

PRELIMINARY APPROVAL
 Condition of Approval:
 Development Review Date
 LOUISVILLE & JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT

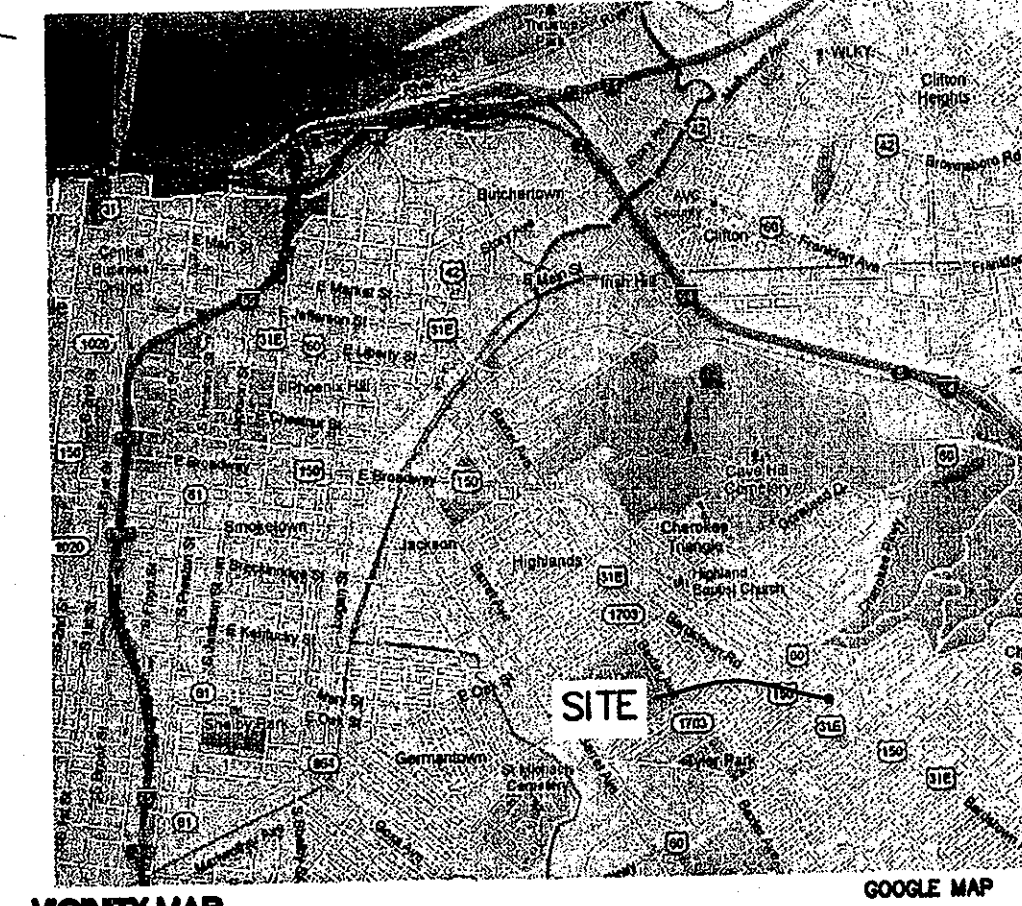
2100 Baringer Ave.
 R6, TNFD
 L.G. Owen
 9820x454

