

GENERAL NOTES - LANDSCAPE

- IT WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER TO PERPETUALLY MAINTAIN ALL LANDSCAPE AREAS AND ASSOCIATED PLANT MATERIAL. REQUIRED UNDER LAND DEVELOPMENT CODE REGULATIONS, THE PROPERTY OWNER SHALL ALSO BE RESPONSIBLE FOR MAINTAINING THE VERGE AND ASSOCIATED TREES WITHIN THE VERGE UNLESS THE AGENCY HAVING JURISDICTION OVER THAT VERGE ASSUMES THAT RESPONSIBILITY.
- ALL UNHEALTHY OR DEAD PLANT MATERIAL SHALL BE REPLACED WITHIN ONE YEAR OR BY THE NEXT PLANTING PERIOD, WHICHEVER COMES FIRST, WHILE OTHER DEFECTIVE PLANT MATERIAL SHALL BE REPLACED OR REPAIRED WITHIN (3) MONTHS.
- ALL PLANT MATERIAL LOCATED WITHIN A UTILITY EASEMENT THAT IS DAMAGED OR REMOVED DUE TO WORK REQUIRED BY THE UTILITY COMPANY SHALL BE IMMEDIATELY REPLACED BY THE OWNER IN ACCORDANCE WITH LAND DEVELOPMENT CODE CHAPTER 10 REQUIREMENTS.
- AN AUTHORIZED INSPECTOR SHALL HAVE THE RIGHT TO ENTER ONTO ANY PROPERTY TO INSPECT THE HEALTH AND GENERAL CONDITION OF PLANT MATERIAL THAT IS LOCATED IN THE RIGHT OF WAY, PART OF AN APPROVED LANDSCAPE PLAN, OR REPORTED AS A PUBLIC HAZARD.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ANY DAMAGE DURING CONSTRUCTION.
- MAINTENANCE FOR PLANT MATERIAL SHALL INCLUDE WATERING, SPRAYING, MULCHING, FERTILIZING, PRUNING, ETC. AND IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR UNTIL FINAL APPROVAL BY OWNER.
- ALL PLANT MATERIAL SHALL CONFORM TO THE SIZE AND QUALITY AS SPECIFIED IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" - CURRENT EDITION.
- ALL PLANT MATERIAL SHALL BE INSTALLED AT SAME DEPTH AS GROWN AT THE NURSERY.

