

May 27, 2019

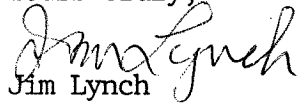
Attn. Case Manager
Dante St. Germain
Louisville Planning & Design Service
444 S. 5th St.
Louisville, KY 40202-4313

RE: Case 19, Zone 1011, Project Town Fair

Dear Ms. Germain;

Enclosed is my list of Binding Elements that are needed in order to keep our neighborhood liveable.

Yours truly;


Jim Lynch

New Binding Elements:

1. Dance Hall and Restaurants where dancing or entertainment or music is allowed outside. No outside speakers.
2. No Tavern, Bar, Saloon, NO 4am liquor license.
3. Public Passenger Transportation Terminals.
4. Boat sales with outside storage.
5. Automobile rental agencies, automobile repair agencies, automobile sales agencies, (There are 40 acres of them already on the next street. Swope Car Sales (having 10 different brands) Bachman Chevy, Volkswagon etc, Car Max. No more are needed.
5. Bingo halls & Parlors.

Yours Truly,


Jim Lynch

St. Germain, Dante

From: St. Germain, Dante
Sent: Tuesday, May 28, 2019 11:24 AM
To: Franklin, Belinda
Cc: Cheslyn, Dave; Broadbent, Josh
Subject: RE: 19ZONE1011 (Block 2279, Lot 1)

Ms. Franklin,

This request is for a change in zoning for a vacant Walmart located on S Hurstbourne Parkway in Louisville KY. The applicant proposes to change the zoning from C-1 Commercial to C-2, which is a higher-intensity commercial. The intended use is for an entertainment complex, for example an indoor fun park, with potentially associated restaurants.

You can view the case information at the following link:

<http://portal.louisvilleky.gov/codesandregs/permit/detail?type=ZONE&id=19ZONE1011>

Case documents can be viewed here:

<http://publicdocs.louisvillemid.org/publicweb/Framework/Object.aspx?o=983212&t=3&i=view>

Please let me know if there are any additional questions or concerns that you may have.

Dante St. Germain, AICP
Planner II
Planning & Design Services
Department of Develop Louisville
LOUISVILLE FORWARD
444 South Fifth Street, Suite 300
Louisville, KY 40202
(502) 574-4388
<https://louisvilleky.gov/government/planning-design>



**DEVELOP
LOUISVILLE**
LOUISVILLE FORWARD



Stay aware of new development in your area! Sign up for Gov Delivery notifications at:
<https://public.govdelivery.com/accounts/KYLOUISVILLE/subscriber/new>

From: Franklin, Belinda [mailto:Belinda.Franklin@BroadbentCo.com]
Sent: Tuesday, May 28, 2019 10:39 AM
To: St. Germain, Dante <Dante.St.Germain@louisvilleky.gov>
Cc: Cheslyn, Dave <DCheslyn@broadbentco.com>; Broadbent, Josh <JBroadbent@broadbentco.com>
Subject: 19ZONE1011 (Block 2279, Lot 1)

CAUTION: This email came from outside of Louisville Metro. Do not click links or open attachments unless you recognize the sender and know the content is safe

Good Morning Dante,

We (Hunnington Place LP) received a notice for the change in zoning from C-1 to C-2 for 1915 & 1917 S Hurstbourne Parkway. I tried going on line to look up the planning-design and I am unable to locate anything. Would you please send me more details on Case Number 19ZONE1011?

Thanks!

The
Broadbent
Company

Belinda Franklin
The Broadbent Company
117 East Washington Street, Suite 300
Indianapolis, IN 46204
(317) 237-2900
belinda.franklin@broadbentco.com

LAW OFFICES OF
SINGLER & RITSERT

209 OLD HARRODS CREEK ROAD

SUITE 100

LOUISVILLE, KENTUCKY 40223

(502) 245-0825

FAX (502) 245-0827

JOHN P. SINGLER
CARRIE D. RITSERT

Singlerj@bellsouth.net
Ritsertc@bellsouth.net

6/11/19

Louisville Metro Department of Planning and Design Services
Attn: Case Manager Dante St. Germain
444 S. 5th Street
Louisville, KY 40202

RE: 1915 South Hurstbourne Parkway; 19ZONE 1011

Dear Dante:

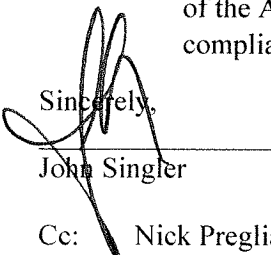
I represent the City of Forest Hills, in which the above project is located. Forest Hills does not have zoning authority and is relying upon the Planning Commission and Metro Louisville to include an important binding element concerning sidewalk safety and accessibility in the above case. Please add this request to the public record in this case.

This property is adjacent to Bunsen Parkway, where the sidewalks are not safe or compliant with the Americans with Disabilities Act (ADA). There are no (or noncompliant) ramps and tactile strips at the curb cuts and areas of concrete degradation and heaving. Bunsen Parkway is a Louisville Metro through road and ultimately Louisville Metro's responsibility. Nevertheless, the City of Forest Hills has cooperated in the past with Louisville Metro with joint sidewalk maintenance projects after many resident complaints and demands for compensation from injured people. More work is currently needed.

This developer should be required to bring the Bunsen sidewalk adjacent to its development into compliance with the ADA. The cost is not disproportional to the proposed development and bringing these sidewalks up to ADA standards benefits everyone, including this developer. The City of Forest Hills proposes that the following binding element be added:

- Existing sidewalk reconstruction and/or repairs (including ramps and tactile strips), shall be required on all sidewalks adjacent to development along Bunsen Parkway to meet Louisville Metro Public Works standards as well as the current requirements of the Americans with Disabilities Act. Any existing and or proposed walks and ramps within the area proposed for re-zoning shall meet Louisville Metro Public Works standards and the current requirements of the Americans with Disabilities Act. All walks and ramps shall be inspected for compliance as a condition of bond release.

Sincerely,


John Singler

Cc: Nick Pregliasco
1000 N. Hurstbourne Pkw., Ste. 200
Louisville, KY 40223

City of Forest Hills Mayor and Commissioners