1435 Willow Ave.
 R5B, TNFD
 Michelle Rowland
 9447x200

1439 Willow Ave.
 R5B, TNFD
 Paul & Rhonda Petr
 8898x682

1443 Willow Ave.
 R5B, TNFD
 THE SEWITER ALAN LIVING TRUST
 10197x140

1445 Willow Ave.
 R5B, TNFD
 Bradlev Calabrace &
 9452x1

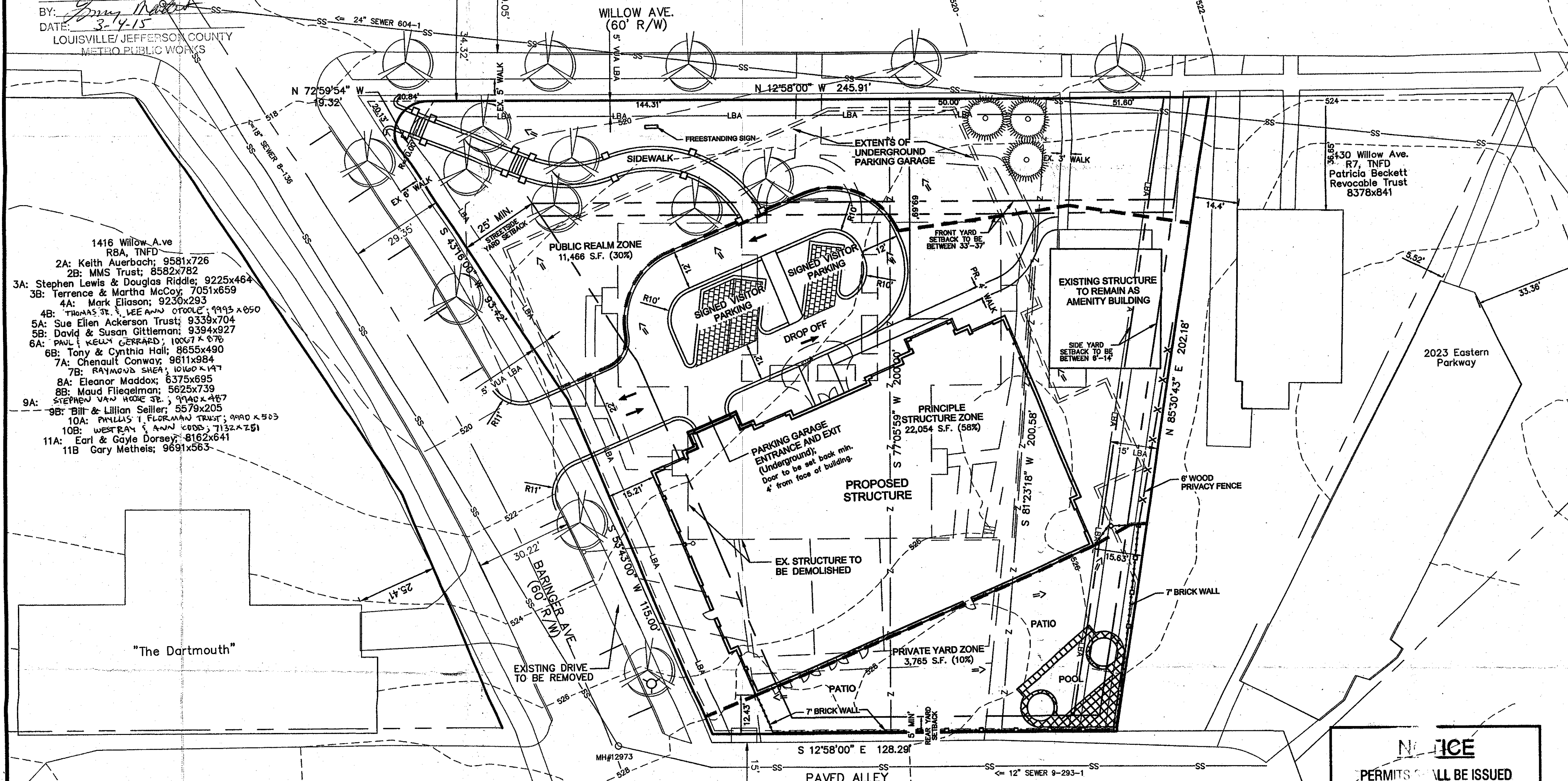


VICINITY MAP
 NOT TO SCALE

PRELIMINARY APPROVAL
 DEVELOPMENT PLAN

CONDITIONS:

