

The Overlook At Eastwood

Revised Conservation Subdivision Plan With A Waiver and Variance

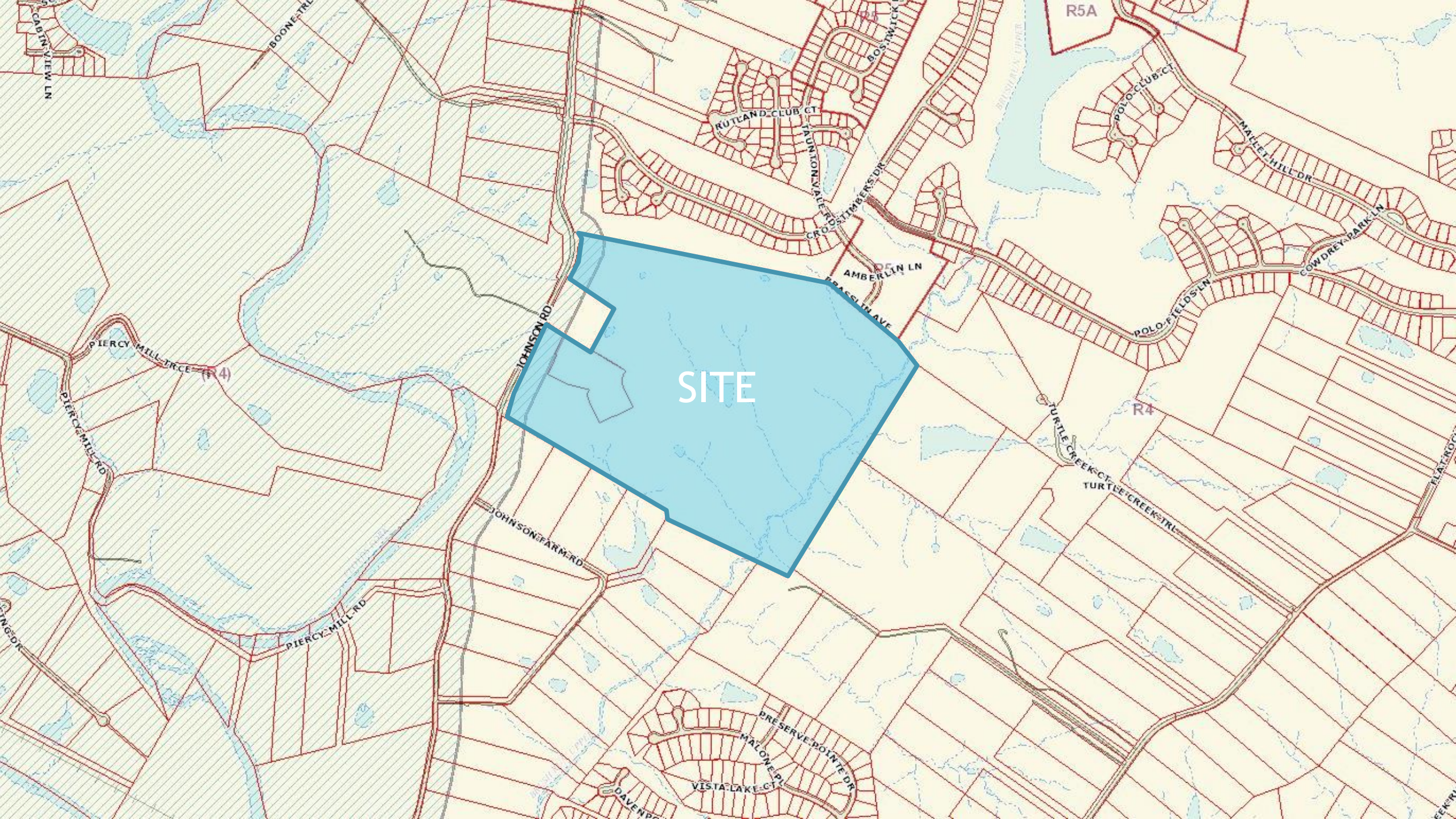
Planning Commission Hearing

20-RSUB-0004, 20-VARIANCE-0099 & 20-WAIVER-0071 (Related Case #17SUBDIV1011)

August 20, 2020

Case Manager: Jay Lockett

Plan Prepared By: Mindel Scott



SITE

R5A

R4

BOONET RD

RUTLAND CLUB CT

ANTONIA VILLAGE DR

CROSS TIMBERS DR

POLO CLUB CT

MALDEN HILL DR

COW DREY PARK LN

AMBERLIN LN

BRASSIA AVE

POLO FIELDS LN

TURTLE CREEK CT

TURTLE CREEK TR

JOHNSON RD

JOHNSON FARM RD

PIERCY MILL RD

PIERCY MILL TRCE (R4)

PIERCY MILL RD

RESERVE POINT DR

VISTA LAKE CT

DAVENPORT

INGOT

PLATON

BEKRY



CROSS TIMBERS DR

TAUNTON VALE RD

POLO FIELDS LN

AMBERLIN LN

BRASSLIN AVE

JOYNSON RD

JOYNSON FARM RD

PIERCY MILL RD

TURKEY CREEK TRL

TURKEY CREEK TRL





★ MANORS, MEADOWS & VILLAS AT FLOYDS FORK

★ CURRY FARM

★ TWIN LAKES

THE GREENS AT LONG RUN PARK

POLO FIELDS

MEREMONT

GLEN LAKES

BROOKFIELD

WYNDOVER HILLS



MINDEL SCOTT

JOHNSON ROAD CONSERVATION SUBDIVISION

#3419
Louisville, Kentucky



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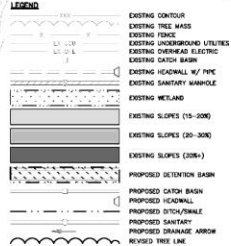
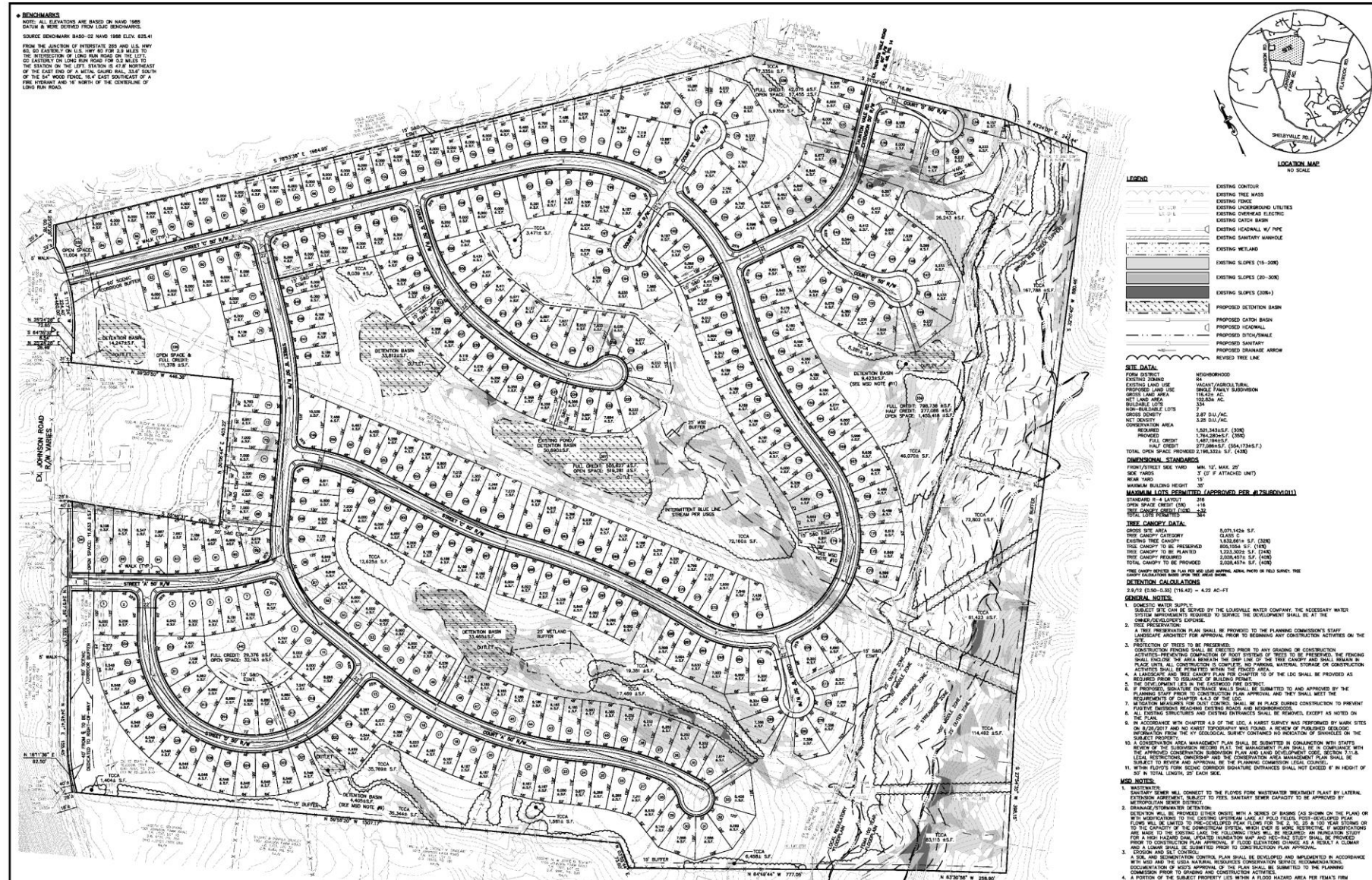


MINDELE SCOTT

JOHNSON ROAD CONSERVATION SUBDIVISION

#3419
Louisville, Kentucky

BENCHMARKS
 NOTE: ALL ELEVATIONS ARE BASED ON NAAD 1988 DATUM & WERE DERIVED FROM LEAC BENCHMARKS.
 SOURCE BENCHMARK: BASS-02 NAME 1988 ELEV. 428.41
 FROM THE JUNCTION OF INTERSTATE 75 AND U.S. HWY 60 GO EASTWARD ON U.S. HWY 60 FOR 2.8 MILES TO THE INTERSECTION OF LONG RUN ROAD ON THE WEST SIDE EASTWARD ON LONG RUN ROAD FOR 0.3 MILES TO THE STATION ON THE LEFT TRAVEL IS AT THE NORTHWEST CORNER OF THE EAST END OF A METAL GUARD RAIL, 150' SOUTH OF THE METAL GUARD RAIL TO EAST SOUTHEAST FROM INTERSECTION AND 19' NORTH OF THE CENTERLINE OF LONG RUN ROAD.



SITE DATA

NEIGHBORHOOD	10000
EXISTING ZONING	RS-4
PROPOSED LAND USE	SINGLE FAMILY SUBDIVISION
EXISTING LAND AREA	18.82 AC.
NET BUILDABLE AREA	100,824 SF
NET BUILDABLE LOTS	234
GROSS DENSITY	2.87 S.U./AC.
NET DENSITY	1.20 S.U./AC.
CONSERVATION AREA	1,821,345 S.F. (3.00)
REQUIRED	1,487,945 S.F. (2.00)
FULL CREDIT	1,487,945 S.F. (2.00)
RESERVED	333,400 S.F. (0.48)
TOTAL OPEN SPACE PROVIDED	2,181,323 S.F. (3.18)

DIMENSIONAL STANDARDS

FRONT YARD SETBACK	MIN. 12', MAX. 20'
SIDE YARD	5' (IF ATTACHED UNIT)
REAR YARD	
MAXIMUM BUILDING HEIGHT	10'
MAXIMUM LOTS PERMITTED (APPROVED PER #17SUBDIV011)	
STANDARD # (LAYOUT)	318
OPEN SPACE CREDIT (S.F.)	100,000
NET DENSITY (S.U./AC.)	2.87

TREE CANOPY DATA

GROSS TREE AREA	6,071,426 S.F.
EXISTING TREE CANOPY	1,832,816 S.F. (2.00)
TREE CANOPY TO BE PRESERVED	601,506 S.F. (0.86)
TREE CANOPY TO BE PLANTED	1,231,310 S.F. (1.74)
TREE CANOPY REQUIRED	2,063,474 S.F. (2.93)
TREE CANOPY TO BE PROVIDED	2,063,474 S.F. (2.93)

