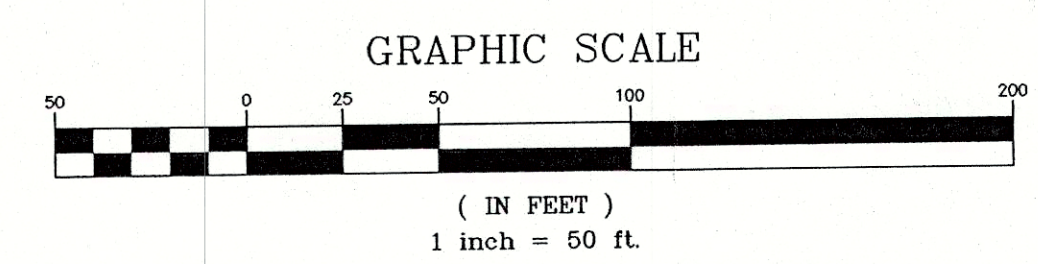
SITE ADDRESS:  
 8006 FERDALE ROAD  
 LOUISVILLE, KY 40291  
 TAX BLOCK: 637, LOT 36  
 D.B. 3382, PG. 0262

OWNERS:  
 NANCY & RUSSELL PERKINS  
 006 FERDALE ROAD  
 Louisville, KY 40291

DEVELOPER:  
 JEFF HENSEL  
 11705 SEATONVILLE ROAD  
 Louisville, KY 40291  
 PHONE: (502) 819-7696

LAND DESIGN & DEVELOPMENT, INC.  
 PREPARED BY:  
 501 WASHBURN AVENUE, SUITE 101  
 LOUISVILLE, KENTUCKY 40222  
 PHONE: (502) 426-9374  
 FAX: (502) 426-9375  
 JOB: 07034  
 MSD SUB# 1234  
 DATE: 03/22/07

NO.	DATE	REVISIONS	BY
1	5/18/07	REV. PER PRE-APL COMMENTS	PAB
2	7/12/07	ADDED PUBLIC DRAIN ESMT'S	PAB



**FERDALE PLACE**  
 PRELIMINARY SUBDIVISION PLAN  
 JUL 12 2007  
 RECEIVED  
 PLANNING & DESIGN SERVICES

9211