

18VARIANCE1039

Caledonia Avenue Residence



Louisville Metro Board of Zoning Adjustment
Public Hearing

Dante St. Germain, Planner II
October 1, 2018

Requests

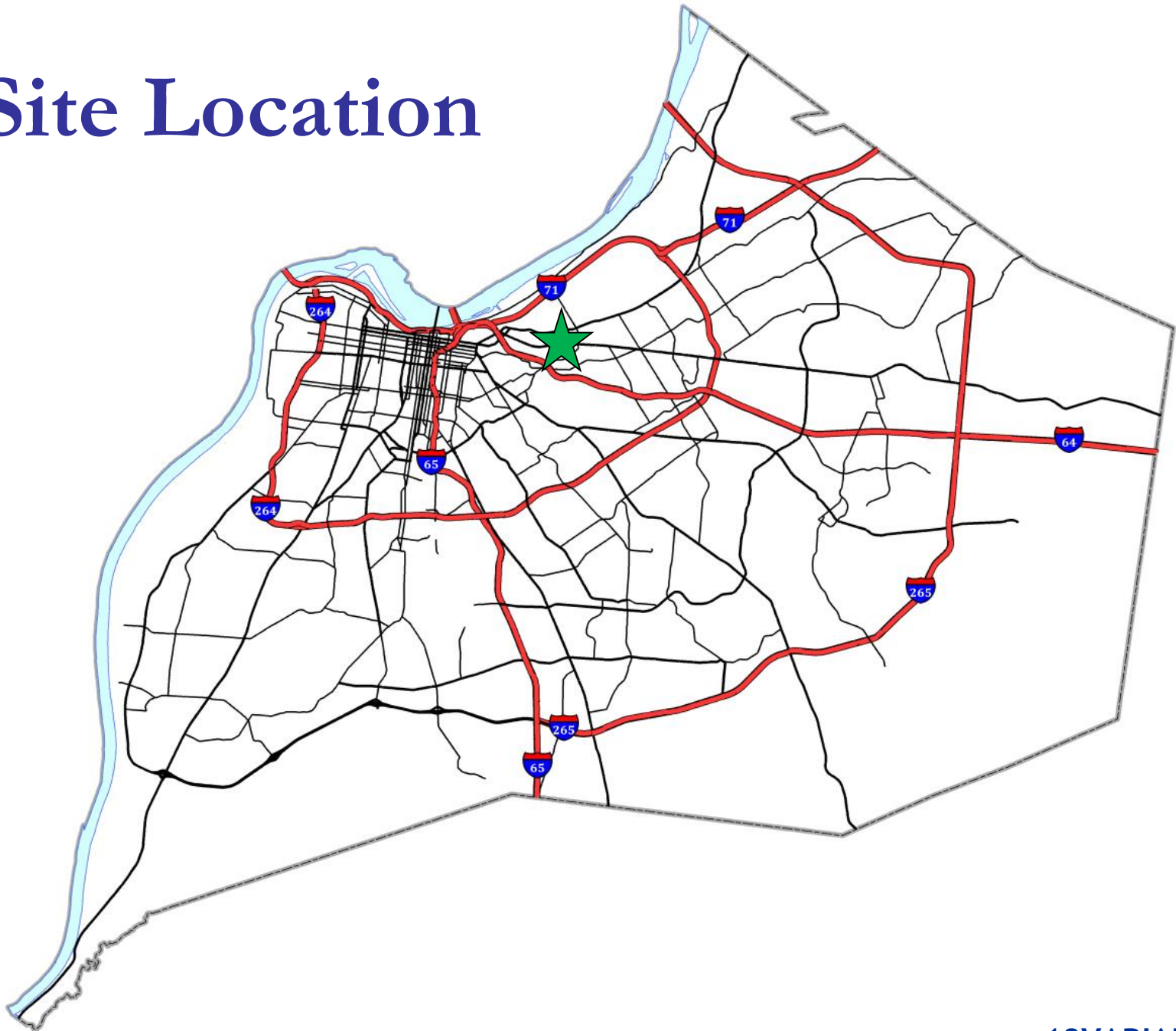
- **Variance**: from Land Development Code section 5.1.12.A.2.a to allow a structure to exceed the maximum allowed infill front yard setback.
- **Waiver**: from Land Development Code section 5.4.1.C.3 to allow a front-loaded garage to not be set back 4 feet from the front façade of the house in the Traditional Neighborhood form.

