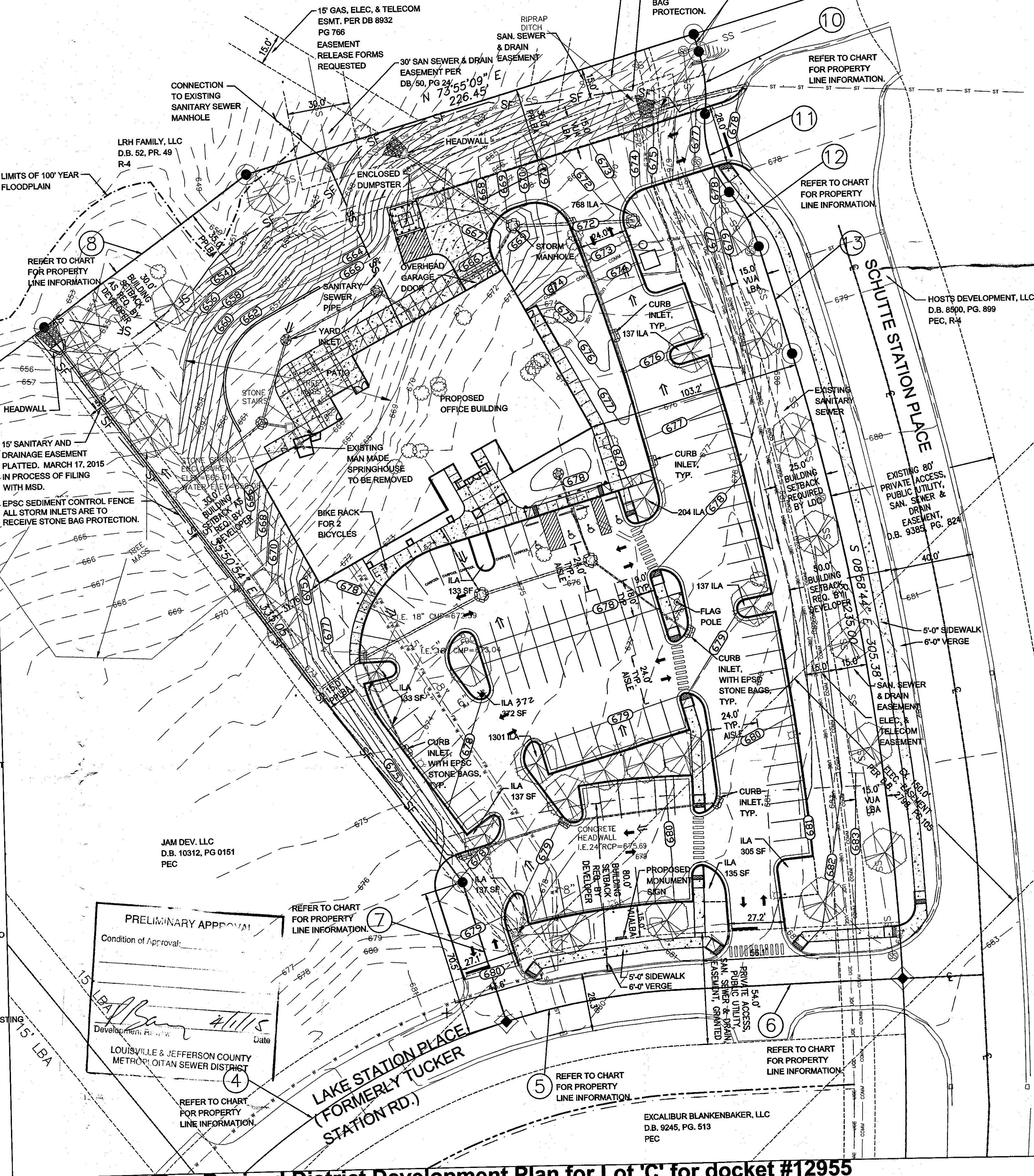


BICYCLE PARKING CALCULATIONS:

PROVIDE TWO SHORT TERM BICYCLE PARKING SPACES AND TWO LONG TERM BICYCLE PARKING SPACES, OR 1 SPACE FOR EACH TYPE/ 50,000SF OF GROSS FLOOR AREA, WHICHEVER IS GREATER.

SHORT TERM BICYCLE PARKING SPACES REQUIRED= 2
SHORT TERM BICYCLE PARKING SPACES PROVIDED= 2
BIKE RACK LOCATED UNDER FRONT ENTRANCE CANOPY.