OWNER / DEVELOPER:
FB2011 LLC
333 E. MAIN ST., STE. 401
LOUISVILLE KY 40202

LMS DESIGN
ARCHITECTURAL
SERVICES

PO BOX 6181
LOUISVILLE KY 40206
517.346.4586
lmsdesign@lmsdesignllc.co
llc

PERMIT SET

CONSULTANT

CONSULTANT SEAL

RECEIVED
AUG 23 2018
PLANNING &
DESIGN SERVICES

PROJECT
814 CHEROKEE
814 CHEROKEE RD. LOUISVILLE
KY 40204

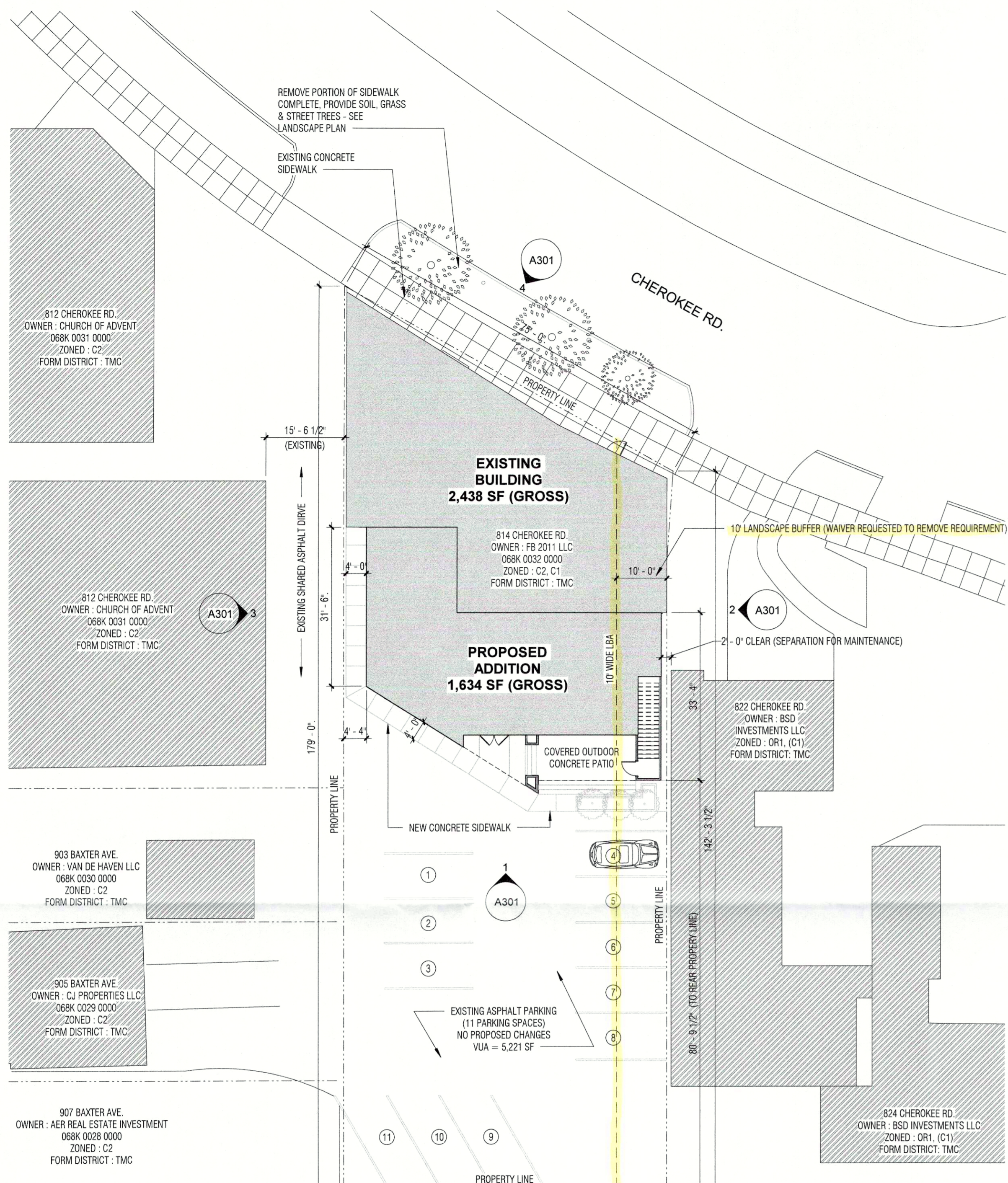
PROJECT NO. 1714
ISSUE DATE 8/22/2018
REVISION NO.

SCALE
SHEET TITLE
SITE PLAN,
LANDSCAPE PLAN &
PLANNING
REQUIREMENTS

SHEET NO.

C102

18WALTER1036



2 SITE PLAN

PROJECT DATA

PROPERTY INFORMATION	BUILDING INFORMATION	LAND DEVELOPMENT CODE INFORMATION
PRIMARY PARCEL ID: 068K 0032 0000	OCCUPANCY CLASSIFICATION/USE GROUP: MIXED USE - SEPARATED (A-3 & R-3)	PER SECTION 5.2.3 (TRADITIONAL MARKETPLACE CORRIDOR) NO MINIMUM LOT SIZE, DEPTH AND WIDTH REQUIREMENTS
ZONING DISTRICT: C2, C1	FIRST FLOOR: A-3 (ASSEMBLY) SECOND FLOOR: R-3 (RESIDENTIAL)	MIXED USE STRUCTURE: FRONT SETBACK/BUILD-TO-LINE & STREET SIDEYARDS: NO MINIMUM SETBACK MAXIMUM NO GREATER THAN 15 FT. NO SIDE YARD SETBACKS REQUIRED REAR YARD SETBACK - MIN. 5 FT FROM REAR PROPERTY LINE BUILDING HEIGHT - MAXIMUM SHALL BE 50 FT.
FORM DISTRICT: TRADITIONAL MARKETPLACE CORRIDOR	GROSS BUILDING FOOTPRINT: FIRST FLOOR: 4072 SF SECOND FLOOR: 1920 SF TOTAL FLOOR AREA = 5992 SF	
DEED BOOK: 10394 PAGE: 0029	EXISTING HEIGHT OF STRUCTURE: 28 FT (2 STORIES)	
PROPERTY AREA: 11,086 SF	PROPOSED HEIGHT OF ADDITION: 25 FT	
FAR: .54		
EXISTING VUA: 5,221 SF (NO PROPOSED CHANGE)		
PROPOSED IMPERVIOUS SURFACE - NO CHANGE		

