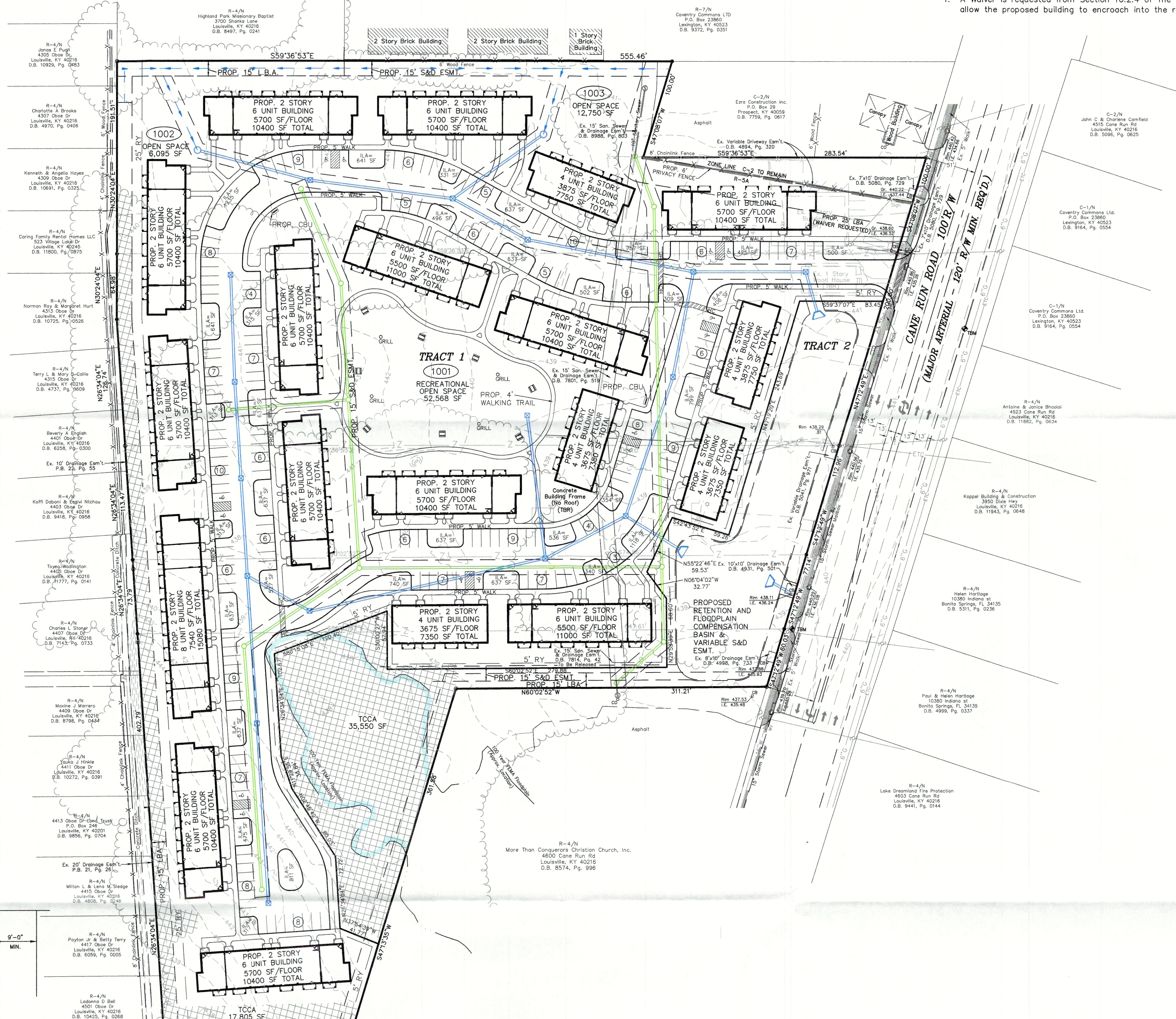
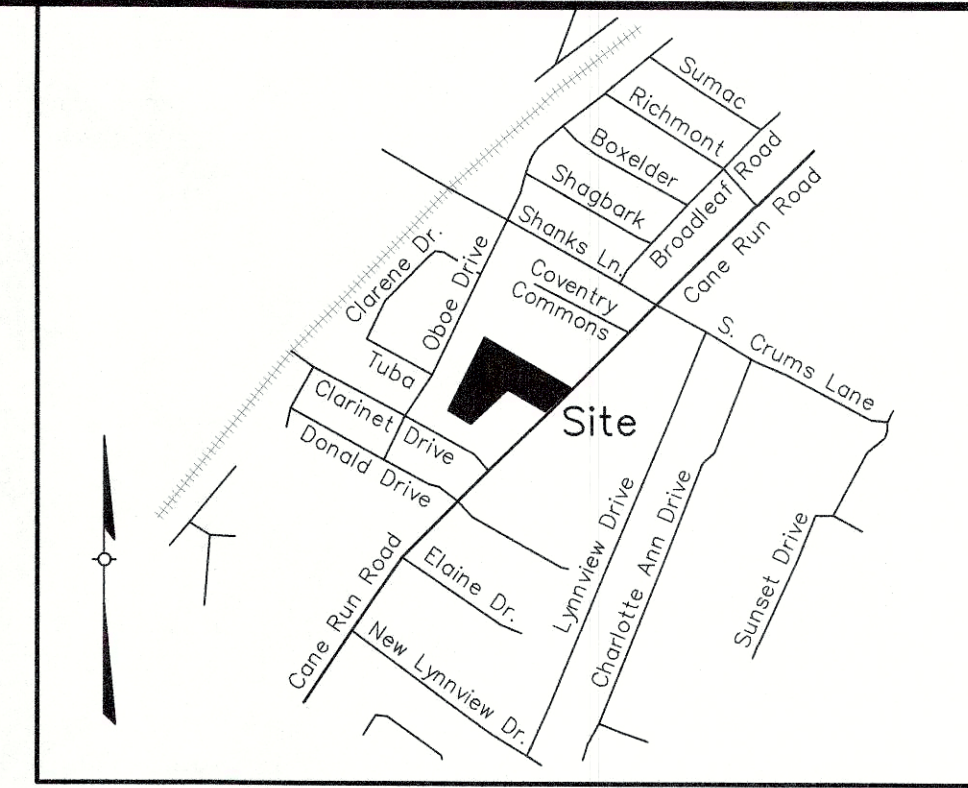