- GENERAL NOTES**
1. SUBJECT SITE CAN BE SERVED BY THE LOUISVILLE WATER COMPANY. THE NECESSARY WATER SERVICE IMPROVEMENTS REQUIRED TO SERVE THE DEVELOPMENT SHALL BE AT THE OWNER'S/DEVELOPER'S EXPENSE.
 2. A TREE PRESERVATION PLAN SHALL BE PROVIDED TO THE PLANNING COMMISSION'S STAFF AND ARCHITECT FOR APPROVAL PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES ON THE SITE.
 3. PROTECTION OF TREES TO BE PRESERVED: CONSTRUCTION TRUCKS SHALL BE PREVENTED FROM ANY GRADING OR CONSTRUCTION ACTIVITIES WITHIN THE TREE CANOPY OR TREE CANOPY TO BE PRESERVED. TREE CANOPY TO BE PLANTED SHALL BE PLANTED WITHIN THE TREE CANOPY TO BE PROVIDED. TREE CANOPY TO BE PROVIDED SHALL BE PLANTED WITHIN THE TREE CANOPY TO BE PROVIDED.
 4. LANDSCAPE AND TREE CANOPY PLAN FOR EACH LOT SHALL BE PROVIDED AS REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMITS.
 5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLANNING COMMISSION'S STAFF AND ARCHITECT FOR APPROVAL PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES ON THE SITE.
 6. A KARST SURVEY WAS PERFORMED BY MARK SITE ON 8/24/2017 AND NO KARST FEATURES WERE FOUND. A REVIEW OF PUBMED GEOLOGIC SURVEY MAPS FOR THE SUBJECT PROPERTY SHOWS NO INDICATION OF KARST ON THE PROPERTY.
 7. A CONSERVATION AREA MANAGEMENT PLAN SHALL BE SUBMITTED IN CONJUNCTION WITH STAFFS REVIEW OF THE SUBDIVISION PLAN. THE MANAGEMENT PLAN SHALL BE IN COMPLIANCE WITH THE APPROVED CONSERVATION SUBDIVISION PLAN AND LAND DEVELOPMENT CODE, SECTION 17.1.1. LOCAL, STATE, FEDERAL, AND FEDERAL REGULATORY AGENCIES SHALL REVIEW AND APPROVE THE CONSERVATION AREA MANAGEMENT PLAN.
 8. WITHIN LOT'S FLOOD ZONING DISTRICT, FLOOD ELEVATIONS SHALL NOT EXCEED 18" IN HEIGHT OF FINISHED FLOOR FINISH LEVEL ABOVE FINISHED FLOOR FINISH LEVEL.

- MSD NOTES**
1. SANITARY SEWER WILL CONNECT TO THE FLOORS FLOOR WASTEWATER TREATMENT PLANT BY LATERAL EXTENSION AGREEMENT SUBJECT TO FEE. SANITARY SEWER CAPACITY TO BE PROVIDED BY METROPOLITAN SEWER DISTRICT.
 2. DRAINAGE/STORMWATER DETENTION: DETENTION SHALL BE PROVIDED OTHER OUTSIDE WITH A SERIES OF BASINS (AS SHOWN ON THE PLAN) OR TO THE CAPACITY OF THE EXISTING SYSTEM. ALL FLOOD PLATES FOR WETLANDS SHALL BE SUBMITTED TO THE PLANNING COMMISSION'S STAFF AND ARCHITECT FOR APPROVAL PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES ON THE SITE. ALL FLOOD PLATES SHALL BE SUBMITTED TO THE PLANNING COMMISSION'S STAFF AND ARCHITECT FOR APPROVAL PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES ON THE SITE.
 3. EROSION AND SILT CONTROL: EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE DEVELOPED AND IMPLEMENTED IN ACCORDANCE WITH THE USDA NATURAL RESOURCE CONSERVATION SERVICE RECOMMENDATIONS. CONSTRUCTION OF ANY EROSION CONTROL PLAN SHALL BE SUBMITTED TO THE PLANNING COMMISSION'S STAFF AND ARCHITECT FOR APPROVAL PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES ON THE SITE.
 4. A PORTION OF THE SUBJECT PROPERTY LIES WITHIN A FLOOD HAZARD AREA PER FEMA'S FIRM MAPS DIVISION 2.
 5. THE FINAL DESIGN OF THIS PROJECT MUST MEET ALL FLOOD HAZARD REGULATIONS ESTABLISHED BY FEDERAL, STATE AND LOCAL GOVERNMENT AGENCIES.
 6. A GEOTECHNICAL EVALUATION SHALL BE PERFORMED BY A GEOTECHNICAL ENGINEER PRIOR TO THE CONSTRUCTION OF ANY FOUNDATIONS.
 7. ALL NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
 8. DRAINAGE CHANNELS OF THE BLOCK TYPED SHALL NOT EXCEED PRE-DEVELOPED FLOWS, EITHER FROM TO THE EXISTING LAKE OR TO THE EXISTING LAKE. ALL OPEN SPACE LOT 101 TO 107 SHALL BE PRESERVED.
 9. ANY PROPOSED CUT/ENCROACHMENT INTO THE REQUIRED 20' BUFFER AREAS SHALL BE SHOWN AND COMPLIED ON THE RECORD PLAN.
 10. OPEN SPACE LOT 101 TO 107 SHALL BE GRASSED TO PROVIDE MODULAR ACCESS TO DETENTION BASIN FROM THE NEARBY DRIVE.

WAIVER REQUEST:
 A WAIVER OF PART 17.1.1 OF THE LDC IS REQUESTED TO ALLOW FOR THE USE OF A 12" DRAINAGE MANHOLE INSTEAD OF A 15" DRAINAGE MANHOLE AS SHOWN ON THE RECORD PLAN. THE WAIVER IS REQUESTED TO ALLOW FOR THE USE OF A 12" DRAINAGE MANHOLE INSTEAD OF A 15" DRAINAGE MANHOLE AS SHOWN ON THE RECORD PLAN. THE WAIVER IS REQUESTED TO ALLOW FOR THE USE OF A 12" DRAINAGE MANHOLE INSTEAD OF A 15" DRAINAGE MANHOLE AS SHOWN ON THE RECORD PLAN.

PLANNING REVISIONS:
 A WAIVER OF PART 17.1.1 OF THE LDC IS REQUESTED TO ALLOW FOR THE USE OF A 12" DRAINAGE MANHOLE INSTEAD OF A 15" DRAINAGE MANHOLE AS SHOWN ON THE RECORD PLAN. THE WAIVER IS REQUESTED TO ALLOW FOR THE USE OF A 12" DRAINAGE MANHOLE INSTEAD OF A 15" DRAINAGE MANHOLE AS SHOWN ON THE RECORD PLAN.



- PUBLIC WORKS AND SITE NOTES:**
1. NO LANDSCAPING AND COMMERCIAL SIGNS SHALL BE PERMITTED IN STATE AND METRO WORKS RIGHT-OF-WAY.
 2. RIGHT-OF-WAY VARIATION BY CUT OR ADD SHALL BE APPROVED PRIOR TO CITY CONSTRUCTION APPROVAL BY PUBLIC WORKS AND WITH ASSOCIATED RECORD PLANS AS REQUIRED BY METRO PUBLIC WORKS.
 3. ALL SIGNAGE AND SIGNAGE INSTALLATIONS SHALL MEET THE REQUIREMENTS FOR SIGNAGE AREAS AS SET BY METRO.
 4. A WETLAND AREA WITH PUBLIC RIGHT-OF-WAY TO BE PROVIDED FOR METRO PUBLIC WORKS.
 5. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLANNING COMMISSION'S STAFF AND ARCHITECT FOR APPROVAL PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES ON THE SITE.
 6. STREET TREES SHALL BE PLANTED IN A MANNER THAT DOES NOT AFFECT PUBLIC SAFETY AND MAINTAINS PROPER TREE SPACING.
 7. AN ENFORCEMENT POINT AND SIGN SHALL BE REQUIRED BY METRO PUBLIC WORKS FOR ROADWAY REPAIRS ON ALL CONSTRUCTION SITES WITHIN THE RIGHT-OF-WAY TO CONDUCT CONSTRUCTION OF THE PROJECT OR BUILDING ON THE STREET.
 8. THE SIGNAGE SHALL BE PLACED IN A MANNER THAT DOES NOT AFFECT PUBLIC SAFETY AND MAINTAINS PROPER TREE SPACING.
 9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLANNING COMMISSION'S STAFF AND ARCHITECT FOR APPROVAL PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES ON THE SITE.
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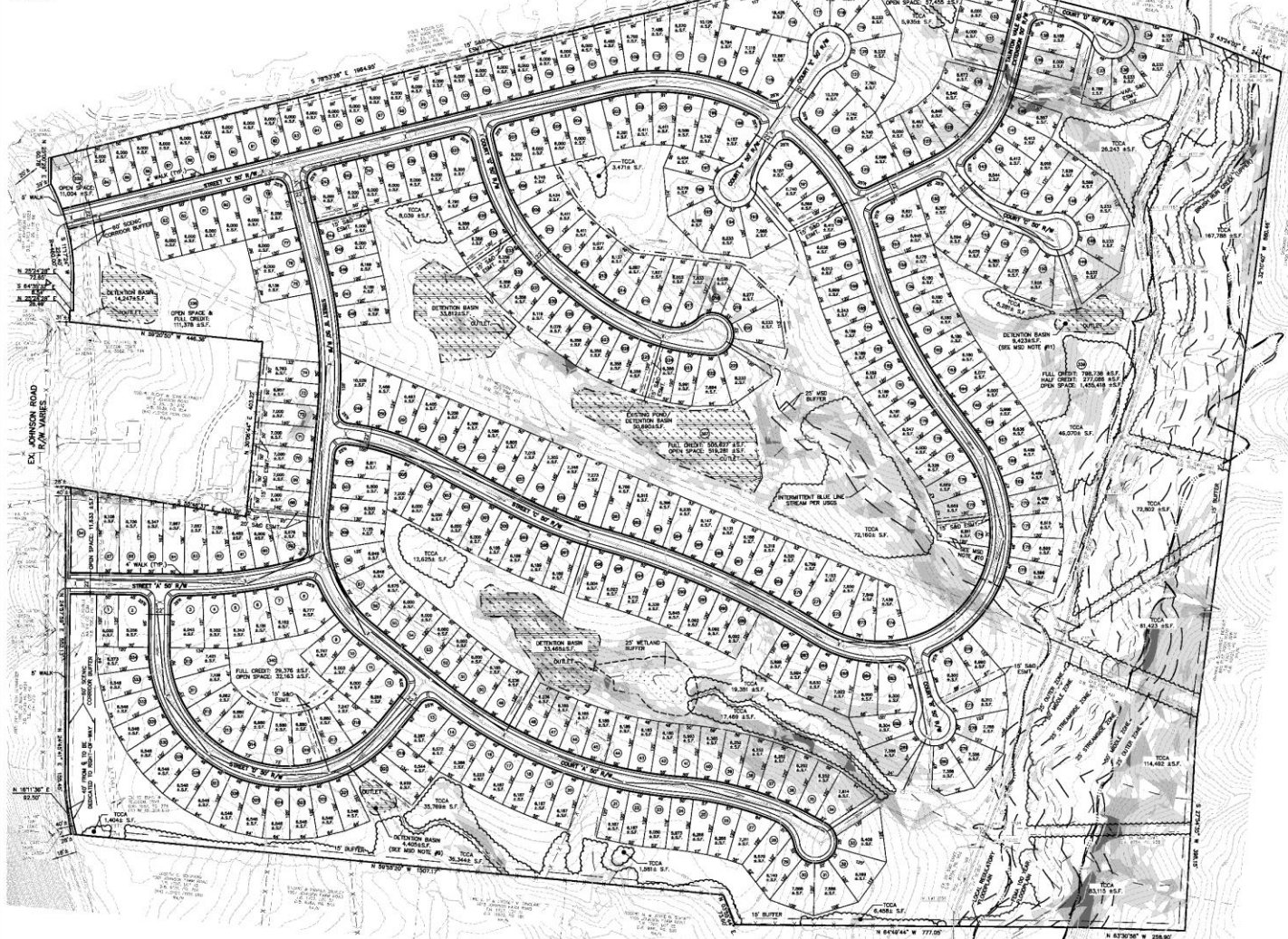
OWNER/DEVELOPER:
 CLAYTON PROPERTIES GROUP, INC.
 5750 CLAYTON PARK BLVD
 INDIANAPOLIS, IN 46216

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REVISION CONSERVATION SUBDIVISION PLAN
 THE OVERLOOK AT EASTWOOD
 FLOOD HAZARD CONSERVATION SUBDIVISION
 1313 JOHNSON ROAD
 LOUISVILLE, KY 40204
 DEED BOOK T1567, PAGE 877

Vertical Scale: 1"=100'
 Horizontal Scale: N/A
 Date: 6/8/20
 Job Number: 3419
 Sheet: 1
 1 of 1

BENCHMARKS
 ALL ELEVATIONS ARE BASED ON NAD 1983 DATUM & WERE DERIVED FROM LDCM BENCHMARKS
 SOURCE BENCHMARK BASO-02 NAME 1988 ELEV. 428.41
 FROM THE INTERSECTION OF INTERSECTION 200 AND U.S. HWY 60, 50 EASTWARD ON U.S. HWY 60 FOR 2.8 MILES TO THE INTERSECTION OF LONG RUN ROAD 0.72 NORTHWEST OF THE EAST END OF A METAL GUARD RAIL, 25.5' SOUTH OF THE METAL GUARD RAIL, TO EAST SOUTHWEST CORNER POINT AND 10' NORTH OF THE CENTERLINE OF LONG RUN ROAD.