TREE CANOPY CALCULATIONS

TOTAL SITE AREA = 11,086 SF
EXISTING TREE CANOPY AREA = 0 SF (0% OF SITE AREA)

REQUIRED TREE CANOPY (CLASS A) = 10%
TMC TREE CANOPY NON RESIDENTIAL REDUCTION (FAR 0.54) = 66%
TOTAL TREE CANOPY AREA REQUIRED = 6.6%

PROPOSED CANOPY
(2) TYPE 'A' STREET TREES @ 720 SF EA
(1) TYPE 'C' STREET TREES @ 106 SF EA

TOTAL PROPOSED CANOPY = 1,546 SF (13.9%)

PARKING SUMMARY

USE CATEGORY: RECREATIONAL - YOGA / PILATES STUDIO (1ST FLOOR)

BUILDING SQUARE FOOTAGE: 4,072 SF (GROSS FLOOR AREA - 1ST FLOOR)

MIN. SPACES (1/300 SF): 13.5 (14)

MAX SPACES (1/100 SF): 40.7 (41)

USE CATEGORY: SINGLE FAMILY DWELLING (2ND FLOOR)

MIN. SPACES - 1 SPACE/DWELLING UNIT (LOTS SIZED BETWEEN 6,000-20,000 SF)

MAX. SPACES: 4

TOTAL PARKING SPACES REQUIRED BEFORE REDUCTIONS: 15

PARKING REDUCTIONS:
#1 PROXIMITY TO TRANSIT - 10% = 1 SPACE
#8 HISTORIC SITE - 20% = 3 SPACES

TOTAL MIN. PARKING SPACES REQUIRED: 11

TOTAL PARKING SPACES (EXISTING) PROVIDED: 11

1 ENLARGED LANDSCAPE PLAN

1/8" = 1'-0"

PLANT SCHEDULE

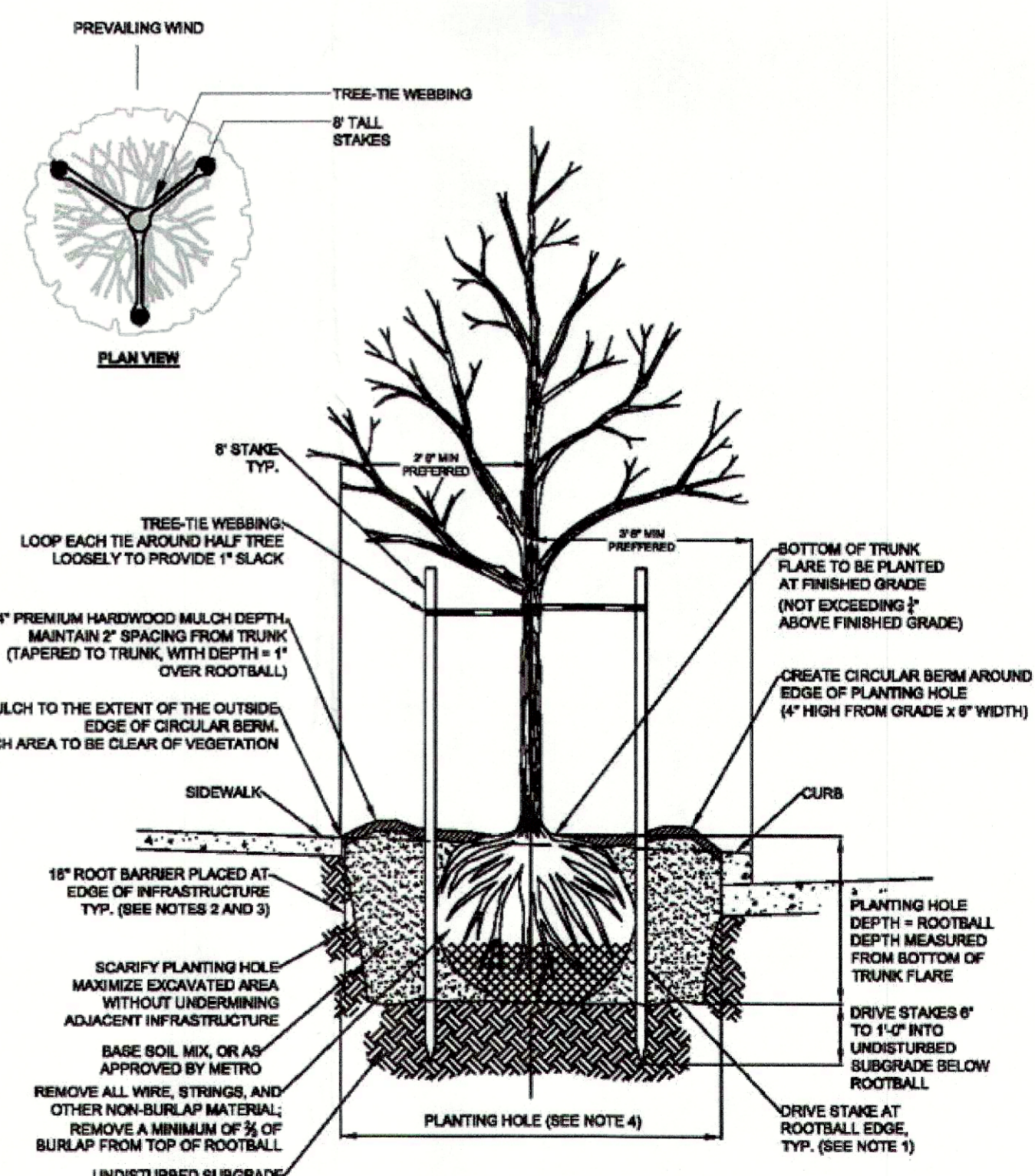
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
TT	2	LIVIODENDRON, TULIPIFERA	TULIPTREE	2" CAL.	R&B	TYPE 'A'
JL	1	SYRINGA, RETICULATA	JAPANESE LILAC	2" CAL.	R&B	TYPE 'C'