WAIVER REQUESTED:

1. A Waiver is requested from Section 10.2.4 of The Louisville Metro Land Development Code to allow the proposed building to encroach into the required 25' landscape buffer area.



PROJECT DATA

Table with 2 columns: Description and Value. Includes TOTAL SITE AREA (11.94± Ac), EXISTING ZONING (R-4/C-1/C-2/O-R), and RECREATIONAL OPEN SPACE PROVIDED (52,568 SF).

PARKING REQUIRED

Table with 2 columns: Description and Value. Includes 1 SP/UNIT MIN. (106 UNITS) and 2 SP/UNIT MAX. (212 SP).

TOTAL PARKING PROVIDED

210 SPACES (14 HC SP INCLUDED)

Table with 2 columns: Description and Value. Includes TOTAL VEHICULAR USE AREA (89,626 SF) and INTERIOR LANDSCAPE AREA PROVIDED (18,347 SF).

Table with 2 columns: Description and Value. Includes SITE DISTURBANCE AREA (11.0± Ac) and PROPOSED IMPERVIOUS AREA (208,914 SF).

GENERAL NOTES:

- 1. Parking areas and drive lanes to be a hard and durable surface.
2. An encroachment permit and bond will be required for all work done in the right-of-way.
3. No increase in drainage run off to state roadways.
4. There shall be no commercial signs in the right-of-way.
5. Site lighting shall not shine in the eyes of drivers.
6. Construction fencing shall be erected prior to any construction or grading activities...
7. Mitigation measures for dust control shall be in place during construction...
8. Compatible utilities shall be placed in a common trench unless otherwise required...
9. Wheel stops or curbing, at least six inches high and wide, shall be provided to prevent vehicles from overhanging...
10. Existing sidewalk reconstruction and repairs shall be required, as necessary, to meet current KYTC standards...