PUBLIC WORKS AND ETC. NOTES:

- NO LANDSCAPING AND COMMERCIAL SIGNS SHALL BE PERMITTED IN STATE AND METRO MANSION RIGHT-OF-WAY.
- RIGHT-OF-WAY EROSION BY STEEP OR UNSLOPED SHALL BE RECORDED PRIOR TO CITY CONSTRUCTION APPROVAL BY PUBLIC WORKS OR WITH ASSOCIATED RECORDING AS REQUIRED BY METRO PUBLIC WORKS.
- ALL SIGNAGE AND SIGNAGE INSTALLATIONS SHALL MEET THE REQUIREMENTS FOR SIGNAGE AREAS AS SET BY METRO.
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PROJECT DATA-PROPOSED

BUILDABLE LOTS	334
NON-BUILDABLE LOTS	7
GROSS DENSITY	2.87
NET DENSITY	3.25
CONSERVATION AREA PROVIDED	17.55 Acres (35%)
TOTAL OPEN SPACE PROVIDED	50.47 Acres (43%)
TREE CANOPY TO BE PROVIDED	46.57 Acres (40%)

SITE DATA:

PROPOSED DRAINAGE NETWORK
 PROPOSED TREE LINE

NEIGHBORHOOD: RUSTIC
 EXISTING ZONING: R-1
 PROPOSED LAND USE: SINGLE FAMILY SUBDIVISION
 OFFICE AND RESIDENTIAL
 TOTAL AREA: 100.83 AC.
 BUILDABLE LOTS: 341
 GROSS DENSITY: 2.87 U/L AC.
 NET DENSITY: 3.25 U/L AC.
 CONSERVATION AREA: 17.55 AC. (35%)
 OPEN SPACE: 50.47 AC. (43%)
 TREE CANOPY: 46.57 AC. (40%)
 TOTAL OPEN SPACE PROVIDED: 2,198,332 S.F. (43%)

MAXIMUM LOTS PERMITTED (APPROVED PER #17SUB01V011)

STANDARD #1 (R-1 LOT) 316
 OPEN SPACE (35%) 120
 TREE CANOPY (40%) 120
 TOTAL LOTS PERMITTED 556

TREE CANOPY DATA:

GROSS TREE AREA: 6,071,428 S.F.
 EXISTING TREE CANOPY: 1,831,814 S.F. (30%)
 TREE CANOPY TO BE PRESERVED: 4,010,064 S.F. (66%)
 TREE CANOPY TO BE PLANTED: 1,260,309 S.F. (21%)
 TREE CANOPY REQUIRED: 2,008,474 S.F. (33%)
 TOTAL CANOPY TO BE PROVIDED: 4,010,064 S.F. (66%)

RETENTION CALCULATIONS

3.412 CUMULATIVE (174.42 + 4.22) AC-FIT

GENERAL NOTES:

- CONSERVATION AREA: SUBJECT SITE CAN BE SERVED BY THE LOUISVILLE WATER COMPANY. THE NECESSARY WATER SERVICE IMPROVEMENTS REQUIRED TO SERVE THE DEVELOPMENT SHALL BE AT THE DEVELOPER'S EXPENSE.
- TREE PRESERVATION: A TREE PRESERVATION PLAN SHALL BE PROVIDED TO THE PLANNING COMMISSION'S STAFF AND THE CITY ENGINEER FOR APPROVAL PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES ON THE SITE.
- PROTECTION OF TREES TO BE PRESERVED: CONSTRUCTION ACTIVITIES SHALL BE PREVENTED FROM ANY GRADING OR CONSTRUCTION ACTIVITIES THAT WOULD REMOVE OR DAMAGE ANY TREE TO BE PRESERVED. PROTECTIVE MEASURES SHALL INCLUDE THE AREA WITHIN THE TREE PROTECTIVE ZONE AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ANY DAMAGE TO TREES SHALL BE REPAIRED OR REPLACED AT THE DEVELOPER'S EXPENSE.
- LANDSCAPING AND TREE CANOPY PLAN: LANDSCAPING AND TREE CANOPY PLAN FOR EACH LOT OF THE LDC SHALL BE PROVIDED AS REQUIRED PRIOR TO BEGINNING OF CONSTRUCTION.
- CONSERVATION AREA: CONSERVATION AREA SHALL BE MAINTAINED AND PRESERVED AS REQUIRED BY CHAPTER 4.03 OF THE LDC AND THE CITY ENGINEER.
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MSD NOTES:

- SEWERAGE: SEWERAGE SHALL BE CONNECTED TO THE FLOODS FORK WASTEWATER TREATMENT PLANT BY LATERAL.
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WATER PROTECT:

A WATER PROTECT PLAN FOR THE SITE IS SUBMITTED BY THE DEVELOPER. THE WATER PROTECT PLAN SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION.

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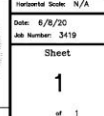
OWNER/DEVELOPER
 CLAYTON PROPERTIES GROUP,
 1213 JOHNSON ROAD,
 INDIANAPOLIS, IN 46216

REVISED CONSERVATION SUBDIVISION PLAN
 THE OVERLOOK AT EASTWOOD
 FLOODS FORK CONSERVATION SUBDIVISION

LOUISVILLE, KY 40204
 1213 JOHNSON ROAD
 DEED BOOK T1567, PAGE B77

Vertical Scale: 1"=100'
 Horizontal Scale: N/A
 Date: 6/9/20
 Job Number: 3419
 Sheet
 1 of 1

CASE #20-RSUB-0004
 RELATED CASE #17SUB01V011
 WW #11555



PROPOSED

STORMWATER POLLUTION PREVENTION PLAN NOTE:

THE APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE IMPLEMENTED PRIOR TO ANY LAND-ALTERING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED SWPPP PLAN MUST BE REVIEWED AND APPROVED BY MSD SWPPP DWP'S (BEST MANAGEMENT PRACTICES) SHALL BE INSTALLED PER THE PLAN AND MSD STANDARDS. DETENTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PERFORM AS SEDIMENT BASINS DURING CONSTRUCTION UNTIL THE CONTRIBUTING DRAINAGE AREAS ARE SEIZED AND STABILIZED. ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY. SOIL STOCKPIRES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SNALES, AND CATCH BASINS. STOCKPIRES SHALL BE SEED, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SALT FENCE. ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING STRUCTURES PER MSD STANDARD DRAWING 02-03. SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER EXCAVATION ACTIVITIES SHALL BE PLUMED TO A SEASONAL TRAPPING DEVICES PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SNALE OR DITCH BASIN. WHERE CONSTRUCTION OR LAND-ALTERING ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF THE SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE MAINTAINED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 DAYS AFTER THE ACTIVITY HAS CEASED.

BENCHMARKS

NOTE: ALL ELEVATIONS ARE BASED ON NAVD 1988 DATUM & WERE DERIVED FROM LOGIC BENCHMARKS. SOURCE BENCHMARK BASO-02 NAVD 1988 ELEV. 825.41 FROM THE JUNCTION OF INTERSTATE 265 AND U.S. HWY 80 TO EASTERN ON U.S. HWY 80 2.5 MILES TO THE INTERSECTION OF LONG RUN ROAD ON THE LEFT 80 EASTWARD ON LONG RUN ROAD 1.0 MILE TO THE STATION ON THE LEFT. STATION IS 47.8' NORTHEAST OF THE EAST END OF A METAL GANGE PILE 1/4" SOUTH OF THE 54" WOOD FENCE, 16.4' EAST SOUTHWEST OF THE HERRBERT AND 16' NORTH OF THE CENTERLINE OF LONG RUN ROAD.

STANDARD WORKS AND ETC. NOTES:

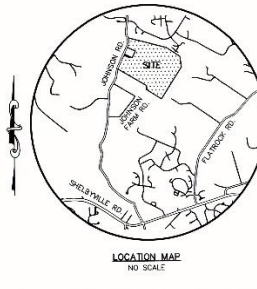
- NO LANDSCAPING AND COMMERCIAL SIGNS SHALL BE PERMITTED IN STATE AND METRO WORKS RIGHT-OF-WAY.
- RIGHT-OF-WAY DEDICATION BY DEED OR MINOR PLAT MUST BE RECORDED PRIOR TO SITE CONSTRUCTION APPROVAL BY PUBLIC WORKS AND ASSOCIATED RECORD PLAT AS REQUIRED BY METRO PUBLIC WORKS.
- ALL ROADWAY AND ENTRANCE INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS, SET BACKS AND RIGHT-OF-WAY FOR METRO PUBLIC WORKS.
- METRO AREA WITH PUBLIC RIGHT-OF-WAY TO BE PROVIDED PER METRO PUBLIC WORKS.
- COMPATIBLE UTILITY LINES (ELECTRIC, PHONE, CABLE) SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE AGREED. SUBJECT TO TREE, SANITARY SEWER CAPACITY TO BE APPROVED BY METROPOLITAN SEWER DISTRICT.
- STREET TREES SHALL BE PLANTED IN A MANNER THAT DOES NOT AFFECT PUBLIC SAFETY AND MAINTAIN PROPER SETBACKS. PLANT LOCATION WILL BE DETERMINED DURING CONSTRUCTION APPROVAL PROCESS.
- AN ENCROACHMENT PERMIT AND BOND MAY BE REQUIRED BY METRO PUBLIC WORKS FOR ROADWAY REPAIRS ON ALL SURROUNDING ADJACENT ROADS TO THE SITE DUE TO DAMAGES CAUSED BY CONSTRUCTION TRAFFIC ACTIVITIES.
- A MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) REQUIREMENTS AND BE INSTALLED PRIOR TO CONSTRUCTION OF THE FIRST RESIDING OF BUILDING ON THE STREET AND SHALL BE IN PLACE PRIOR TO REQUESTING A CERTIFICATE OF OCCUPANCY.
- THE MINIMUM GRADE OF ALL STREETS SHALL BE ONE (1%) PERCENT AND A MAXIMUM GRADE OF TEN (10%) PERCENT.
- THE DEVELOPER IS RESPONSIBLE FOR ANY UTILITY RELOCATION ON THE PROPERTY.
- STANDARD WORKS AND ROADWAY PAVEMENT NOTES, ROAD SIDEWALK LOCATIONS AND OFFSETS SHALL BE IN ACCORDANCE WITH METRO PUBLIC WORKS STANDARDS AND APPROVED AT THE TIME OF CONSTRUCTION.
- CURBS AND GUTTER SHALL BE PROVIDED ALONG ALL STREETS WHERE REQUIRED BY THE DEVELOPMENT CODE.
- ALL SIDEWALK RAMP SHALL CONFORM TO A.D.A. STANDARD SPECIFICATION, THE SPECIAL NOTE FOR DELICATE WADING FOR SIDEWALK RAMP PER RITC STANDARD DRAWING FOR SIDEWALKS AND FOR ILLINOIS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- THERE SHOULD BE NO INCREASE IN DRAINAGE RUNOFF TO THE RIGHT-OF-WAY. CALCULATIONS WILL BE REQUIRED FOR ANY RUNOFF TO THE STATE RIGHT-OF-WAY.
- THE ENTRANCE OF STREET "C" AT JOHNSON ROAD SHALL BE COORDINATED WITH DEVELOPER AND METRO PUBLIC WORKS TO PROVIDE ADEQUATE RIGHT DISTANCES PRIOR TO CONSTRUCTION PLAN.
- PAVING AND PUBLIC WORKS OFFICIALS AGREE TO WAIVE THE 6.9.2.1.2.0.2 CONNECTIVITY REQUIREMENT DUE TO PHYSICAL AND ENVIRONMENTAL SITE CONSTRAINTS.

