

SURVEY NOTES:

1. TOPOGRAPHIC SURVEY COMPLETED IN MARCH 2015 BY INFRASTRUCTURE AND DEVELOPMENT ENGINEERING, INC.
2. HORIZONTAL DATUM IS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83) PROJECTION KY NORTH (1681).
3. VERTICAL DATUM IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
4. ADDITIONAL SITE DATA, INCLUDING PROPERTY LINES, EXISTING BUILDINGS & PAVEMENTS AND FLOODPLAIN LIMITS ACQUIRED FROM THE LOUISVILLE/JEFFERSON COUNTY INFORMATION CONSORTIUM (LOJIC) OBTAINED ON FEBRUARY 4 2022.

TRANSPORTATION:

EXISTING RIGHT OF WAY VARIES FROM 40 FEET TO 28 FEET. DOW WILL WORK WITH MCDP TO INCREASE THE RIGHT OF WAY TO APPROXIMATELY 40 FEET EXCEPT WHERE THE EXISTING FENCE AND PARKING LOT WILL BE IN THE RIGHT OF WAY. RIGHT OF WAY DEDICATION REQUIRED PRIOR TO CONSTRUCTION APPROVAL BY TRANSPORTATION PLANNING.

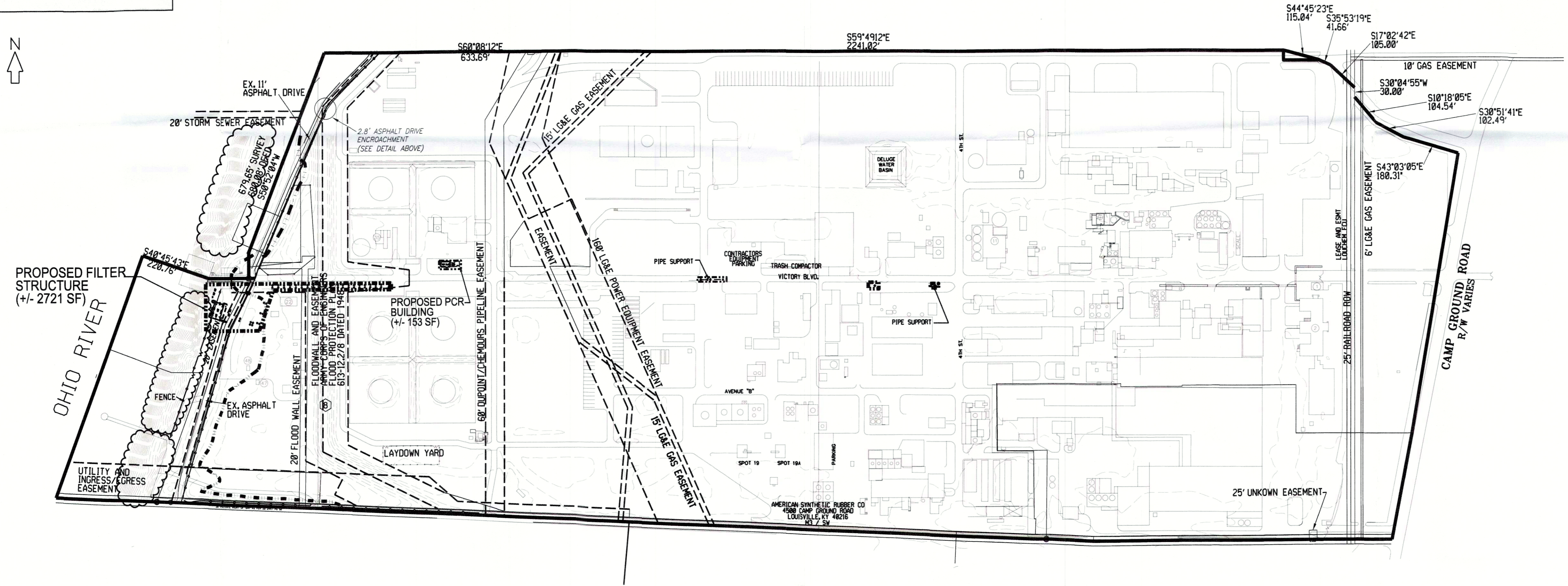
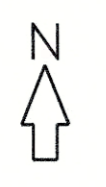
GENERAL NOTES:

1. THE SUBJECT PROPERTY LIES WITHIN THE PLEASURE RIDGE PARK FIRE DISTRICT.
2. CONSTRUCTION PLANS AND DOCUMENTS SHALL COMPLY WITH LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT'S DESIGN MANUAL AND STANDARD SPECIFICATIONS, AND OTHER LOCAL, STATE AND FEDERAL ORDINANCES.
3. ALL LUMINARIES SHALL BE AIMED, DIRECTED OR FOCUSED SUCH AS TO NOT CAUSE DIRECT LIGHT FROM LUMINARY TO BE DIRECTED TOWARDS RESIDENTIAL USES OR PROTECTED OPEN SPACES (I.E. CONSERVATION EASEMENTS, GREENWAYS, PARKWAYS) ON ADJACENT OR NEARBY PARCELS, OR CREATE GLARE PERCEPTIBLE TO PERSONS OPERATING MOTOR VEHICLES ON PUBLIC STREETS AND RIGHT-OF-WAYS. IF IT DOES, IT SHOULD BE RE-AIMED, SHIELDED, OR TURNED OFF.
4. MOSQUITO CONTROL SHALL BE PERFORMED IN ACCORDANCE WITH CHAPTER 96 OF THE LOUISVILLE JEFFERSON COUNTY METRO ORDINANCES.
5. MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE EMISSIONS REACHING EXISTING ROADS AND NEIGHBOURHOODS.
6. CONSTRUCTION FENCING SHALL BE ERECTED PRIOR TO ANY CONSTRUCTION OR GRADING ACTIVITIES PREVENTING COMPACTION OF ROOT SYSTEMS OF TREES TO BE PRESERVED. FENCING SHALL ENCLOSE THE AREA BENEATH THE DRIFLINE OF THE TREE CANOPY AND SHALL REMAIN IN PLACE. NO PARKING, MATERIAL STORAGE, OR CONSTRUCTION ACTIVITIES SHALL BE PERMITTED WITHIN THE FENCED AREA.
7. MSD SITE DISTURBANCE PERMIT REQUIRED PRIOR TO ISSUANCE OF ANY PERMITS.
8. LOWEST FINISHED FLOOR TO BE ABOVE ELEVATION 447.2 AND THE LOWEST MACHINERY TO BE AT OR ABOVE ELEVATION 448.2

EROSION PREVENTION AND SEDIMENT CONTROL NOTES:

1. THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED EPSC PLAN MUST BE REVIEWED AND APPROVED BY MSD'S PRIVATE DEVELOPMENT REVIEW OFFICE. EPSC BMP'S SHALL BE INSTALLED PER THE PLAN AND MSD STANDARDS.
2. ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.
3. SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES AND CATCH BASIN. STOCKPILES SHALL BE SEEDED, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE.
4. WHERE CONSTRUCTION OR LAND DISTURBANCE ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASUREMENTS SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 CALENDAR DAYS AFTER THE ACTIVITY HAS CEASED.
5. SEDIMENT-LOADED GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE OR CATCH BASIN.
6. UPON COMPLETION AND FINAL STABILIZATION OF THE SITE, ALL EPSC BMP'S SHALL BE REMOVED COMPLETELY INCLUDING ALL SILT ACCUMULATION.