Location	Requirement	Request	Variance
Front Yard Setback	20.2 ft.	67.5 ft.	47.3 ft.

Case Summary / Background

- The subject property is located in the Crescent Hill neighborhood.
- The property is currently undeveloped. The applicant proposes to construct a new single-family residence which is to be set farther back than the maximum allowed by infill regulations.
- The applicant also proposes to construct a front-loaded garage which is flush with the front of the house, requiring a waiver.

Site Location



Zoning/Form Districts

Subject Property:

- Existing: R-5/Traditional Neighborhood

Adjacent Properties:

- North: R-5/Traditional Neighborhood
- South: R-5A/Traditional Neighborhood
- East: R-5/Traditional Neighborhood
- West: R-5/Traditional Neighborhood



4 Caledonia Avenue
feet

90

Map Created: 9/20/2018



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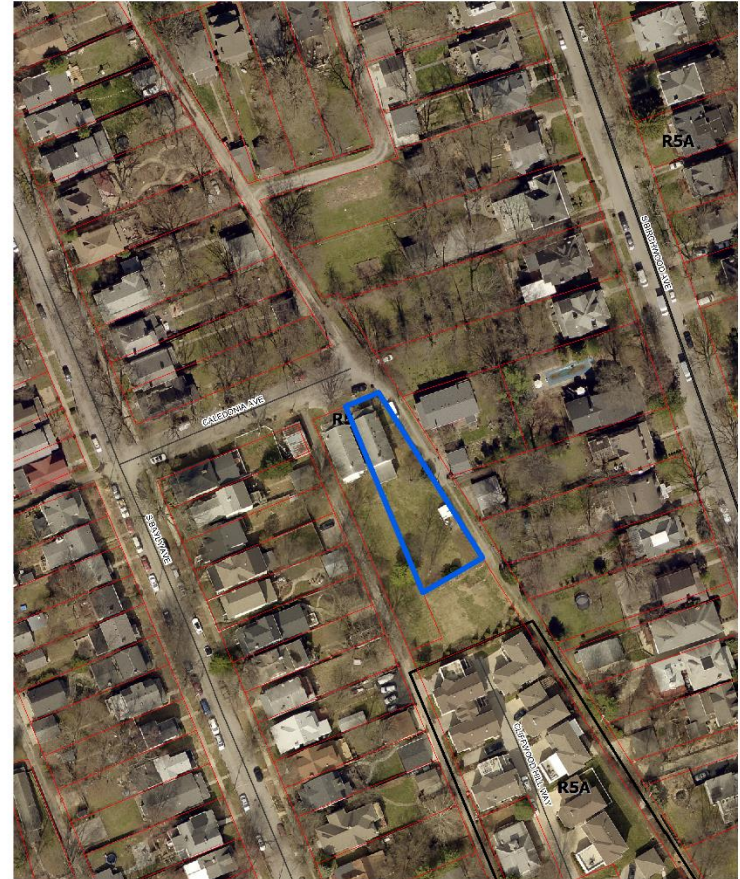
Aerial Photo/Land Use

Subject Property:

- Existing: Undeveloped
- Proposed: Single Family Residential

Adjacent Properties:

- North: Single Family Residential
- South: Multi Family Residential
- East: Single Family Residential
- West: Single Family Residential



4 Caledonia Avenue
feet

90

Map Created: 9/20/2018

 LOJIC

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COUNTY METROPOLITAN GOVERNMENT DISTRICT (MSD),
BUREAU OF PLANNING AND COMMUNITY DEVELOPMENT
LOUISVILLE METRO GOVERNMENT AND
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Site Photos-Subject Property



The front of the subject property.

Site Photos-Subject Property



The property across Caledonia Avenue.

Site Photos-Subject Property



Looking down Caledonia Avenue toward the structures setting the infill setback range.

Site Plan

1. THESE DRAWINGS WERE PREPARED FOR THE RESIDENCE AT 4 CALEDONIA AVE., LOUISVILLE, KY. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE UNAUTHORIZED USE OF THESE DRAWINGS AND SPECIFICATIONS.

2. ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL CITY CODES, JEFFERSON COUNTY CODES, KENTUCKY STATE CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY GOVERNING AUTHORITIES. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.

3. ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE. EXTERIOR DIMENSIONS ARE TO OUTSIDE OF SHEATHING. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS BETWEEN ARCHITECTURAL DRAWINGS PRIOR TO SUBSEQUENT WORK. ADDITIONALLY, NOTIFY ARCHITECT OF DISCREPANCIES OR CONFLICTS BETWEEN ARCHITECTURAL DRAWINGS AND SITE CONDITIONS OR CONSULTANTS' DRAWINGS AND SPECIFICATIONS PRIOR TO SUBSEQUENT WORK.

5. ARCHITECT IS NOT RESPONSIBLE FOR STRUCTURAL LOAD CALCULATIONS OR OTHER STRUCTURAL DESIGN CONSIDERATIONS.

6. CONTRACTOR MUST FOLLOW MANUFACTURER'S GUIDELINES FOR USE AND INSTALLATION INSTRUCTIONS FOR ALL EQUIPMENT AND PRODUCTS IN USE FOR THE PROJECT.

ADDRESS: 4 CALEDONIA AVE.
LOUISVILLE, KY 40206

OWNER: TM FAVERSHAM
970-708-0883
deepcreekbuilders@gmail.com

PROJECT DESCRIPTION: NEW TWO STORY RESIDENCE 2964 S.F.
BASEMENT 1190 S.F.



A0.1 COVER SHEET / SITE PLAN

A1.1 FOUNDATION PLAN

A1.2 FIRST FLOOR PLAN

A1.3 SECOND FLOOR PLAN

A2.1 EXTERIOR ELEVATIONS

A2.2 EXTERIOR ELEVATIONS

A2.3 EXTERIOR ELEVATIONS

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AUG 20 2018
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GENERAL NOTES