MSD NOTES:

- WASTEWATER: SANITARY SEWER WILL CONNECT TO THE FLORES FORK WASTEWATER TREATMENT PLANT BY LATENT EXCAVATION AGREEMENT. SUBJECT TO TREE, SANITARY SEWER CAPACITY TO BE APPROVED BY METROPOLITAN SEWER DISTRICT.
- DRAINAGE PROGRAMS: DETENTION: DILUTION WILL BE PROVIDED WITH MODIFICATIONS TO THE EXISTING UPSTREAM LAKE AT HIGH FLOODS. POST-DEVELOPED PEAK FLOWS WILL BE LIMITED TO PRE-DEVELOPED PEAK FLOWS FOR THE 1, 10, 25 & 100 YEAR STORMS OR TO THE CAPACITY OF THE DOWNSTREAM SYSTEM, WHICH EVER IS MORE RESTRICTIVE. IF MODIFICATIONS ARE MADE TO THE EXISTING LAKE, THE FOLLOWING ITEMS WILL BE REQUIRED: AN IN-BAZ STUDY FOR A HIGH HAZARD CHAIN, A LITERS INFORMATION MAP AND IEC-PAZ STUDY SHALL BE PROVIDED PRIOR TO CONSTRUCTION PLAN APPROVAL. IF FLOOD ELEVATIONS CHANGE AS A RESULT A CLEAR AND A LUMBAR SHALL BE SUBMITTED PRIOR TO CONSTRUCTION PLAN APPROVAL.
- FROSTION AND S/I CONTROL.
- SOIL AND STABILIZATION TENDING PLAN SHALL BE DEVELOPED AND IMPLEMENTED IN ACCORDANCE WITH MSD AND THE USDA NATURAL RESOURCES CONSERVATION SERVICE RECOMMENDATIONS. DOCUMENTATION OF MEETS APPROVAL OF THE PLAN SHALL BE SUBMITTED TO THE PLANNING COMMISSION PRIOR TO GRABBY AND CONSTRUCTION ACTIVITIES.
- A PORTION OF THE SUBJECT PROPERTY LIES WITHIN A FLOOD HAZARD AREA PER FEMA'S FIRM MAPPING (011703 001).
- THE FINAL DESIGN OF THIS PROJECT MUST MEET ALL MSD WATER QUALITY REGULATIONS ESTABLISHED BY MSD. SITE LAYOUT MAY CHANGE AT DESIGN PHASE DUE TO PROPER SIZING OF GREEN BEST MANAGEMENT PRACTICES. A GEOTECHNICAL CHALLENGE REPORT MUST BE SUBMITTED BY A PROFESSIONAL ENGINEER PRIOR TO FILLING OF ANY EXISTING PONDS. THE APPROPRIATE DETAILS FOR REMEDIATION SHALL BE NOTED ON THE CONSTRUCTION PLAN.
- ALL NECESSARY RIGHTS FOR UTILITY PURPOSES SHALL BE RESERVED ON OPEN SPACE LOTS.
- ROW AND APPROVAL REQUIRED PRIOR TO MSD CONSTRUCTION PLAN APPROVAL.
- DRAINAGE TOWARDS LOT 31 OF TAX BLOCK 1707 SHALL NOT EXCEED 15 FEET AND PUBLIC WORKS OFFICIALS AGREE TO WAIVE THE 6.9.2.1.2.0.2 CONNECTIVITY REQUIREMENT DUE TO PHYSICAL AND ENVIRONMENTAL SITE CONSTRAINTS.

LEGEND

- EXISTING CONTOUR
- EXISTING TREE MASS
- EXISTING FENCE
- EXISTING UNDERGROUND UTILITIES
- EXISTING OVERHEAD ELECTRIC
- EXISTING CATCH BASIN
- EXISTING HEADWALL, IN/PIPE
- EXISTING SANITARY MANHOLE
- EXISTING POND/OPEN WATER
- EXISTING WETLAND
- EXISTING SLOPES (20-30%)
- EXISTING SLOPES (30%+)
- SILT FENCE/LIMITS OF DISTURBANCE
- PROPOSED CATCH BASIN
- PROPOSED HEADWALL
- PROPOSED DITCH/SNALE
- PROPOSED SANITARY
- PROPOSED DRAINAGE ARROW
- REMOVED TREE LINE



APPROVED
Louisiana Metro Planning Commission
Louisiana Metro Public Works
Metropolitan Sewer District
Louisiana Metro Planning & Design Services
Louisiana Metro Planning Commission
Checked if conditional approval
See back of plan for conditions of approval
Expiration date 11/16/2017

SITE DATA:

FORM DISTRICT: P4
EXISTING ZONING: P4
EXISTING LAND USE: VACANT/AGRICULTURAL
EXISTING FAMILY SUBDIVISION: 115,084 AC.
GROSS LAND AREA: 115,084 AC.
LAND AREA: 115,084 AC.
BUILDABLE LOTS: 323
NON-BUILDABLE LOTS: 145
GROSS DENSITY: 2.79 D/L/AC.
NET DENSITY: 3.14 D/L/AC.
CONSERVATION AREA:
REQUIRED: 1,929,420 S.F. (30%)
PROVIDED: 1,224,888 S.F. (30%)
FULL CREDIT: 1,224,888 S.F.
HALF CREDIT: 699,984 S.F. (292,694 S.F.)
TOTAL OPEN SPACE PROVIDED: 1,949,880 S.F. (38%)
MAXIMUM LOTS PERMITTED:
STANDARD 4-1 LOTS PER LOT
OPEN SPACE CREDIT (5%) +16
TREE CANOPY CREDIT: 132
TOTAL LOTS PERMITTED: 364

DETENTION CALCULATIONS

2.9/17 (0.30-0.35) (1154) = 4.18 AC-FT

EMERSONIAN STANDARDS

FRONT: MIN. 15; MAX. 25'
STREET SIDE YARDS: MIN. 15'
SIDE YARDS: 3' (IF ATTACHED UNIT)
REAR YARD: 25'
MAXIMUM BUILDING HEIGHT: 35'
FLOOR AREA RATIO: 1.5
<8,000 S.F. LOT AREA: 1.5
>8,000 S.F. LOT AREA: 0.8

GENERAL NOTES:

- DOMESTIC WATER SUPPLY: SUBJECT TO BE SERVED BY THE LOUISIANA WATER COMPANY, THE NECESSARY WATER SYSTEM IMPROVEMENTS REQUIRED TO SERVE THE DEVELOPMENT SHALL BE AT THE OWNER'S DISCRETION.
- TREE PRESERVATION: TREE PRESERVATION PLAN SHALL BE PROVIDED TO THE PLANNING COMMISSION'S STAFF LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.
- PROTECTION OF TREES TO BE PRESERVED: CONSTRUCTION ACTIVITIES SHALL BE PERMITTED WITHIN THE FENCED AREA OF TREES TO BE PRESERVED. THE FENCING SHALL INCLUDE THE AREA BEHIND THE DRAIN LINE OF THE TREE CANOPY AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION ACTIVITIES SHALL BE COMPLETED. A TREE CANOPY STORAGE OR STORAGE OF CONSTRUCTION MATERIALS SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE EMISSIONS REACHING EXISTING ROADS AND ADJACENT PROPERTIES.
- IF PROPOSED, SIGNATURE ENTRANCE WALLS SHALL BE SUBMITTED TO AND APPROVED BY THE PLANNING STAFF PRIOR TO CONSTRUCTION PLAN APPROVAL AND THEY SHALL MEET THE REQUIREMENTS OF CHAPTER 4.4.3 OF THE LDC.
- TREE CANOPY REQUIREMENTS: TREE CANOPY REQUIREMENTS SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE EMISSIONS REACHING EXISTING ROADS AND ADJACENT PROPERTIES.
- ALL EXISTING STRUCTURES AND EXISTING ENTRANCES SHALL BE REMOVED, EXCEPT AS NOTED OTHERWISE IN THE PLAN.
- IN ACCORDANCE WITH CHAPTER 4.9 OF THE LDC, A HARSH SURVEY WAS PERFORMED BY THE PLANNING STAFF PRIOR TO CONSTRUCTION. THE HARSH SURVEY WAS FOUND A NUMBER OF PUBLISHED GEOTECHE INFORMATION FROM THE KY STATE ENGINEERING BOARD. NO CONFIRMED OR DOWNSIDE OF EXISTING OR ON THE SUBJECT PROPERTY.
- A CONSERVATION AREA MANAGEMENT PLAN SHALL BE SUBMITTED IN CONJUNCTION WITH STAFF REVIEW OF THE SUBDIVISION RECORD PLAT. THE CONSERVATION AREA MANAGEMENT PLAN SHALL BE IN COMPLIANCE WITH THE APPROVED CONSERVATION SUBDIVISION PLAN AND LAND DEVELOPMENT CODE, SECTION 711.16 (C) RESTRICTIONS, OWNERSHIP AND THE CONSERVATION AREA MANAGEMENT PLAN SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING COMMISSION LOCAL COUNCIL.
- WITHIN 15' HEIGHT FOR SOIL CORRIDOR SIGNATURE ENTRANCES SHALL NOT EXCEED 8' IN HEIGHT OF 50' IN TOTAL LENGTH, 25' EACH SIDE.

RECEIVED
AUG 14 2017
DESIGN SERVICES

CONSERVATION SUBDIVISION PLAN
JOHNSON ROAD
CONSERVATION SUBDIVISION
1313 JOHNSON ROAD
LOUISIANA METRO PLANNING & DESIGN SERVICES
BLOCK: 1707 LOT: 15
DEED BOOK: 8132 PAGE: 857

Scale: N/A
Horizontal Scale: 1"=150'
Date: 6/30/17
Job Number: 3419
Sheet

PROJECT # 17SUBDI011
WM #11655

GRAPHIC SCALE 1"=150'

Developer: MINDLE, SCOTT & ASSOCIATES, INC.
INVERNESS HOMES
11305 REED HARTMAN HWY, STE. 214
CINCINNATI, OH, 45241

Owner: THE MARGARET KLEINERT TRUST
138 CLARK STREET
SELLERSBURG, IN, 47172

Design Services: LOUISIANA METRO PLANNING & DESIGN SERVICES

Metropolitan Sewer District: 504.7236 S.F. TREE CANOPY CATEGORY: 1,632,861 S.F. (32%)

Metropolitan Sewer District: 1,632,861 S.F. (32%) TREE CANOPY TO BE PRESERVED: 0 S.F. (0%)

Metropolitan Sewer District: 1,632,861 S.F. (32%) TREE CANOPY PROVIDED: 930,786 S.F. (19%)

APPROVED

STORMWATER POLLUTION PREVENTION PLAN NOTE:

THE APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED SWPPP PLAN MUST BE REVIEWED AND APPROVED BY MSD. SWPPP BMP'S (BEST MANAGEMENT PRACTICES) SHALL BE INSTALLED PER THE PLAN AND MSD STANDARDS.

DETECTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PERFORM AS SEDIMENT BASINS DURING CONSTRUCTION UNTIL THE CONTRIBUTING DRAINAGE AREAS ARE SEEDS AND STABILIZED.

ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.

SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES, AND CATCH BASINS. STOCKPILES SHALL BE SEEDS, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SUELFENCE.

ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING STRUCTURES PER MSD STANDARD DRAWING 02-02-03.

SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER EXCAVATION ACTIVITIES SHALL BE SHUTTED TO A SEDIMENT TRAPPING DEVICES PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE OR CATCH BASIN.

WHERE CONSTRUCTION OR LAND DISTURBING ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 DAYS AFTER THE ACTIVITY HAS CEASED.

BENCHMARKS
NOTE: ALL ELEVATIONS ARE BASED ON NAVD 1988 DATUM & WERE DERIVED FROM LOGIC BENCHMARKS.

SOURCE BENCHMARK BASD-02 NAVD 1988 ELEV. 625.41
FROM THE JUNCTION OF INTERSTATE 265 AND U.S. HWY 50 TO EASTERN TO THE INTERSECTION OF LONG RUN ROAD ON THE LEFT TO THE INTERSECTION OF LONG RUN ROAD ON THE RIGHT TO THE STATION ON THE LEFT STATION IS 41/8' NORTHEAST OF THE EAST END OF A METAL CANTON RAIL SOUTH OF THE 54' WOOD FENCE, 10.4' EAST-SOUTHEAST OF A FIRE HYDRANT AND 16' NORTH OF THE CENTERLINE OF LONG RUN ROAD.