TREE PLANTING STANDARDS

- KENTUCKY 811 (BEFORE YOU DIG) HAS TO BE CONTACTED AND UNDERGROUND UTILITIES MARKED PRIOR TO PLANTING.
- ALL NEW TREES NEED TO BE AT LEAST 1.5 INCH CALIPER SIZE AND BRANCHED UP TO 4.5 FEET ABOVE GROUND. NOTE: CALIPER SIZE IS MEASURED 6 INCHES ABOVE GROUND FOR SMALLER TREES (4 INCH CALIPER SIZE OR LESS).
- ALL APPROVED TREES MUST HAVE A SINGLE TRUNK.
- AT THE TIME OF PLANTING, ALL TREES MUST BE HEALTHY WITH NORMAL WELL-DEVELOPED BRANCHING AND A FIBROUS ROOT SYSTEM. TREES MUST BE FREE OF DEFECTS AND INSECT INFESTATIONS.
- DIVISION SPACING STANDARDS MUST BE ADHERED.
- SCHEDULED WATERING SHOULD TAKE PLACE AT THE TIME OF PLANTING, AND SHALL CONTINUE FOR THREE YEARS. REFER TO DC7 TREE WATERING REGIMEN (APPENDIX 1B).
- AT THE TIME OF PLANTING, BRANCHING OF THE TREE MUST BE ORIENTED IN A MANNER THAT DISCOURAGES OBSTRUCTION OF VEHICULAR AND PEDESTRIAN PATHWAYS.
- AT THE TIME OF PLANTING, TREES ARE REQUIRED TO BE MULCHED AND MULCHED YEARLY. A 2 INCH MULCH FREE RADIUS SURROUNDING THE BASE OF THE TRUNK IS REQUIRED. NOTE: DO NOT USE THE VOLCANO MULCH METHOD.

UTILITY NOTE - KENTUCKY 811

UTILITY NOTE: ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. THE INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER, "KENTUCKY 811" (TOLL FREE PHONE NO. 1-800-752-6007 OR LOCAL NO. 502-206-5123) FORTY EIGHT HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND WATERLINES). WHEN CONTACTING THE "KENTUCKY 811" CALL CENTER, PLEASE STATE THAT THE WORK TO BE DONE IS FOR A PROPOSED MSD SEWER OR DRAINAGE FACILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS.



NOTES:

- IF STAKING IS NECESSARY, REMOVE STAKES ONE YEAR AFTER INSTALLATION.
- ROOT BARRIER SHALL BE PLACED WHERE ROOTBALL IS WITHIN THREE (3) FEET OF INFRASTRUCTURE.
- ROOT BARRIER IS NOT REQUIRED WITH VERTICAL CURB EQUAL TO OR EXCEEDING 18" IN DEPTH.
- PLANTING HOLE SHOULD HAVE MINIMUM WIDTH 2 TIMES ROOTBALL DIAMETER.

TREE PLANTING DETAIL

NOT TO SCALE