MSD NOTES:

- 1. Construction plans and documents shall comply with Louisville and Jefferson County Metropolitan Sewer District Design Manual and Standard Specifications and other local, state and federal ordinances.
2. Sanitary sewer service will be provided by lateral extension and subject to applicable fees. A Downstream Facilities Capacity request will be submitted to MSD.
3. A portion of the site is within the 100 year flood plain per FIRM Map No. 21111 C 0054 F dated February 26, 2021.
4. Drainage pattern depicted by arrows (==>) is for conceptual purposes.
5. If the site has thru drainage an easement plot will be required prior to MSD granting construction plan approval.
6. On-site detention will be provided. Post-developed peak flows will be limited to pre-developed peak flows for 2,10,25, and 100 year storms or to the capacity of the down-stream system, whichever is more restrictive.
7. All drainage, EPSC and Water Quality practices shown on this plan are for conceptual purposes only. Final design of these elements will be determined prior to construction plan approval and shall comply with all MS4 and MSD Design Manual requirements.
8. The final design of this project must meet all MS4 water quality regulations established by MSD. Site layout may change at the design phase due to proper sizing of Green Best Mgmt. Practices.
9. KYTC approval may be required prior to MSD construction plan approval.
10. Revised FEMA and local regulatory floodplain model may be required prior to MSD construction plan approval.
11. KDOW approval will be required prior to MSD construction plan approval.
12. MSD floodplain permit required prior to issue of building permits.
13. ACOE approval may be required prior to MSD construction plan review.
14. No increase of drainage area or volume permitted into the existing concrete paved ditch along the rear of homes in Oboe Dr.
15. All required fill in the floodplain shall be compensated on site at a ratio of 1.5 to 1.
16. MSD drainage bond required prior to construction plan approval.
17. If site has thru drainage, an easement plot will be required prior to MSD granting construction plan approval.
18. Lowest finished floor and machinery to be at or above 441.00.
19. All downspouts shall connect to the proposed storm sewer for all buildings along the west side of the site.

REVISIONS table with columns: NO., DATE, DESCRIPTION, REVISION PER AGENCY COMMENTS, AGENCY COMMENTS.

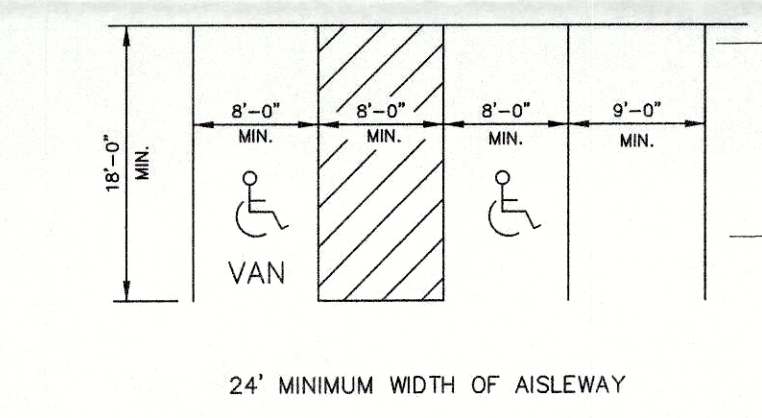
PROJECT DATA table with columns: FILE NAME, DATE, CHECKED BY, DRAWN BY, SCALE, PROJECT DATA.

PROJECT DATA table with columns: FILE NAME, DATE, CHECKED BY, DRAWN BY, SCALE, PROJECT DATA.

LD&D LAND DESIGN & DEVELOPMENT, INC. logo and contact information.

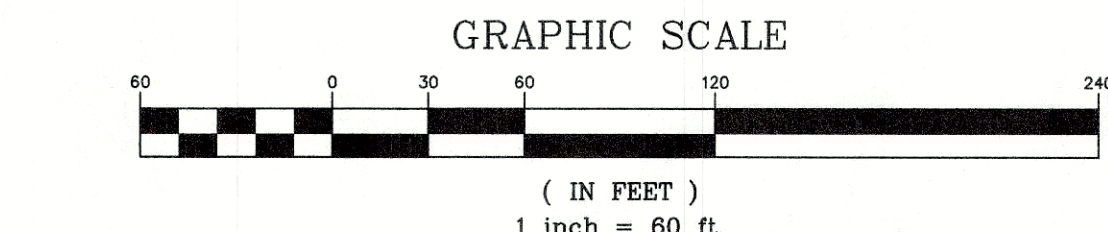
LDG TOWNHOMES CANE RUN ROAD OWNER/DEVELOPER information and address.

JOB NO. 20193, SHEET 1 OF 1, and other project identifiers.



LEGEND table listing symbols for existing and proposed utilities like light poles, gas meters, sewer lines, and drainage swales.

DETENTION BASIN CALCULATIONS table showing formulas and results for X, AC, R, and total basin area.



TREE CANOPY CALCULATIONS table showing existing and proposed tree canopy area and percentage.

OWNER, OWNER, and PLANNING & DESIGN SERVICES AND HOLDINGS LLC information.

RECEIVED DEC 27 2021

WM# 11245

21-20NE-0085