PROJECT DATA-APPROVED	
BUILDABLE LOTS	323
NON-BUILDABLE LOTS	10
GROSS DENSITY	2.79 D.U./Ac.
NET DENSITY	3.14 D.U./Ac.
CONSERVATION AREA PROVIDED	35.04 Acres (30%)
TOTAL OPEN SPACE PROVIDED	44.76 Acres (38%)
TREE CANOPY TO BE PROVIDED	21.37 Acres (18%)

Checked if conditional approval
See back of plan for conditions of approval
Expiration date 11/14/2019

SITE DATA:

FORM DISTRICT	NEIGHBORHOOD
EXISTING ZONING	R4
EXISTING LAND USE	VACANT/AGRICULTURAL
PROPOSED LAND USE	SINGLE-FAMILY SUBDIVISION
GROSS LAND AREA	115.58 AC.
NET LAND AREA	115.58 AC.
BUILDABLE LOTS	323
NON-BUILDABLE LOTS	10
GROSS DENSITY	2.79 D.U./AC.
NET DENSITY	3.14 D.U./AC.
CONSERVATION AREA	
REQUIRED	1,926,420± S.F. (30%)
PROVIDED	1,926,420± S.F. (30%)
FULL CREDIT	1,233,791± S.F.
HALF CREDIT	692,629± S.F. (292,690± S.F.)
TOTAL OPEN SPACE PROVIDED	1,946,680± S.F. (38%)

MAXIMUM LOTS PERMITTED:

FINISHED IN 4 MONTHS	115
OPEN SPACE CREDIT (25%)	+16
TREE CANOPY CREDIT (10%)	+10
TOTAL LOTS PERMITTED	341

TREE CANOPY DATA:

GROSS SITE AREA	8,086,736± S.F.
TREE CANOPY CATEGORY	CLASS 2
EXISTING TREE CANOPY	1,632,801± S.F. (33%)
TREE CANOPY TO BE PRESERVED	630,786± S.F. (18%)
TREE CANOPY TO BE PLANTED	0± S.F. (0%)
TREE CANOPY REQUIRED	782,738± S.F. (19%)
TOTAL TREE CANOPY PROVIDED	930,786± S.F. (18%)

*TREE CANOPY DEPICTED ON PLAN PER MSD LOGIC MAPPING, AERIAL PHOTO OR FIELD SURVEY. TREE CANOPY CALCULATIONS BASED UPON TREE AREAS SHOWN.

DETENTION CALCULATIONS

2.8/12 (0.50-0.30) (115.6) = 4.19 AC-FT

DIMENSIONAL STANDARDS

FRONT	MIN. 15' MAX. 25'
STREET SIDE YARDS	MIN. 15'
SIDE YARDS	3' (IF ATTACHED UNIT)
REAR YARD	25'
MAXIMUM BUILDING HEIGHT	35'
FLOOR AREA RATIO	1.0
<8,000 S.F. LOT AREA	1.5
>8,000 S.F. LOT AREA	0.8

GENERAL NOTES:

- DOMESTIC WATER SUPPLY: SUBJECT SITE CAN BE SERVED BY THE LOUISVILLE WATER COMPANY. THE NECESSARY WATER SYSTEM IMPROVEMENTS REQUIRED TO SERVICE THE DEVELOPER SHALL BE AT THE OWNER/DEVELOPER'S EXPENSE.
- TREE PRESERVATION: A TREE PRESERVATION PLAN SHALL BE PROVIDED TO THE PLANNING COMMISSION'S STAFF LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.
- PROTECTION OF TREES TO BE PRESERVED: CONSTRUCTION ACTIVITIES SHALL BE PREVENTED FROM ANY GRADING OR CONSTRUCTION ACTIVITIES PREVENTING COMPACTION OF ROOT SYSTEMS OF TREES TO BE PRESERVED. THE EXISTING SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION ACTIVITIES SHALL BE COMPLETED. THE TREE CANOPY TO BE PRESERVED SHALL BE PRESERVED THROUGHOUT THE CONSTRUCTION PERIOD. THE TREE CANOPY TO BE PRESERVED SHALL BE PRESERVED THROUGHOUT THE CONSTRUCTION PERIOD.
- IF PROPOSED SIGNATURE ENTRANCE WALLS SHALL BE SUBMITTED TO AND APPROVED BY THE PLANNING STAFF PRIOR TO CONSTRUCTION PLAN APPROVAL AND THEY SHALL MEET THE REQUIREMENTS OF CHAPTER 4.4.3 OF THE LDC.
- CONSTRUCTION SIGNATURE ENTRANCE WALLS SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE EMISSIONS REACHING EXISTING ROADS AND ADJACENT PROPERTIES.
- ALL EXISTING STRUCTURES AND EXISTING ENTRANCES SHALL BE REMOVED.
- IN ACCORDANCE WITH CHAPTER 4.9 OF THE LDC, A KARST SURVEY WAS PERFORMED BY THE PLANNING STAFF ON 5/2/2017 AND NO KARST TOPOGRAPHY WAS IDENTIFIED. ALL SUBSIDIARY INFORMATION FROM THE KARST SURVEY SHALL BE SUBMITTED TO THE PLANNING STAFF FOR REVIEW AND APPROVAL ON THE SUBJECT PROPERTY.
- A CONSERVATION AREA MANAGEMENT PLAN SHALL BE SUBMITTED IN CONJUNCTION WITH STAFF REVIEW OF THE SUBDIVISION RECORD PLAN. THE MANAGEMENT PLAN SHALL BE IN COMPLIANCE WITH THE APPROPRIATE CONSERVATION SUBDIVISION PLAN AND LAND DEVELOPMENT CODE SECTION 71.0. THE MANAGEMENT PLAN SHALL BE REVIEWED AND APPROVED BY THE PLANNING COMMISSION LOCAL GOVERNMENT.
- WHEN LOT'S FOR SOFT SCORING CORRIDOR SIGNATURE ENTRANCES SHALL NOT EXCEED 6" IN HEIGHT OF 50' IN TOTAL LENGTH, 25' EACH SIDE.

RECEIVED
AUG 14 2017
DESIGN SERVICES

CONSERVATION SUBDIVISION PLAN
JOHNSON ROAD
CONSERVATION SUBDIVISION
1313 JOHNSON ROAD
LOUISVILLE, KENTUCKY 40245
REID BOOK 8132, PAGE 787

OWNER
THE MARGARET KLEINERT TRUST
138 CLARK STREET
SELLERSBURG, IN. 47172

PUBLIC WORKS AND KTC NOTES:

- NO LANDSCAPING AND COMMERCIAL SIGNS SHALL BE PERMITTED IN STATE AND METRO WORKS RIGHT-OF-WAY.
- RIGHT-OF-WAY RESTRICTION BY DETD OR MINOR PLAT MUST BE RECORDED PRIOR TO SITE CONSTRUCTION APPROVAL BY PUBLIC WORKS OR WITH ASSOCIATED RECORD PLAT AS REQUIRED BY METRO PUBLIC WORKS.
- ALL ROADWAY AND ENTRANCE INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.
- WIDE AREA WITH PUBLIC RIGHT-OF-WAY TO BE PROVIDED PER METRO PUBLIC WORKS.
- COMPATIBLE UTILITY LINES (ELECTRIC, PHONE, CABLE) SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE PROVIDED BY APPROPRIATE AGENCIES.
- PUBLIC TREES SHALL BE PLANTED IN A MANNER THAT DOES NOT AFFECT PUBLIC SAFETY AND MAINTAINS PROPER SITE DISTANCE. FINAL LOCATION WILL BE DETERMINED DURING CONSTRUCTION APPROVAL PROCESS.
- AN ENCROACHMENT PERMIT AND EROSION MAY BE REQUIRED BY METRO PUBLIC WORKS FOR ROADWAY REPAIRS ON ALL SURROUNDING ACCESS ROADS TO THE SITE DUE TO DAMAGES CAUSED BY CONSTRUCTION TRAFFIC ACTIVITIES.
- MANUAL OR UNIFORM TRAFFIC CONTROL DEVICES (MUTED) REQUIRED AND TO BE INSTALLED PRIOR TO CONSTRUCTION OF THE FIRST RESIDENCE OR BUILDING ON THE STREET AND SHALL BE IN PLACE PRIOR TO REQUESTING A CERTIFICATE OF OCCUPANCY.
- THE MINIMUM GRADE OF ALL STREETS SHALL BE ONE (10) PERCENT AND A MAXIMUM GRADE OF TEN (10) PERCENT.
- THE DEVELOPER IS RESPONSIBLE FOR ANY UTILITY RELOCATION ON THE PROPERTY.
- ALL CURB-TO-SIDE AND ROADWAY PAVEMENT METHODS, ROAD, SIDEWALK LOCATIONS AND OFFSETS SHALL BE IN ACCORDANCE WITH METRO PUBLIC WORKS STANDARDS AND APPROVED AT THE TIME OF CONSTRUCTION.
- CURBS AND GUTTER SHALL BE PROVIDED ALONG ALL STREETS WHERE REQUIRED BY THE DEVELOPMENT CODE.
- ALL SIDEWALK RAMP SHALL CONFORM TO A.D.A. STANDARD SPECIFICATION THE SPECIAL NOTE FOR SELECTABLE WARNING FOR SIDEWALK RAMP PER KTC STANDARD DRAWING FOR SIDEWALKS AND PER INDUSTRY STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THERE SHOULD BE AN INCREASE IN DRAINAGE RUNOFF TO THE RIGHT-OF-WAY CALCULATIONS WILL BE REQUIRED FOR ALL RUNOFF TO THE STATE RIGHT-OF-WAY.
- THE ENTRANCE OF STREET "C" AT JOHNSON ROAD SHALL BE COORDINATED WITH DEVELOPER, KYTC AND METRO PUBLIC WORKS TO PROVIDE ADEQUATE RIGHT DISTANCES PRIOR TO CONSTRUCTION PLAN.
- PLANNING AND PUBLIC WORK DIRECTORS AGREE TO WAIVE THE 5.9.2.1.4.1.4.1 CONNECTIVITY REQUIREMENT DUE TO PHYSICAL AND ENVIRONMENTAL SITE CONSTRAINTS.

MSD NOTES:

- SEWAGE TREATMENT PLANT: SANITARY SEWER WILL CONNECT TO THE FLOOD PROOF WASTEWATER TREATMENT PLANT BY LATERAL EXTENSION AGREEMENT. SUBJECT TO FEES. SANITARY SEWER CAPACITY TO BE APPROVED BY METROPOLITAN SEWER DISTRICT.
- DRAINAGE: DRAINAGE DETENTION: DETENTION WILL BE PROVIDED WITH MODIFICATIONS TO THE EXISTING UPSTREAM DRAINAGE AT FLOOD FLOOD. FLOOD DEVELOPMENT PLAN FLOWS WILL BE LIMITED TO PRE-DEVELOPED PLAN FLOWS FOR THE 2, 10, 20 AND 100 YEAR STORMS OR TO THE CAPACITY OF THE DOWNSTREAM SYSTEM, WHICH EVER IS MORE RESTRICTIVE. IF MODIFICATIONS ARE MADE TO THE EXISTING LAKE, THE FOLLOWING ITEMS WILL BE REQUIRED: 1. A CONSTRUCTION PLAN WHICH SHOWS THE EXISTING LAKE, A FLOOD INUNDATION MAP AND IEC-RAP STUDY SHALL BE PROVIDED PRIOR TO CONSTRUCTION PLAN APPROVAL. 2. FLOOD ELEVATING CHANGE AS A RESULT A CULMINE AND LOMAR SHALL BE SUBMITTED PRIOR TO CONSTRUCTION PLAN APPROVAL.
- EROSION AND SILT CONTROL: SOIL AND SEDIMENTATION CONTROL PLAN SHALL BE DEVELOPED AND IMPLEMENTED IN ACCORDANCE WITH MSD AND THE USFS NATURAL RESOURCES CONSERVATION SERVICE RECOMMENDATIONS. DOCUMENTATION OF MSD'S APPROVAL OF THE PLAN SHALL BE SUBMITTED TO THE PLANNING COMMISSION PRIOR TO GRADING AND CONSTRUCTION ACTIVITIES.
- A PORTION OF THE SUBSIDIARY PRIORITY LIES WITHIN A FLOOD HAZARD AREA PER FEMA'S FLOOD HAZARD ZONING MAP.
- THE FINAL DESIGN OF THIS PROJECT MUST MEET ALL MSD WATER QUALITY REGULATIONS. THE DEVELOPER SHALL WAIVE AT DESIGN PHASE TO PROPER SORTING OF GREEN BEST MANAGEMENT PRACTICES.
- A CERTIFICATION SHALL BE OBTAINED BY A GEOLOGICAL ENGINEER PRIOR TO FILLING OF ANY EXISTING POND. THE APPROPRIATE DETAILS FOR FOUNDATION SHALL BE NOTED ON THE CONSTRUCTION PLAN.
- ALL NECESSARY RIGHTS FOR UTILITY PURPOSES SHALL BE RESERVED ON OPEN SPACE LOTS.
- ROOM AND ACCESS APPROVAL REQUIRED PRIOR TO MSD CONSTRUCTION PLAN APPROVAL.
- DRAINAGE: TOWARDS LOT 31 OF TAX BLOCK 1707 SHALL NOT EXCEED PRE-DEVELOPED FLOOD. EXCESS STORM WATER WILL BE DIVERTED OR DETENTION WILL BE PROVIDED IN OPEN SPACE LOT 322 TO COMPENSATE.