PROJECT INFORMATION

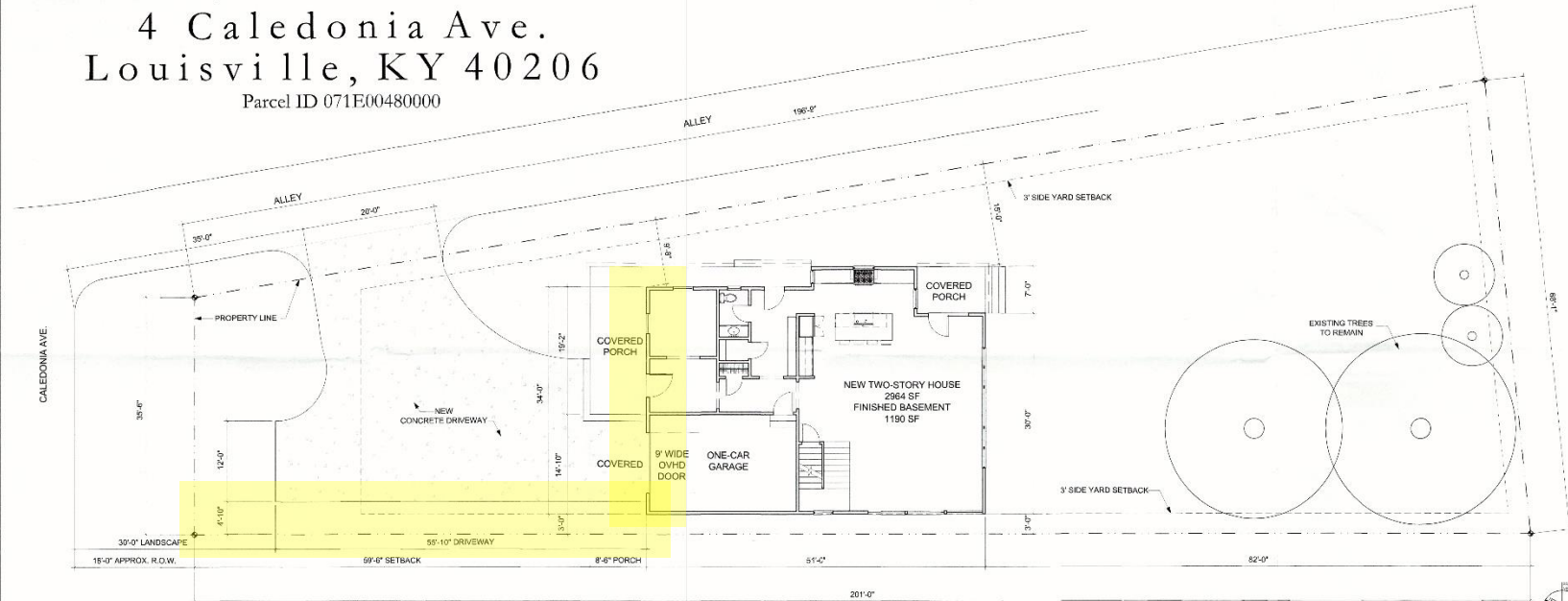
VICINITY MAP

NOT TO SCALE

INDEX OF DRAWINGS

- NEW RESIDENCE -
4 Caledonia Ave.
Louisville, KY 40206

Parcel ID 071E00480000



4 Caledonia Ave.
- New Residence -
Louisville, Kentucky 40206

DRAWING
Cover Sheet / Site Plan

ISSUE DATE
VARIANCE 4/10/18
REVISED 5/28/18
REVISED 7/18/18

SCALE: AS NOTED

A0.1

1 SITE PLAN

SCALE: 1/8" = 1'-0"

18 VARIANCE 1039

Elevations

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APR 13 2018
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rock
paper
hammer

ARCHITECTURE + CONSTRUCTION
38 Bedford Avenue, Louisville, KY 40202
Emily Feltz Paprocki, AIA
502.333.6006
info@rockpaperhammer.com

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PROJECT

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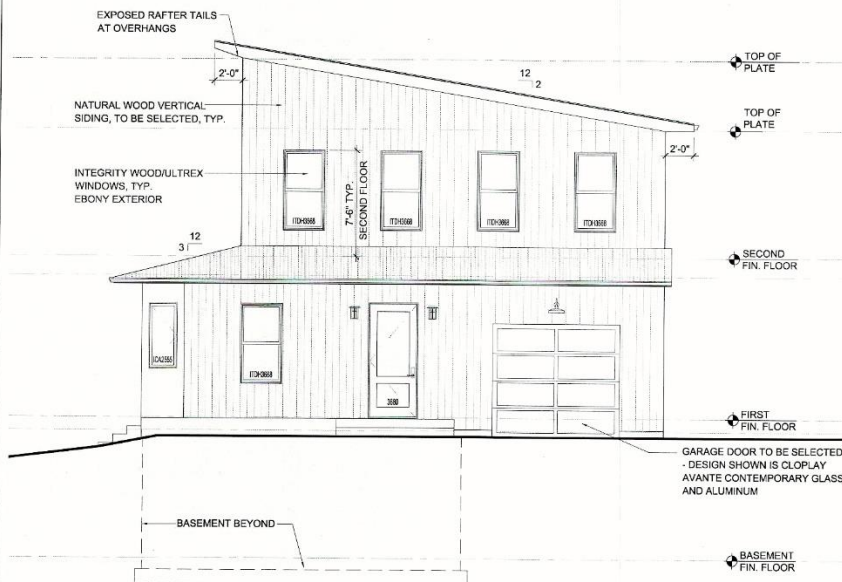
DRAWING