LONG TERM BICYCLE PARKING SPACES REQUIRED= 2
LONG TERM BICYCLE PARKING SPACES PROVIDED= 2
LOCATED INTERIOR TO BUILDING



CONTROL NOTES:
PSC PLAN SHALL BE CONSTRUCTION SITE. ANY AND APPROVED BY MSD'S STALLED PER THE PLAN AND SHALL PERFORM AS NG DRAINAGE AREAS ARE SOIL FROM THE ONTO THE ROADWAY SHALL OS, SWALES, AND CATCH ELY CONTAINED THROUGHOUT RUCTURES PER MSD HAS TEMPORARILY CEASED SS SHALL BE REQUIRED AS AFTER THE ACTIVITY HAS HING, BORING OR OTHER NG DEVICE PRIOR TO BEING TRO PUBLIC WORKS PRIOR TO FOR ANY ALLEY DAMAGES

PRELIMINARY APPROVAL
Condition of Approval:
Development, R-4
Date: 4/11/15
LOUISVILLE & JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT

Revised District Development Plan for Lot 'C' for docket #12955
14 DEVPLAN 1077

SITE DATA:

DEVELOPER: DONAN SURVEYOR, LLC
11321 PLANTSIDE DR.
LOUISVILLE, KY 40299

OWNER: DONAN SURVEYOR, LLC
11321 PLANTSIDE DR.
LOUISVILLE, KY 40299

SITE ADDRESS: 12450 LAKE STATION PLACE
LOUISVILLE, KY 40299
(FORMERLY 1529 TUCKER STATION RD.)

D.B., PG.: 52-049

PARCEL ID: 003911250000
TAX BLOCK: 039
LOT NO. 1125

GROSS ACREAGE: 2.7 AC.
NET ACREAGE: 2.7 AC.

EXISTING ZONING: PEC
PROPOSED ZONING: PEC
ADJACENT ZONING: PEC, R4

FORM DISTRICT: SUBURBAN WORKPLACE

EXISTING USE: VACANT
PROPOSED USE: OFFICE

PROPOSED GROSS BUILDING FOOTPRINT AREA: 11,300 SF
PROPOSED GROSS BUILDING FLOOR AREA: 36,062 SF (3221 SF OF WHICH UNFINISHED BASEMENT STORAGE)

PROPOSED BUILDING HEIGHT: 25'

REQUIRED SETBACK: 25'

COUNCIL DISTRICT: 20
FIRE DISTRICT: JEFFERSONTOWN

PARKING CALCULATIONS: MINIMUM REQUIREMENT: 1 SPACE/ 350 SF.
BUILDING SF = 36,062 SF
MAXIMUM REQUIREMENT: 1 SPACE/ 200 SF.
- 3221 SF UNFINISHED BASEMENT STORAGE
GARAGE = 32,841 SF TOWARDS PARKING CALCULATIONS
32,841 SF / 350 = 94 SPACES MIN.
32,841 SF / 200 = 164 SPACES MAX.
TOTAL SPACES PROVIDED = 94 SPACES
CARPOOL SPACES PROVIDED = 5 SPACES

PREVIOUSLY APPROVED WAIVERS AND RELATED

LANDSCAPE WAIVER CASE # 11215
LANDSCAPE WAIVER GRANTED ON NOV. 19, 2008, OF LDC SECTION 10.2.4 TO ALLOW EASEMENT TO OVERLAP A LANDSCAPE BUFFER AREA BY MORE THAN 50%.

DDP DOCKET #12955- APPROVED ON SEPT. 16, 2009 FOR BLANKENBAKER STATION

TREE CANOPY REQ :

TOTAL AREA= 2.7 AC
117,599 SF

OFFICE LAND USE IN A SUBURBAN WORKPLACE FORM DISTRICT = CLASS C.

EXISTING TREE CANOPY COVERAGE= 38%
BASED ON SURVEY TREE MASSING OUTLINE AND AERIAL ANALYSIS.