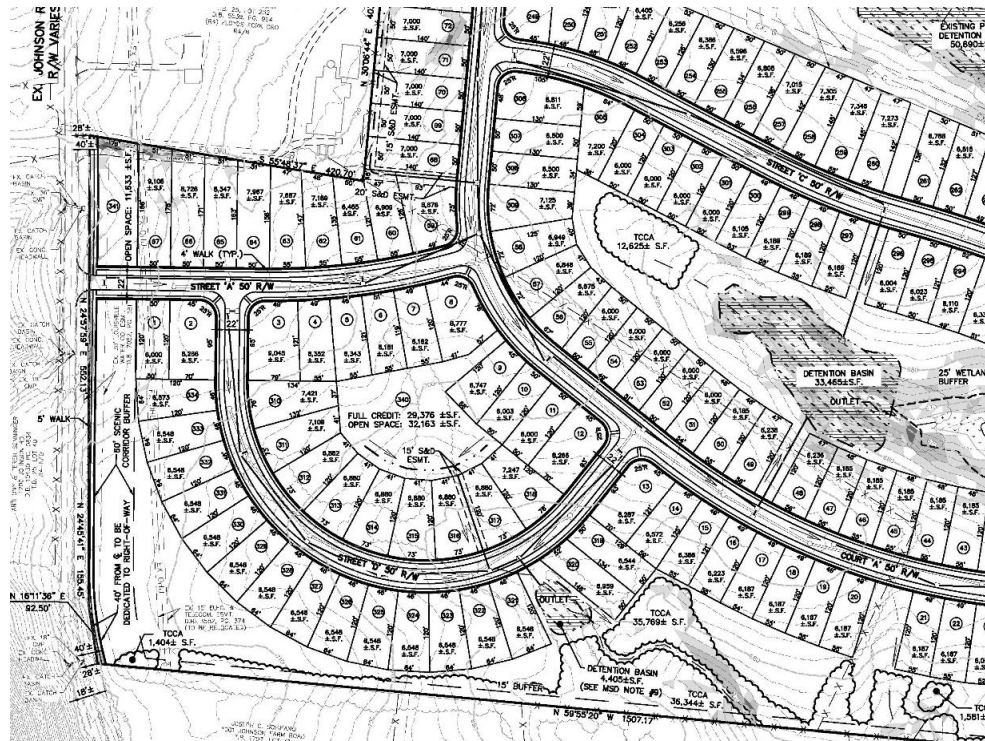
PROJECT # 17SUBDIV1011
WM #11655

GRAPHIC SCALE 1"=150'
0 75 150 300

Vertical Scale: N/A
Horizontal Scale: 1"=150'
Date: 6/30/17
Job Number: 3419
Sheet
1
of 1

PROJECT DATA- PROPOSED	
BUILDABLE LOTS	334 (+11)
LOT SIZE	50' X 120'
NON-BUILDABLE LOTS	7
GROSS DENSITY	2.87 D.U./Ac.
NET DENSITY	3.25 D.U./Ac.
CONSERVATION AREA PROVIDED	17.55 Acres (35%) +5%
TOTAL OPEN SPACE PROVIDED	50.47 Acres (43%) +5%
TREE CANOPY TO BE PROVIDED	46.57 Acres (40%) +22%

PROJECT DATA- APPROVED	
BUILDABLE LOTS	323
LOT SIZE	52' x 120' - 55' x 130'
NON-BUILDABLE LOTS	10
GROSS DENSITY	2.79 D.U./Ac.
NET DENSITY	3.14 D.U./Ac.
CONSERVATION AREA PROVIDED	35.04 Acres (30%)
TOTAL OPEN SPACE PROVIDED	44.76 Acres (38%)
TREE CANOPY TO BE PROVIDED	21.37 Acres (18%)



PROPOSED



APPROVED



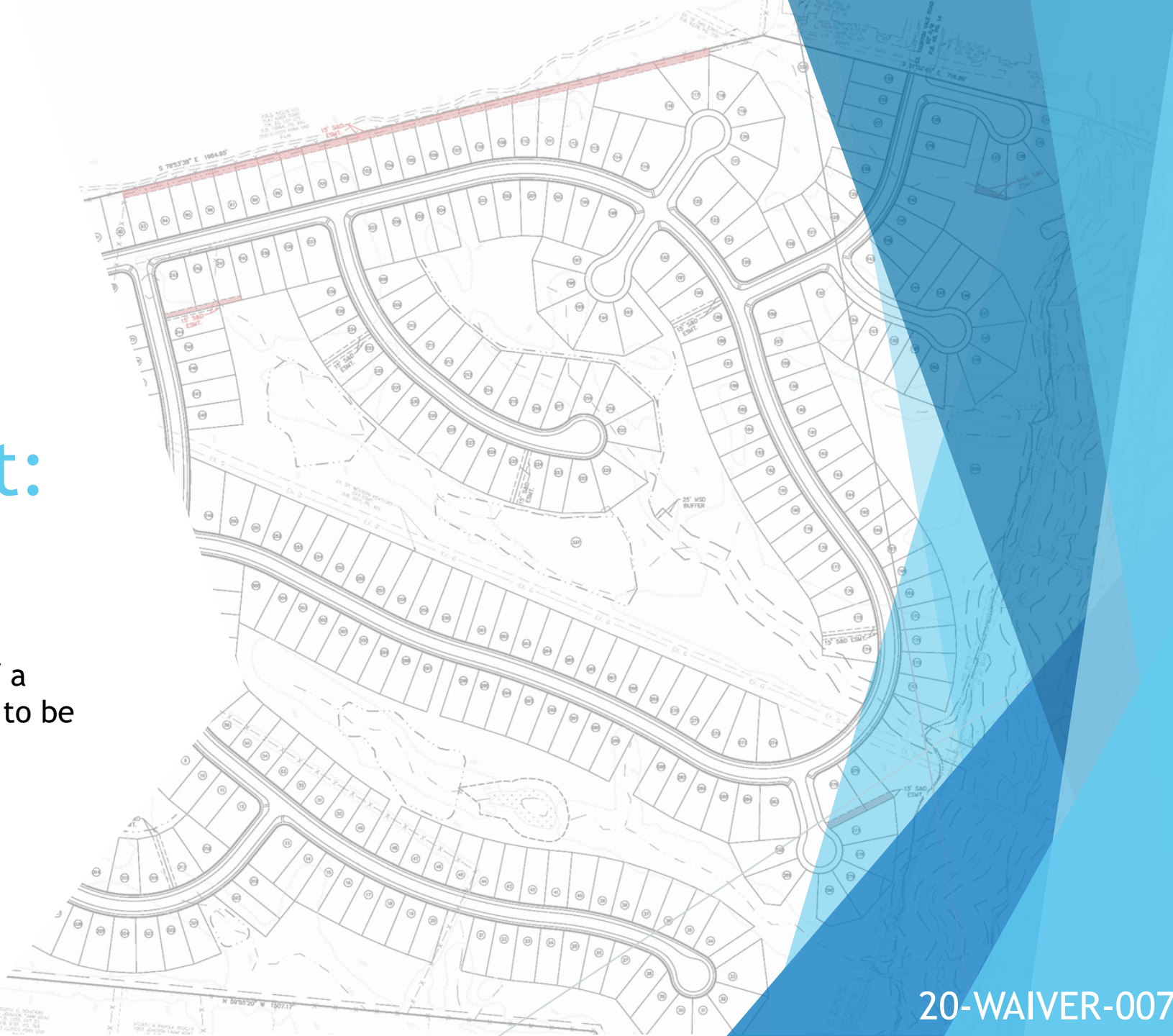
PROPOSED



APPROVED

Waiver Request: 7.3.30.E

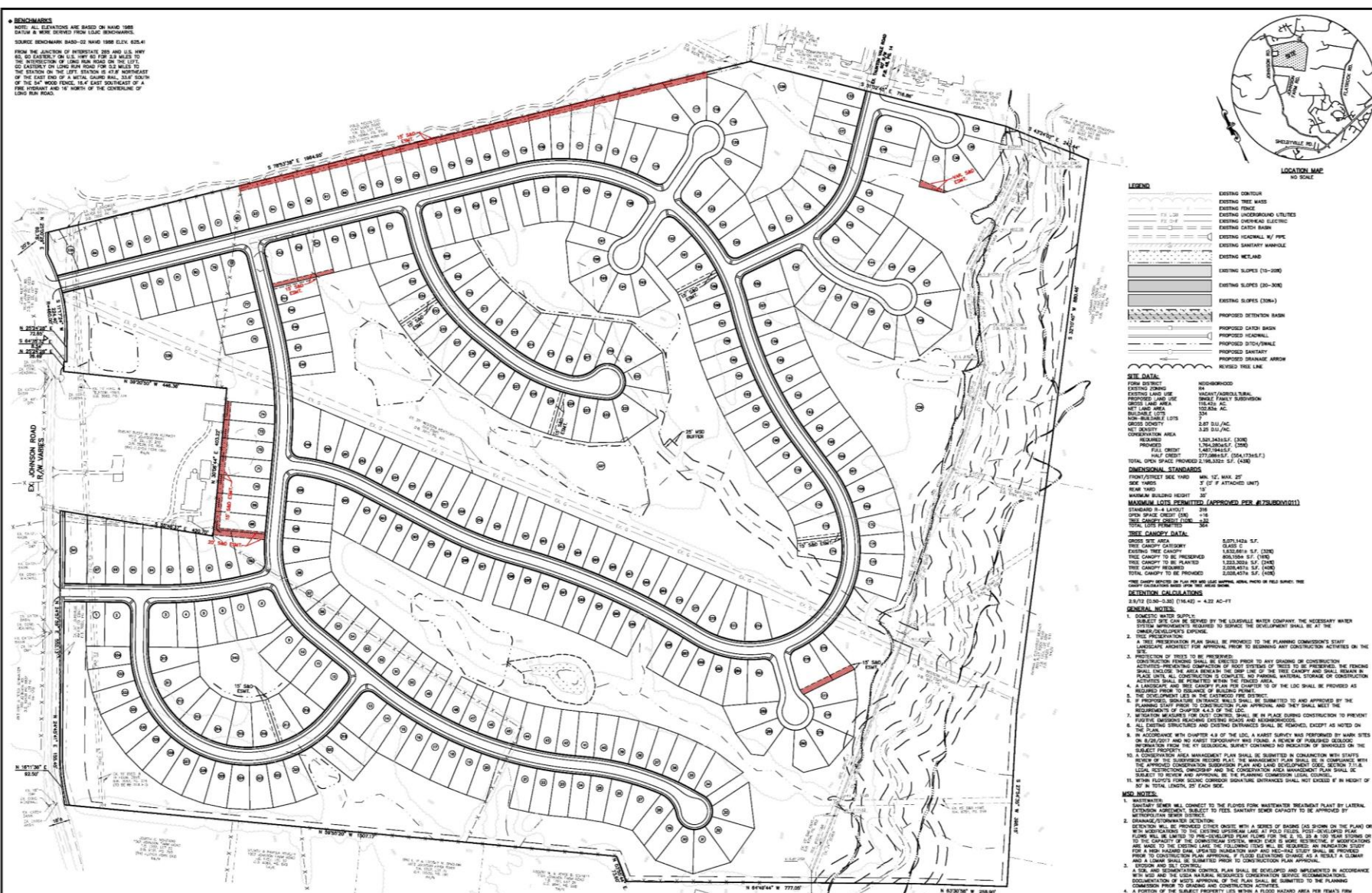
A waiver of 7.3.30.E of the LDC is requested to allow more than 15% of a required rear yard of a buildable lot to be occupied by a drainage easement.