BY: *[Signature]*
 DATE: 3-4-15
 LOUISVILLE & JEFFERSON COUNTY METRO PUBLIC WORKS



- 1416 Willow Ave. R8A, TNFD
- 2A: Keith Auerbach; 9581x726
- 2B: MMS Trust; 8582x762
- 3A: Stephen Lewis & Douglas Riddle; 9225x464
- 3B: Terrence & Martha McCoy; 7051x659
- 4A: Mark Elison; 9230x293
- 4B: THOMAS ST. LEE ANN OTOOLE; 9993 x 850
- 5A: Sue Ellen Ackerson Trust; 8339x704
- 5B: David & Susan Gittman; 9394x927
- 6A: PAUL & KATHY GERRARD; 10077 x 676
- 6B: Tony & Cynthia Hall; 8655x490
- 7A: Chenaunt Conway; 9611x984
- 7B: RAYMOND SHEA; 10160 x 197
- 8A: Eleanor Maddox; 6375x695
- 8B: Maud Flegelman; 5825x739
- 9A: STEPHEN VAN HORN ST.; 9946 x 467
- 9B: Bill & Lillian Seiler; 5579x205
- 10A: PHILLIS T. FLOREANO TRUST; 9940 x 353
- 10B: WESTEAY & ANN COOKS; 7132 x 251
- 11A: Earl & Gayle Dorsey; 8162x641
- 11B: Gary Mathels; 9691x563

SITE DATA

LAND USE: R-8A
 SITE ADDRESSES: 1418 WILLOW AVE, WILLOW AVE., 1426 WILLOW AVE 40204
 EXISTING ZONING DISTRICT: R-8A
 PROPOSED ZONING DISTRICT: TRADITIONAL NEIGHBORHOOD
 FORM DISTRICT: MULTI-FAMILY
 EXISTING USE: MULTI-FAMILY
 PROPOSED USE: MULTI-FAMILY
 TOTAL SITE AREA: 0.88-ACRE
 TAX BLOCK & LOT: T.B. 77A T.L. 59, 58, 57
 DEED BOOK & PAGE: D.B. 8944, 8955, 9010; PG. 208, 205, 439
 SOIL TYPE: UNCLASSIFIED

BUILDING DATA

BUILDING HEIGHT: 20' 8" MAX
 FOOTPRINT: 9,592 S.F.
 GROSS FLOOR AREA: 47,874 S.F.
 FLOOR TO AREA RATIO: 2.55
 UNITS: 24
 UNIT DENSITY: 27 DWELLING UNITS/ACRE

PARKING CALCULATION

MINIMUM REQUIRED: 36
 1.5 SPACE/UNIT
 MAXIMUM ALLOWED: 60
 2.5 SPACES/UNIT
 PROPOSED NEW PARKING: 55 SPACES
 OF WHICH 3 ARE H/C ACCESSIBLE (1 VAN) (52 UNDERGROUND)
 EXISTING ON STREET PARKING: 7 SPACES

LANDSCAPE CALCULATION

VJA: 3,754 S.F.
 ILA REQUIRED (0%): 0 S.F.
 ILA PROVIDED: 375 S.F.
 ILA TREES REQUIRED (1/4000 S.F. VJA): 0 TREES
 ILA TREES PROVIDED: 0 TREES

TREE CANOPY CALCULATION

100% REDUCTION PER 10.1.4.B.2.b

SIGNAGE

HEIGHT ALLOWED/PROPOSED: 10'
 AREA ALLOWED/PROPOSED: 48 S.F.

OPEN SPACE

OPEN SPACE IS EXEMPT PER 5.11.4.A.3: PROPERTY IS IN TRADITIONAL FORM DISTRICT AND LOCATED 1000' OR LESS FROM PUBLIC PARK (APPROXIMATELY 720' FROM CHEROKEE PARK)

MSD NOTES

- EXISTING SANITARY CONNECTION TO BE UTILIZED. ADDITIONAL CONNECTIONS REQUIRE FEE(S).
- DRAINAGE OUTLET TO THE COMBINED SEWER WILL BE LIMITED TO A SINGLE 6" CONNECTION.
- ALL ROOF DRAINS TO BE DIRECTED INTERNALLY AND AWAY FROM ADJOINING PROPERTY OWNERS.
- NO BASEMENT GRAVITY SEWER SERVICE TO THE COMBINED SEWER WILL BE PERMITTED.