Exterior Elevations

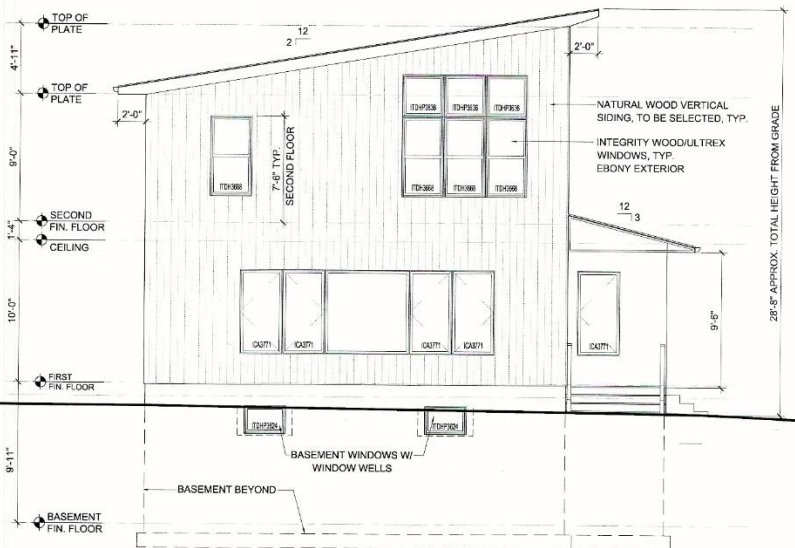
ISSUE DATE
VARIANCE 4/10/18

SCALE AS NOTED

A2.1



1 PROPOSED WEST (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED EAST (REAR) ELEVATION
SCALE: 1/4" = 1'-0"

18 VARIANCE 1039

Elevations



1 PROPOSED NORTH (SIDE) ELEVATION
SCALE: 1/4" = 1'-0"

rock
paper
hammer

ARCHITECTURE + CONSTRUCTION
133 Froedberg Avenue - Louisville, KY 40216

Emily Fisher Paprocid, AIA
502-733-8084
emily@ccpaprocid.com

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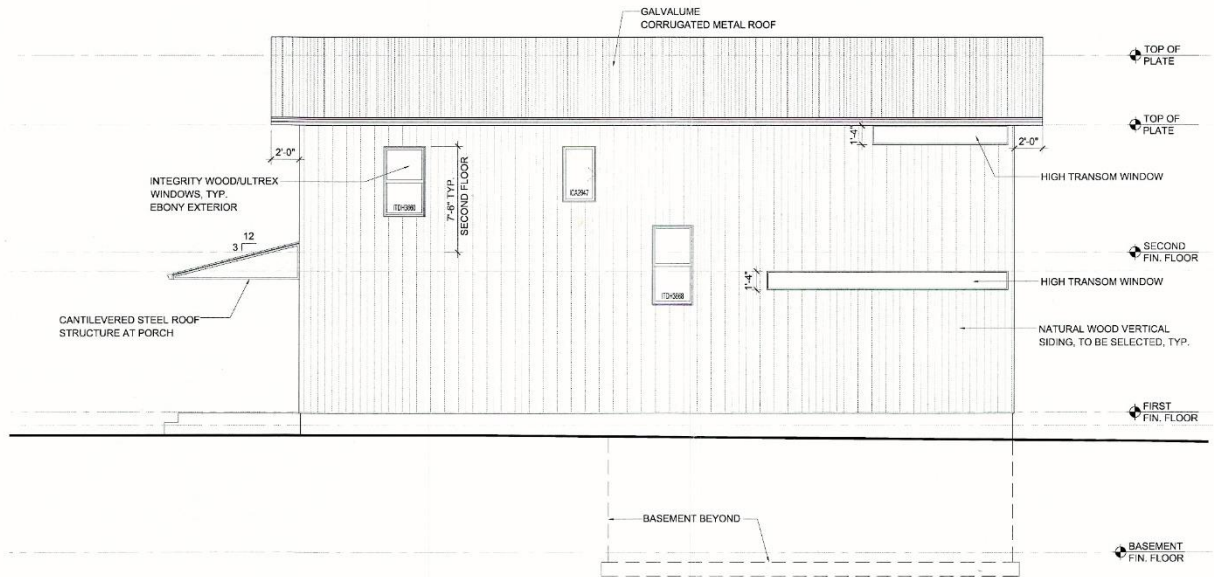
Exterior Elevations

ISSUE	DATE
VARIANCE	4/10/18

SCALE: AS NOTED*

18 VARIANCE 1039 A2.2

Elevations



1 PROPOSED SOUTH (SIDE) ELEVATION
SCALE: 1/4" = 1'-0" 0 2 4'

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ARCHITECTURE + CONSTRUCTION
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- New Residence -
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DRAWING

Exterior Elevations

ISSUE DATE
VARIANCE 4/10/18

SCALE: AS NOTED

18 VARIANCE 1039 A2.3

Conclusions

- The variance request appears to be adequately justified and meets the standard of review.
- The waiver request appears to be adequately justified and meets the standard of review.

Required Actions

- **Variance:** from Land Development Code section 5.1.12.A.2.a to allow a structure to exceed the maximum infill front yard setback. Approve/Deny
- **Waiver:** from Land Development Code section 5.4.1.C.3 to allow an attached front-loaded garage to not be set back 4 feet from the front façade of the house. Approve/Deny

Location	Requirement	Request	Variance
Front Yard Setback	20.2 ft.	67.5 ft.	47.3 ft.