VICINITY MAP
NTS



DESCRIPTION

OWNER'S NAME AND ADDRESS	ROHM & HAAS CHEMICALS LLC
SITE ADDRESS	4300 CAMP GROUND RD, LOUISVILLE, KY 40216
TAX BLOCK AND LOT NUMBER	TAX BLOCK 1007, LOT NUMBER 0001
ZONING OF PROPERTY	M3 - MANUFACTURING
EXISTING LAND-USE	POTENTIALLY HAZARDOUS OR NUISANCE USE
PROPOSED LAND-USE	POTENTIALLY HAZARDOUS OR NUISANCE USE

OFF-STREET LOADING AREAS IF APPLICABLE	N/A
ACCESSORY STRUCTURES SHOWN WITH REQUIRED SCREENING IF APPLICABLE	N/A
ILA/VUA CALCULATIONS (MAY BE SHOWN ON TREE CANOPY PLAN) IF APPLICABLE	N/A
REQUIRED BUILDING SETBACKS WITH DIMENSIONS	N/A
NET AND GROSS DENSITY, AND NUMBER OF DWELLING UNITS	N/A
TYPICAL DIMENSIONS OF PARKING SPACES AND AISLES	N/A

PROJECT PLAN

TOTAL DISTURBED AREA FOR PROJECT	0.85 ACRES
EXISTING IMPERVIOUS AREA	99.84 ACRES
IMPERVIOUS AREA AFTER PROJECT	99.90 ACRES
TOTAL INCREASE IN IMPERVIOUS AREA	0.062 ACRES
NET AND GROSS ACERAGE OF SITE	TOTAL PROPERTY IS 134.50 ACRES. AREA AFFECTED BY THIS PROJECT IS APPROXIMATELY 0.1 ACRE.

LANDSCAPING PLAN	PER *TREE CANOPY, LANDSCAPING, AND OPEN SPACE SECTION 10.1.2.B.3 OF THE LAND DEVELOPMENT CODE, INCREASE IN BUILDING FOOTPRINT OR IMPERVIOUS SURFACE AREA IS LESS THAN 20% AND THEREFORE TCP DOES NOT APPLY.
LANDSCAPE BUFFER AREAS IN ACCORDANCE WITH CHAPTER 10 OF THE LDC	PER SECTION 10.2.2.A.3 INCREASE IN BUILDING FOOTPRINT OR IMPERVIOUS SURFACE AREA IS LESS THAN 20% AND THEREFORE IT IS NOT REQUIRED TO PROVIDE THE LANDSCAPING SPECIFIED IN THE LDC.
	PER SECTION 10.2.3 OF LDC THIS BUILDING / STRUCTURE ARE NOT LOCATED ALONG PROPERTY RIGHT OF WAY LINES VEHICLE USE AREAS, PARKWAYS OR SCENIC CORRIDORS.

THE FINAL DESIGN OF THIS PROJECT MUST MEET ALL MSA WATER QUALITY REGULATIONS ESTABLISHED BY MSD. SITE LAYOUT MAY CHANGE AT THE DESIGN PHASE DUE TO PROPER SIZING OF GREEN BEST MANAGEMENT PRACTICES.

HEIGHT OF STRUCTURES
TOP OF FILTER STRUCTURE IS 43.91' ABOVE GRADE. TOP OF PCR BUILDING IS APPROXIMATELY 15'-0" ABOVE GRADE.

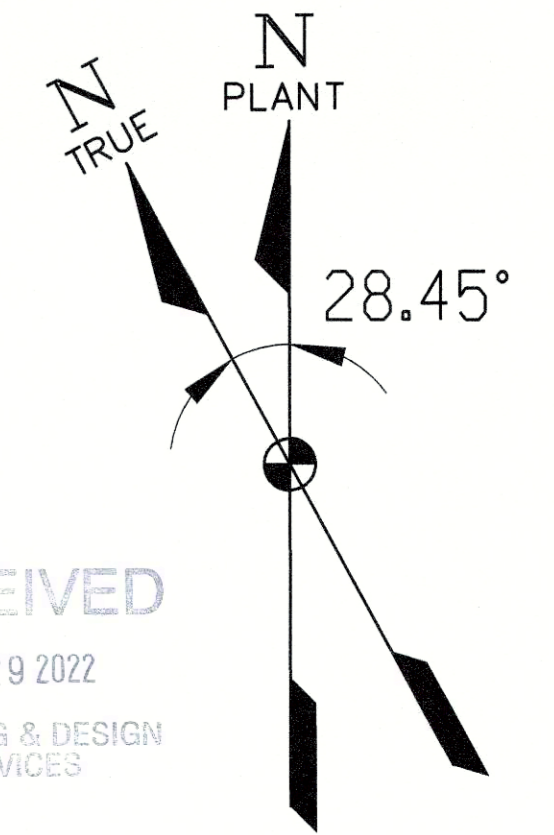
PARKING CALCULATIONS (MINIMUM AND MAXIMUM)
THIS NEW BUILDING / STRUCTURE DO NOT CHANGE THE NUMBER OF EMPLOYEES OR CONTRACTORS ON THE SITE. PARKING FOR THE NEW BUILDING / STRUCTURE IS ALIGNED WITH THE MAIN PARKING LOT.