• **BENCHMARKS**
 HWSL ALL ELEVATIONS ARE BASED ON NAD 1983 DATUM & WERE DERIVED FROM LOCAL BENCHMARKS.
 SOURCE BENCHMARK BA02-02 NAD 1983 ELEV. 625.41
 FROM THE JUNCTION OF INTERSECTION OF I-75 AND I-85 TO THE EAST END OF A METAL CANTON RAIL, 315' SOUTH OF THE 24" WOOD PILING, 16.4' EAST SOUTHWEST OF THE THROUGHLINE TO NORTH OF THE CENTERLINE OF LONG RUN ROAD.

PUBLIC WORKS AND ITC NOTES:

- NO LANDSCAPING AND COMMERCIAL SIGNS SHALL BE PERMITTED IN STATE AND METRO WORKS RIGHT-OF-WAY.
- RIGHT-OF-WAY ELEVATIONS FOR EXISTING OR PROPOSED PUBLIC WORKS SHALL BE DERIVED FROM THE CONSTRUCTION APPROVAL BY PUBLIC WORKS OR WITH ASSOCIATED RECORDS PLAT AS REQUIRED BY METRO PUBLIC WORKS.
- ALL SIGNAGE AND EXTERIOR INTERACTIONS SHALL MEET THE REQUIREMENTS FOR LANDSCAPE AREAS AS SET BY METRO.
- VOICE AREA WITH PUBLIC RIGHT-OF-WAY TO BE PROVIDED FOR METRO PUBLIC WORKS.
- STREET TREES SHALL BE PLANTED IN A MANNER THAT DOES NOT AFFECT PUBLIC SAFETY AND MAINTAINS PROPER SITE VISIBILITY.
- AN ENCROACHMENT PERMIT WILL BE REQUIRED BY METRO PUBLIC WORKS FOR ROADWAY REPAIRS ON ALL ENCROACHMENTS OVER PUBLIC WORKS.
- ALL STREET NAME SIGNS AND PARALLEL MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) REQUIREMENTS AND BE INSTALLED PRIOR TO CONSTRUCTION OF THE STREET OR BALDING ON THE STREET AND SHALL BE IN PLACE PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.
- THE MINIMUM CLEARANCE OF ALL STREETS SHALL BE THE CITY STANDARD AND A MINIMUM CLEARANCE OF TEN (10) PERCENT.
- ALL CURB AND GUTTER SHALL BE PROVIDED ALONG ALL STREETS IN THE DEVELOPMENT. SIGNALLERS SHALL BE PROVIDED ALONG ALL STREETS WHERE REQUIRED BY THE CITY STANDARD.
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LEGEND

[Symbol]	EXISTING CONTOUR
[Symbol]	EXISTING TREE MASS
[Symbol]	EXISTING FENCE
[Symbol]	EXISTING UNDERGROUND UTILITIES
[Symbol]	EXISTING OVERHEAD ELECTRIC
[Symbol]	EXISTING CATCH BASIN
[Symbol]	EXISTING HEADWALL W/ PIPE
[Symbol]	EXISTING SANITARY MANHOLE
[Symbol]	EXISTING WETLAND
[Symbol]	EXISTING SLOPES (10-20%)
[Symbol]	EXISTING SLOPES (20-30%)
[Symbol]	EXISTING SLOPES (30%-41%)
[Symbol]	PROPOSED DETENTION BASIN
[Symbol]	PROPOSED CATCH BASIN
[Symbol]	PROPOSED HEADWALL
[Symbol]	PROPOSED SANITARY MANHOLE
[Symbol]	PROPOSED SANITARY
[Symbol]	PROPOSED DRAINAGE APPROX
[Symbol]	PROPOSED TREE LINE

SITE DATA

EXISTING ZONING	RESUBURBAN
PROPOSED ZONING	RESUBURBAN
PROPOSED LAND USE	SINGLE FAMILY SUBDIVISION
TOTAL LAND AREA	102.834 AC.
NET LAND AREA	2.87 D.U./AC.
GROSS DENSITY	2.87 D.U./AC.
NET DENSITY	2.87 D.U./AC.
CONSERVATION AREA	1.521,341,511 (2.0%)
PROPOSED	1,481,044,511 (2.0%)
FEES (DRAFT)	1,481,044,511 (2.0%)
TOTAL OPEN SPACE PROVIDED	2,161,322 S.F. (3.8%)

DIMENSIONAL STANDARDS

FRONT STREET SETBACK	MIN. 12' MAX. 25'
SIDE YARDS	3' (IF ATTACHED UNIT)
REAR YARDS	15'
MAXIMUM BUILDING HEIGHT	35'
MAXIMUM LOTS PERMITTED (APPROVED PER #17SUBD01V011)	STANDARD 2-4 LOTS/LOT 3/8
OPEN SPACE CREDIT	3/8
MIN. LOT WIDTH	100'
MIN. LOT DEPTH	100'

TREE CANOPY DATA

EXISTING TREE CANOPY	1,822,816 S.F. (2.0%)
TREE CANOPY TO BE PRESERVED	804,104 S.F. (0.8%)
TREE CANOPY TO BE PLANTED	1,018,712 S.F. (1.0%)
TREE CANOPY TO BE PROVIDED	2,208,474 S.F. (2.2%)
TOTAL CANOPY TO BE PROVIDED	3,227,186 S.F. (3.2%)

GENERAL NOTES:

- ALL SANITARY SEWER SHALL BE INSTALLED TO THE FLOOD HAZARD AREA PER FEMA'S FIRM.
- ALL SANITARY SEWER SHALL BE INSTALLED TO THE FLOOD HAZARD AREA PER FEMA'S FIRM.
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WATER REQUEST:

A NUMBER OF 1.5 GPM OF THE USE IS REQUESTED TO BE PROVIDED FROM THE USE OF ASSOCIATED REAR YARD OF GARAGEHOUSE LOT TO BE OCCUPIED BY A DRIVEWAY.

A NUMBER OF 1.5 GPM OF THE USE IS REQUESTED TO BE PROVIDED FROM THE USE OF ASSOCIATED REAR YARD OF GARAGEHOUSE LOT TO BE OCCUPIED BY A DRIVEWAY.

MINDEL SCOTT
 REGISTERED PROFESSIONAL ARCHITECT & LANDSCAPE ARCHITECT
 100 WEST 10TH & HARRISON AVENUE

OWNER/DEVELOPER
 CLAYTON PROPERTIES GROUP, INC.
 DBA ARBOR HOMES
 9275 HARRISON PARK COURT
 INDIANAPOLIS, IN. 46216

REVISED CONSERVATION SUBDIVISION PLAN
THE OVERLOOK AT EASTWOOD
 FKA JOHNSON ROAD CONSERVATION SUBDIVISION

1313 JOHNSON ROAD
 1313 BLOCK 25, LOT 341
 DEED BOOK 11587, PAGE 877

Vertical Scale: 1"=100'

Horizontal Scale: N/A

Date: 5/9/20

Job Number: 3419

Sheet: 1

of 1

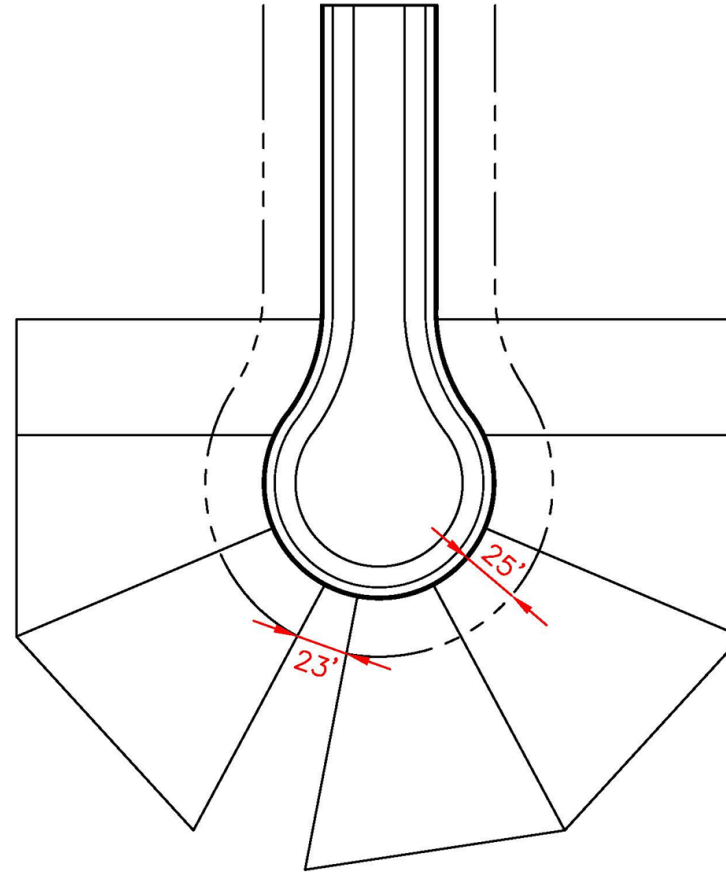
CASE #20-RSUB-0004
 RELATED CASE #17SUBD01V011
 WM #1655

GRAPHIC SCALE 1"=100'

PROFESSIONAL SEAL

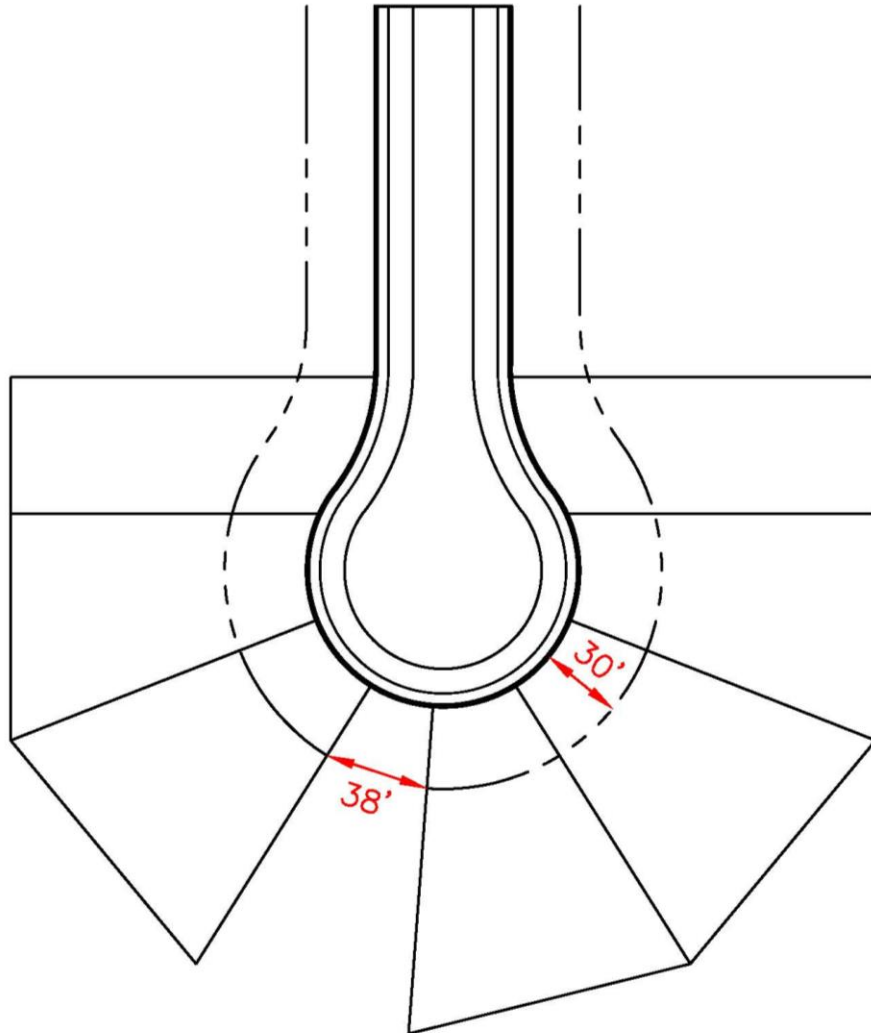
Variance Request: Table 7.11.10.C

A variance of Table 7.11.10.C of the LDC is requested to allow for an increased maximum front yard setback of 30' within the proposed cul-de-sacs.