EXISTING TREE CANOPY TO REMAIN COUNTING TOWARDS REQUIREMENTS= 0

TOTAL REQUIRED TREE CANOPY = 20% = 23,520 SF
TOTAL TREE CANOPY PROVIDED= 33 'TYPE A' TREES
33 'TYPE A' TREES AT 720 SF 23,760 SF

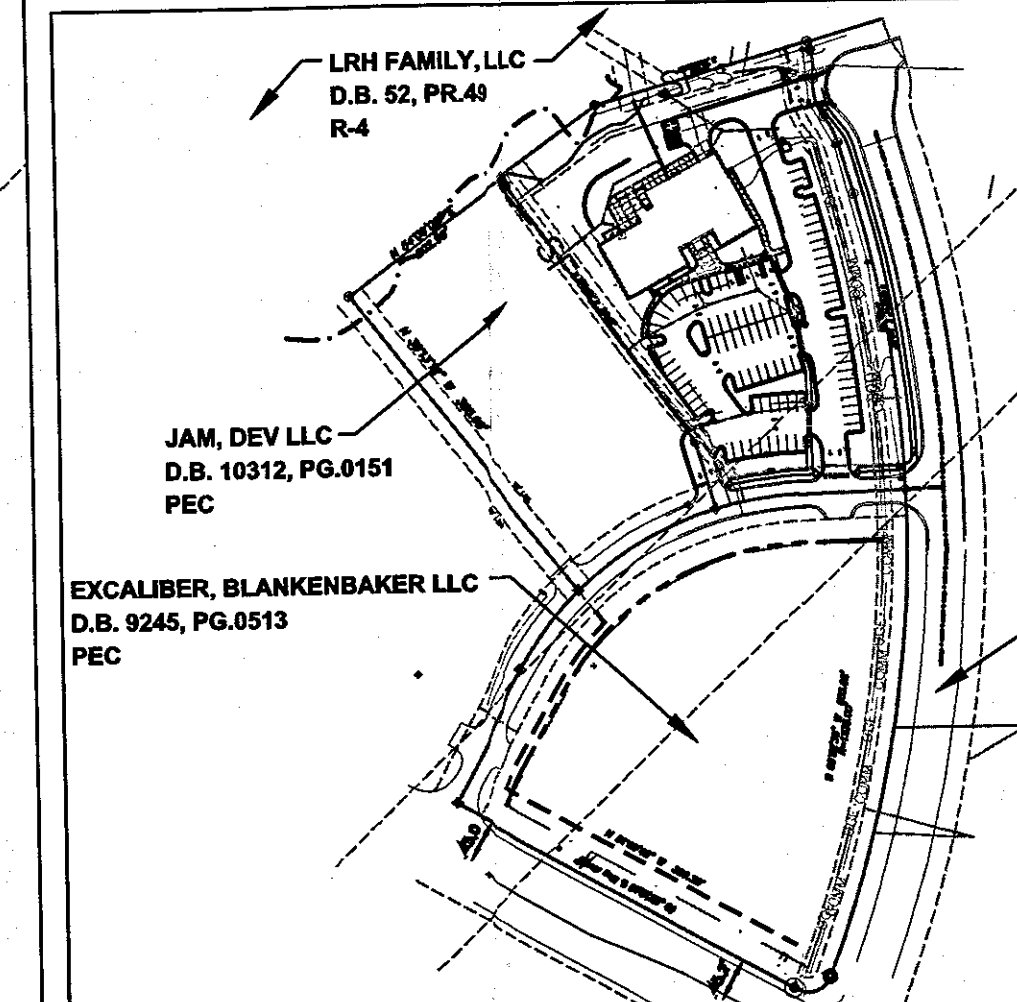
ILA/ VUA CALCULATIONS :

TOTAL VUA AREA= 43,216 SF
REQUIRED ILA AREA = 7.5% = 3241 SF
ILA AREA PROVIDED = 3899 SF

REQUIRED ILA TREES = 1 MED. OR LG. TREE / 4000 SF
43,216 / 4000 = 11 TREES
ILA TREES PROVIDED = 11 TREES

VUA ADJACENT TO ROADWAY TO HAVE 1 'TYPE A' TREE / 50 LINEAR FEET, AND 3'-0" CONTINUOUS SCREEN AT LOCATIONS UNLESS 50' FEET FROM A ROADWAY.

VUA ADJACENT TO R-4 ZONE TO HAVE 3' CONTINUOUS SCREEN PROPERTY PERIMETER BUFFER TO HAVE 1 TREE/ 75'. PER 10.2.4.B.



ADJACENT PROPERTY
GRAPHIC SCALE SUPERCEDES NUMERIC SCALE
0 100' 200' 400'
SCALE: 1" = 200'