FLOODPLAIN NOTE:

1. A PORTION OF SUBJECT PROPERTY IS LOCATED WITHIN ZONE AE, WHICH IS AN AREA DETERMINED TO BE INSIDE OF THE 100-YEAR FLOODPLAIN AS SHOWN IN FEMA FLOOD INSURANCE RATE MAP (FIRM) NO. 2111C0054F, DATED: FEBRUARY 26, 2021.
2. A PORTION OF THE SUBJECT PROPERTY IS LOCATED IN ZONE X, WHICH IS AN AREA DETERMINED TO BE OUTSIDE OF THE 100-YEAR FLOOD PLAIN AS SHOWN IN FEMA FIRM NO. 2111C0054F, DATED: FEBRUARY 26, 2021.
3. FOR WORK TO BE PERFORMED WITHIN THE LOCAL REGULATORY FLOODPLAIN AN MSD FLOODPLAIN PERMIT WILL BE REQUIRED.
4. KDDW PERMIT APPROVAL NUMBER IS 31700.

GENERAL UTILITY NOTE

1. ALL UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER KENTUCKY 811 (TOLL FREE PHONE NO. 1-800-752-5887) 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT SITE. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS AND WATER LINES). WHEN CONTACTING THE KENTUCKY 811 CALL CENTER PLEASE STATE THAT THE WORK TO BE DONE IS FOR A PROPOSED MSD SEWER OR DRAINAGE FACILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.
2. EACH PROPOSED LOT/BUILDING MUST CONNECT TO ITS OWN SANITARY SEWER PSC WITH A MINIMUM SIX-INCH SANITARY SEWER.
3. OWNER MUST PROVIDE DOCUMENTATION OF CONNECT TO SANITARY SEWER, PSC, WITH MINIMUM SIX-INCH SANITARY SEWER.
4. SANITARY SERVICE TO BE APPROVED BY MSD.
5. ALL CONSTRUCTION AND SALES TRAILERS MUST BE PERMITTED BY THE DEPARTMENT OF PUBLIC HEALTH AND WELLNESS IN ACCORDANCE WITH CHAPTER 115 LOUISVILLE COUNTY METRO ORDINANCES.
6. MOSQUITO CONTROL IN ACCORDANCE WITH CHAPTER 96 LOUISVILLE JEFFERSON COUNTY METRO ORDINANCES.
7. PLANS MUST BE SUBMITTED TO THE HEALTH DEPT. PRIOR TO CONSTRUCTION.



RECEIVED
JUL 29 2022
PLANNING & DESIGN SERVICES

WM #3968

REV. MARK	REVISION	BY	CHK	APP	DATE	REV. MARK	REVISION	BY	CHK	APP	DATE	DRAWING ISSUE RECORD		DESIGNED CIVIL TEAM	MAR22	STATUS	PLANT NO.	THE DOW CHEMICAL COMPANY LOUISVILLE, KENTUCKY BUILDING 10		
												1	INITIAL MCDP SUBMITAL	XXXX					UTILITIES RIVER WATER	
																			PROJECT LOUISVILLE ALE RIVER WATER MODIFIED CONDITIONAL USE PERMIT OVERALL SITE LAYOUT	
																			DATE APRIL 4, 2022	
																			SCALE 1"=200'-0"	
																			REV. 2 CIV	