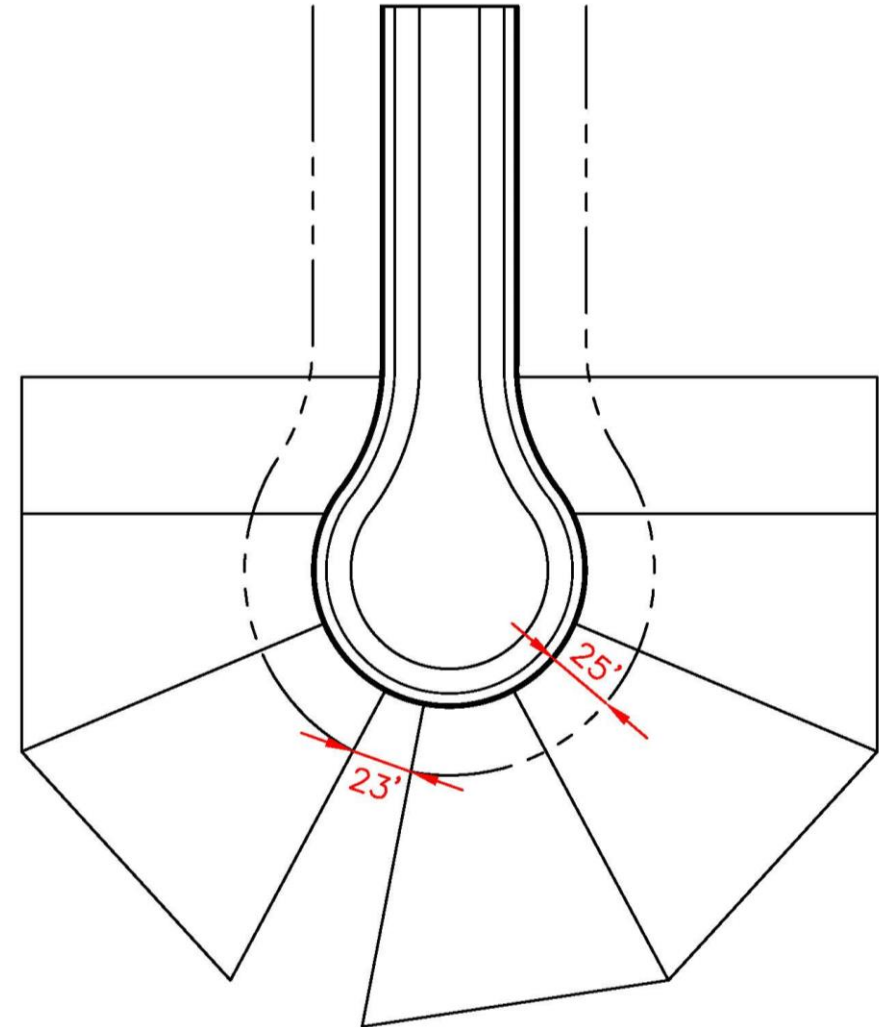
25' BUILDING LIMIT (PER 7.11.10.C)

NO SCALE



30' BUILDING LIMIT (PROPOSED)

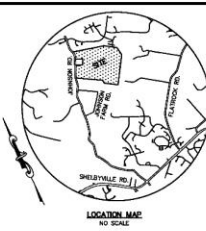
NO SCALE



25' BUILDING LIMIT (PER 7.11.10.C)

NO SCALE

BENCHMARKS
 ALL ELEVATIONS ARE BASED ON NAD 1983 DATUM & WERE DERIVED FROM LOGIC BENCHMARKS.
 SOURCE BENCHMARK: BARD-02 NAD 1983 ELEV. 625.41
 FROM THE INTERSECTION OF INTERSTATE 75 AND U.S. HWY 65, 50 EASTERLY ON U.S. HWY 65 FOR 2.9 MILES TO THE INTERSECTION OF LONG RUN ROAD ON THE LEFT. GO EASTERLY ON LONG RUN ROAD FOR 0.3 MILES TO THE SECTION ON THE LEFT THAT IS 674' NORTHEAST OF THE JUNCTION OF LONG RUN ROAD. FROM THE CORNER OF THE 54' WOOD FENCE, 18.4 EAST SOUTHEAST OF A LONG RUN ROAD.



LEGEND

[Symbol]	EXISTING CONTOUR
[Symbol]	EXISTING TREE MASS
[Symbol]	EXISTING TRAIL
[Symbol]	EXISTING UNDERGROUND UTILITIES
[Symbol]	EXISTING OVERHEAD ELECTRIC
[Symbol]	EXISTING DITCH BASH
[Symbol]	EXISTING HEADWALL W/ PVE
[Symbol]	EXISTING SANITARY MANHOLE
[Symbol]	EXISTING WETLAND
[Symbol]	EXISTING SLOPES (15-30%)
[Symbol]	EXISTING SLOPES (30-30%)
[Symbol]	EXISTING SLOPES (30%+)
[Symbol]	PROPOSED DETENTION BASIN
[Symbol]	PROPOSED CATCH BASIN
[Symbol]	PROPOSED HEADWALL
[Symbol]	PROPOSED DETOUR/AVENUE
[Symbol]	PROPOSED SANITARY
[Symbol]	PROPOSED DRAINAGE ARROW
[Symbol]	REVISED TREE LINE

SITE DATA

PARCEL NUMBER	0800000000
EXISTING ZONING	RS
EXISTING LAND USE	MICANT/AGRICULTURAL
PROPOSED LAND USE	SINGLE FAMILY RESIDENTIAL
OFFICE LAND AREA	114,522 AC
LAND AREA	102,826 AC
BUILDABLE LOTS	334
NET DENSITY	2.87 D.U./AC
GROSS DENSITY	3.28 D.U./AC
CONSERVATION AREA	1,523,343 S.F. (3.3%)
REQUIRED	1,497,945 S.F.
FULL CREDIT	371,000 S.F. (0.81%)
MAINTENANCE	1,126,945 S.F. (2.4%)
TOTAL OPEN SPACE PROVIDED	2,198,323 S.F. (4.8%)

DEVELOPMENT STANDARDS

FRONT YARD SETBACK	MIN. 12', MAX. 20'
REAR YARD	3' (7' IF ATTACHED UNIT)
MAXIMUM BUILDING HEIGHT	30'
MAXIMUM LOT COVER	35%
STANDARD #4 LAYOUT	216
OPEN SPACE COVER	114
MIN. TREE CANOPY COVER	3%

TREE CANOPY DATA

EXISTING TREE CANOPY	8,071,424 S.F.
EXISTING TREE CANOPY CLASS C	1,833,814 S.F. (23%)
TREE CANOPY TO BE PRESERVED	801,558 S.F. (10%)
TREE CANOPY TO BE PLANTED	2,232,263 S.F. (28%)
TREE CANOPY TO BE PROVIDED	2,038,451 S.F. (25%)
TOTAL CANOPY TO BE PROVIDED	4,270,714 S.F. (53%)

DETENTION CALCULATIONS

2 LOTS (150'-300' FINISHED) = 4.32 AC-FT
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GENERAL NOTES

1. LANDSCAPE WITH QUALITY...
2. TREE PRESERVATION...
3. PROTECTION OF TREES TO BE PRESERVED...
4. A LANDSCAPE AND TREE CANOPY PLAN...
5. THE DEVELOPMENT LIES IN THE EASTWOOD FIRE DISTRICT...
6. THE DEVELOPMENT LIES IN THE EASTWOOD FIRE DISTRICT...
7. THE DEVELOPMENT LIES IN THE EASTWOOD FIRE DISTRICT...
8. THE DEVELOPMENT LIES IN THE EASTWOOD FIRE DISTRICT...
9. THE DEVELOPMENT LIES IN THE EASTWOOD FIRE DISTRICT...
10. A CONSERVATION AREA MANAGEMENT PLAN...
11. WITHIN FLOODPLAINS...

MSD NOTES

1. SANITARY SEWER WILL CONNECT TO THE FLOODS FLOW WASTEWATER TREATMENT PLANT BY LATERAL EXTENSION SUBJECT TO THE SANITARY SEWER CHARTER TO BE APPROVED BY THE METROPOLITAN SEWER DISTRICT.
2. DRAINAGE CONTINGENCY DETENTION...
3. DRAINAGE CONTINGENCY DETENTION...
4. A GEOTECHNICAL EVALUATION SHALL BE PERFORMED BY A GEOTECHNICAL ENGINEER PRIOR TO THE CONSTRUCTION OF THE DETENTION BASIN...
5. A GEOTECHNICAL EVALUATION SHALL BE PERFORMED BY A GEOTECHNICAL ENGINEER PRIOR TO THE CONSTRUCTION OF THE DETENTION BASIN...
6. DRAINAGE CONTINGENCY DETENTION...
7. DRAINAGE CONTINGENCY DETENTION...
8. DRAINAGE CONTINGENCY DETENTION...
9. DRAINAGE CONTINGENCY DETENTION...
10. DRAINAGE CONTINGENCY DETENTION...
11. DRAINAGE CONTINGENCY DETENTION...

- PUBLIC WORKS AND ITC NOTES:**
1. NO LANDSCAPING AND COMMERCIAL SIGNAGE SHALL BE PERMITTED IN STATE AND METRO WORKS RIGHT-OF-WAY.
 2. RIGHT-OF-WAY DEMONSTRATION BY DEED OR INSTRUMENT MUST BE RECORDED PRIOR TO SITE CONSTRUCTION APPROVAL BY PUBLIC WORKS AND WITH ASSOCIATED RECORD PLAT AS REQUIRED BY METRO PUBLIC WORKS.
 3. ALL SIGNAGE AND EXTERIOR ILLUMINATION SHALL MEET THE REQUIREMENTS FOR LIGHTING AREAS AS SET BY METRO.
 4. IRRIGATION SYSTEMS (INCLUDING SPRINKLER) SHALL BE INSTALLED IN A COMMON FRENCH UNLESS OTHERWISE REQUIRED BY APPROVED AGENCIES.
 5. STREET LIGHTS SHALL BE PLACED IN A MANNER THAT DOES NOT AFFECT PUBLIC SAFETY AND MAINTAIN PROPER TREE CANOPY.
 6. AN ELECTRICAL PLAN AND SIGNAGE SHALL BE REQUIRED BY METRO PUBLIC WORKS FOR READY REPAIRS ON ALL UNDERGROUND ACCESS ROADS TO THE SITE OR TO CHANGES IN CONSTRUCTION TRAFFIC ACTIVITIES.
 7. ALL STREET NAME SIGNS AND PARALLEL MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND REQUIREMENTS AND BE INSTALLED PRIOR TO CONSTRUCTION OF THE FIRST RESIDENCE OR BUILDING ON THE SITE.
 8. THE FINISH GRADE OF ALL STREETS SHALL BE ONE (1%) PERCENT AND A MAXIMUM GRADE OF TEN (10%) PERCENT.
 9. THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE SIGNAGE AND PERMITS FOR EXTERIOR LIGHTING.
 10. ALL 24" OR LARGER AND SHARED PAVEMENT WITHIN PALS, SPACELANDS LOCATED AND DISTRICTS SHALL BE IN ACCORDANCE WITH METRO PUBLIC WORKS STANDARDS AND APPROVED AT THE TIME OF CONSTRUCTION.
 11. ALL SIDEWALKS AND BIKEWAYS SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
 12. ALL SIDEWALKS AND BIKEWAYS SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
 13. ALL SIDEWALKS AND BIKEWAYS SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
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 19. ALL SIDEWALKS AND BIKEWAYS SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
 20. ALL SIDEWALKS AND BIKEWAYS SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.

CASE #20-RSUB-0004
 RELATED CASE #17SUBDIV011
 WM #11655



OWNER/DEVELOPER
 CLAYTON PROPERTIES GROUP, INC.
 DBA ARBOR HOMES
 8325 HARRISON PARK COURT
 INDIANAPOLIS, IN 46216

REVISED CONSERVATION SUBDIVISION PLAN
THE OVERLOOK AT EASTWOOD
F&A JOHNSON ROAD CONSERVATION SUBDIVISION
 LOUISVILLE, KY 40220
 DEED BOOK T-1587, PAGE B77

Vertical Scale: 1"=100'
 Horizontal Scale: N/A
 Date: 6/7/20
 Job Number: 3419
 Sheet: 1

MINDEL SCOTT
 ENGINEERS ARCHITECTS
 3535 UNIVERSITY DRIVE, SUITE 100
 INDIANAPOLIS, IN 46216

The Overlook At Eastwood

Revised Conservation Subdivision Plan With A Waiver and Variance

Planning Commission Hearing

20-RSUB-0004, 20-VARIANCE-0099 & 20-WAIVER-0071 (Related Case #17SUBDIV1011)

August 20, 2020

Case Manager: Jay Lockett

Plan Prepared By: Mindel Scott