PCS NOTES

- COMPATIBLE UTILITIES SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPROPRIATE AGENCIES.
- CERTIFICATE OF APPROPRIATENESS WAS ISSUED BY THE CHEROKEE TRIANGLE ARCHITECTURAL REVIEW COMMITTEE ON 3/30/12.
- A KARST SURVEY COMPLIANT WITH 4.9.3 OF THE LDC WILL BE COMPLETED PRIOR TO CONSTRUCTION APPROVAL.
- LIGHTING TO COMPLY WITH THE LDC.

PUBLIC HEALTH & WELLNESS NOTES

- PROPOSED BUILDING MUST CONNECT TO ITS OWN SANITARY SEWER PSC WITH A MINIMUM 6" SANITARY SEWER OF WHICH OWNER MUST PROVIDE DOCUMENTATION.
- ALL CONSTRUCTION AND SALES TRAILERS MUST BE PERMITTED BY THE DEPARTMENT OF HEALTH AND WELLNESS IN ACCORDANCE WITH CHAPTER 115 OF LOUISVILLE JEFFERSON COUNTY METRO ORDINANCES.
- PROPOSED POOL MUST RECEIVE APPROVAL FROM LOUISVILLE HEALTH AND WELLNESS.
- MOSQUITO CONTROL IN ACCORDANCE WITH CHAPTER 96 OF LOUISVILLE JEFFERSON COUNTY METRO ORDINANCES.

METRO PUBLIC WORKS NOTES

- EXISTING SIDEWALK RECONSTRUCTION AND REPAIRS ON WILLOW AVENUE SHALL BE REQUIRED AS NECESSARY TO MEET CURRENT MPW STANDARDS AND SHALL BE INSPECTED PRIOR TO FINAL BOND RELEASE.

FIRE DEPARTMENT/ADDRESSING NOTES

- APPLICANT TO COORDINATE SUITE NUMBERING PLAN PRIOR TO CONSTRUCTION.

METRO PUBLIC WORKS NOTES

- CONSTRUCTION PLANS, BOND, AND PERMIT ARE REQUIRED BY METRO PUBLIC WORKS PRIOR TO CONSTRUCTION APPROVAL.

NOTICE
 PERMITS WILL BE ISSUED ONLY IN CONFORMANCE WITH THE ADDRESSING ELEMENTS OF THE DEVELOPMENT PLAN.

WAIVERS REQUESTED:

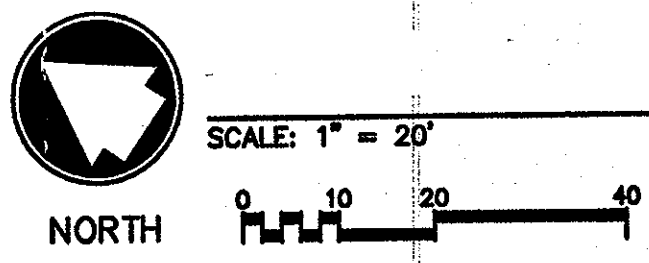
- 10.2.4 TO PERMIT THE ENCOACHMENT OF AN EXISTING STRUCTURE AND PROPOSED POOL/PATIO INTO THE REQUIRED 15' LBA
- 5.4.1.C.3 TO PERMIT FRONT LOADED GARAGE
- 5.8.1.A.1 TO NOT USE ALLEY FOR ACCESS TO THE SITE
- 5.9.2.C.4 TO PERMIT TRAFFIC AND CIRCULATION IN FRONT OF BUILDING
- 5.4.1.B.1.e TO PERMIT PARKING IN THE PUBLIC REALM
- 5.4.1.E.3 TO NOT PROVIDE ACCESS TO PARKING FROM THE ACCESSORY STRUCTURE/USE AREA
- 5.4.1.G.3 TO PERMIT PARKING BETWEEN FRONT FACADE OF THE STRUCTURE AND THE PRIMARY STREET

VARIANCES REQUESTED:

- 5.4.1.B.3.a TO PERMIT THE FRONT SETBACK TO BE 70' INSTEAD OF BEING 33'-37' (WHICH ARE THE TWO NEAREST RESIDENTIAL STRUCTURES: 1430 WILLOW AND 2023 EASTERN PARKWAY); 33' VARIANCE.
- VARIANCE FROM 5.4.1.B.3.a TO PERMIT THE ENCOACHMENT OF PARKING WITHIN THE REQUIRED FRONT YARD SETBACK.
- VARIANCE FROM 5.4.1.C.8.a.1 TO PERMIT A BUILDING HEIGHT OF 20' 8" INSTEAD OF THE REQUIRED 37'; 16' 8" VARIANCE.
- VARIANCE FROM 5.4.1.C.8.b TO PERMIT A 15' STREETSIDE YARD INSTEAD OF THE REQUIRED 25' STREETSIDE YARD; 10' VARIANCE.
- VARIANCE FROM 5.4.1.C.8.b TO PERMIT A 16' SIDE YARD SETBACK INSTEAD OF THE REQUIRED 14' SIDE YARD SETBACK; 2' VARIANCE.
- VARIANCE FROM 5.4.1.D.2 TO PERMIT 10% PRIVATE YARD AREA INSTEAD OF THE REQUIRED 30%; 20% VARIANCE

LEGEND

- EXISTING TOPO
- EXISTING SANITARY SEWER
- EXISTING SEWER MANHOLE
- PROPOSED DRAINAGE ARROW
- EXISTING UTILITY POLE
- EXISTING FIRE HYDRANT
- EXISTING TREE
- PROPOSED TREE (GENERAL LOCATION)
- PROPOSED 7' BRICK WALL
- PROPOSED 6' WOOD PRIVACY FENCE
- "REALM/ZONE" AREA DELINEATION



APPROVED DISTRICT DEVELOPMENT PLAN
 DOCKET NO. 17822
 APPROVAL DATE: _____
 EXPIRATION DATE: _____
 SIGNATURE OF PLANNING COMMISSION: *[Signature]*
 PLANNING COMMISSION

RECEIVED
 OCT 07 2014
 PLANNING & DESIGN SERVICES

PROJECT# 17822, WM# 9883

WILLOW GRANDE
 1418, 1426 WILLOW AVENUE 40204
 DETAILED DISTRICT DEVELOPMENT PLAN

OWNER INFO:
 Willow Grande LLC
 2500 South Hurstwood
 Louisville KY 40222
 DEVELOPER INFO:
 Same

DATE	REVISION DESCRIPTION
10/06/14	1. REVISION TO 15' STREETS

DRAWN BY: _____ CHECKED BY: _____
 HOR. SCALE: 1" = 20'
 VERT. SCALE: _____
 DATE: 09-02-14
 SHEET NUMBER: 1 of 1

RESOLVED, that the Louisville Metro Planning Commission does hereby **RECOMMEND**, to Metro Council, **APPROVAL** of the District Development Plan and the proposed binding elements on pages 20 and 21 of the staff report, with the following revisions: binding element no. 9 shall include – The applicant shall purchase a lifetime memberships in the Cherokee Triangle Association for the initial condominium unit owner at the time of sale; binding element no. 11 – add a separate sentence – Compliance with binding element shall be completed within one year of Certificate of Occupancy for the first unit; binding element no. 13 – strike it altogether and replace with the following: The applicant shall restore the brick alley that abuts the property in accordance with Public Works and Historic Preservation standards. Construction plans, bonds and encroachment permit are required for alley reconstruction prior to issuance of any building permits; add a binding element no. 14 – The applicant shall submit a landscape plan for the site that would include the enhanced landscaping to be approved by a sub-committee of the Planning Commission prior to issuance of any building permits for the site. The enhanced landscaping will be to fulfill the intent of the screening the front garage door, the parking area and vehicular maneuvering from both Willow and Baringer **SUBJECT** to the following binding elements:

Proposed Binding Elements

1. The development shall be in accordance with the approved district development plan, all applicable sections of the Land Development Code (LDC) and agreed upon binding elements unless amended pursuant to the Land Development Code. Any changes/additions/alterations of any binding element(s) shall be submitted to the Planning Commission or the Planning Commission's designee for review and approval; any changes/additions/alterations not so referred shall not be valid.
2. The development shall not exceed 97,874 square feet of gross floor area.
3. Construction fencing shall be erected when off-site trees or tree canopy exists within 3' of a common property line. Fencing shall be in place prior to any grading or construction to protect the existing root systems from compaction. The fencing shall enclose the entire area beneath the tree canopy and shall remain in place until all construction is completed. No parking, material storage or construction activities are permitted within the protected area.
4. Before any permit (including but not limited to building, parking lot, change of use, site disturbance, alteration permit or demolition permit) is requested:
 - a. The development plan must receive full construction approval from Louisville Metro Department of Inspections, Permits and Licenses, Louisville Metro Public Works and the Metropolitan Sewer District.
 - b. The property owner/developer must obtain approval of a detailed plan for screening (buffering/landscaping) as described in Chapter 10 prior to requesting a building permit. Such plan shall be implemented prior to occupancy of the site and shall be maintained thereafter.

- c. A minor plat or legal instrument shall be recorded consolidating the property into one lot. A copy of the recorded instrument shall be submitted to the Division of Planning and Design Services; transmittal of the approved plans to the office responsible for permit issuance will occur only after receipt of said instrument.
 - d. A Tree Preservation Plan in accordance with Chapter 10 of the LDC shall be reviewed and approved prior to obtaining approval for site disturbance.
5. Prior to any site disturbance permit being issued and prior to any clearing, grading or issuance of a site disturbance permit, a site inspection shall be conducted by PDS staff to ensure proper placement of required tree protection fencing in accordance with the approved Tree Preservation Plan.
6. A certificate of occupancy must be received from the appropriate code enforcement department prior to occupancy of the structure or land for the proposed use. All binding elements requiring action and approval must be implemented prior to requesting issuance of the certificate of occupancy, unless specifically waived by the Planning Commission.
7. The applicant, developer, or property owner shall provide copies of these binding elements to tenants, purchasers, contractors, subcontractors and other parties engaged in development of this site and shall advise them of the content of these binding elements. These binding elements shall run with the land and the owner of the property and occupant of the property shall at all times be responsible for compliance with these binding elements. At all times during development of the site, the applicant and developer, their heirs, successors; and assignees, contractors, subcontractors, and other parties engaged in development of the site, shall be responsible for compliance with these binding elements.
8. The materials and design of proposed structures shall be substantially the same as depicted in the rendering as presented at the February 25, 2015 Planning Commission meeting and as approved by the Cherokee Triangle Architectural Review Committee.
9. The applicant shall purchase a lifetime memberships in the Cherokee Triangle Association for the initial condominium unit owner at the time of sale.
10. There will be a condominium association formed (composed of the unit owners) that will have responsibility for the maintenance of the building as well as the common areas. Note that it is typical for the lawns, grounds and maintenance of the condominiums buildings to be managed by the very owners that reside in the development and are generally maintained to a much higher degree and standard than apartment rentals.
11. The applicant will consult with the CTA Tree Committee, the Olmstead Conservancy and other appropriate parties to develop a tree planting program

with the Cherokee Triangle and will commit to contributing 100 trees to the program. In addition, the applicant will contribute \$20,000 towards an endowment fund to be established for the maintenance, landscaping and improvements to Willow Park. Compliance with binding element shall be completed within one year of Certificate of Occupancy for the first unit;

12. The development will provide two parking spaces per ownership unit within the building. In addition, several visitor and overnight spaces will be provided within the structure as well. The 3 proposed parking spaces in the front of the building will be adequately screened and landscaped to avoid any perceived visual impacts.
13. The applicant shall restore the brick alley that abuts the property in accordance with Public Works and Historic Preservation standards. Construction plans, bonds and encroachment permit are required for alley reconstruction prior to issuance of any building permits.
14. The applicant shall submit a landscape plan for the site that would include the enhanced landscaping to be approved by a sub-committee of the Planning Commission prior to issuance of any building permits for the site. The enhanced landscaping will be to fulfill the intent of the screening the front garage door, the parking area and vehicular maneuvering from both Willow and Baringer.