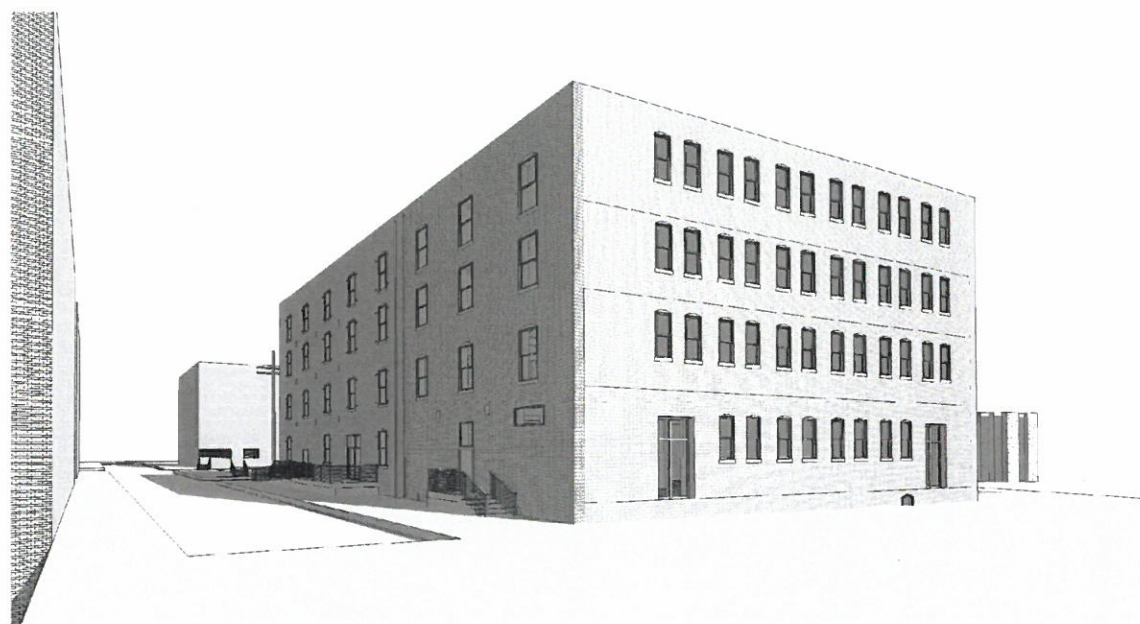


# AUDUBON APARTMENTS

1409-1417 LYTLE STREET  
WEYLAND VENTURES



**OWNER**

WEYLAND VENTURES  
815 W MARKET STREET ST #110  
LOUISVILLE, KY 40202  
502.515.2489  
CONTACT: KEN BROWN

**ARCHITECTURAL**

JOSEPH & JOSEPH ARCHITECTS  
550 S 4TH STREET  
LOUISVILLE, KY 40202  
502.583.8888  
CONTACT: CASH MOTER

**CIVIL ENGINEER**

MILESTONE DESIGN GROUP  
108 DAVENTRY LN, #300  
LOUISVILLE, KY 40223  
502.327.3030  
CONTACT: MARK MADISON

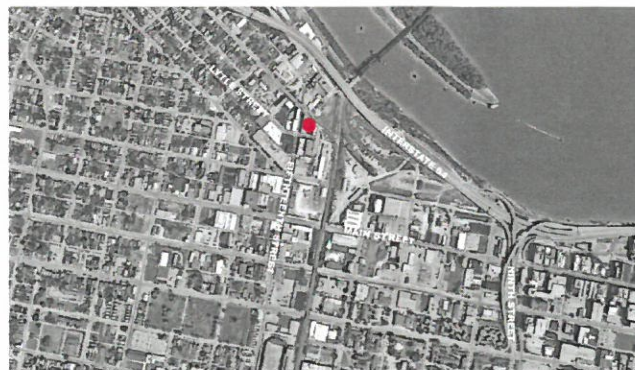
**STRUCTURAL ENGINEERS**

KPFF  
125 SOUTH 6<sup>th</sup> STREET, SUITE 200  
LOUISVILLE, KY 40202  
502.292.2100  
CONTACT: AARON DALEY

**MEP ENGINEERS**

SHROUT TATE WILSON  
118 E MAIN STREET, SUITE 101  
LOUISVILLE, KY 40202  
502.292.2100  
CONTACT: JOSH CAIRELL

- ALL DIMENSIONS TO PARTITIONS OR INTERIOR WALLS ARE TO CENTER LINE OF NEW WALLS & FACE OF EXISTING WALLS
- WALL DIMENSIONS FROM EXTERIOR WALLS ARE FROM FINISH FACE OF INTERIOR SIDE OF WALL
- ALL CONSTRUCTION INDICATED TO BE FIRE RATED SHALL MEET UNDERWRITERS LABORATORY RATED CONSTRUCTION & ASSEMBLY.
- ALL FIRE RATED WALL ASSEMBLIES TO EXTEND FROM FLOOR TO UNDERSIDE OF DECK ABOVE UNLESS NOTED OTHERWISE
- ALL FIRE RATED WALL ASSEMBLIES RATING TO REMAIN INTACT EVEN IF PENETRATED. ALL PENETRATIONS TO BE SEALED TO MAINTAIN THE WALL RATING.
- ALL RIGID FOAM INSULATION TO BE PROTECTED BY A MIN OF 1/2" FIRE CODE "X" GWB.
- WALL & FLOOR FINISHES SHALL NOT EXTEND BEHIND OR UNDER ANY PERMANENTLY ATTACHED CASEWORK, EQUIPMENT, ETC. UNLESS NOTED OTHERWISE.
- FINISH BASE TO BE INSTALLED ON ALL PERMANENTLY ATTACHED CASEWORK OR EQUIPMENT. BASE TO BE SAME AS ROOM.
- A MIN OF 1" RIGID FOAM INSULATION IS TO BE INSTALLED BETWEEN EXTERIOR WALL AND ANY PIPE OR DUCTWORK IN A CHASE OR IN FURRING (FULL HEIGHT & WIDTH OF CHASE OR FURRING).
- CONTROL JOINTS & EXPANSION JOINTS IN EXTERIOR WALL ARE ALSO TO OCCUR IN GWB AT SAME LOCATION.
- CONDUITS, PIPES, DUCTS, SLEEVES, ETC PASSING THROUGH ANY STRUCTURAL SLAB OR WALL SHALL BE LOCATED NOT TO IMPAIR THE STRENGTH OF THE CONSTRUCTION AND NOT BE PLACED ANY CLOSER THAN (3) DIAMETERS OR WIDTHS ON CENTER
- MAINTAIN THE SOUND RATING OF ALL PARTITIONS OR WALLS WHERE EVER TOILET ACCESSORIES, ELECTRICAL BOXES, MECHANICAL EQUIPMENT, OR ANY OTHER ITEM PENETRATES THE WALL OR PARTITION ASSEMBLY.
- PROVIDE FIRE TREATED WOOD BLOCKING BETWEEN STUDS FOR ATTACHMENT OF ANY ITEM TO BE MOUNTED ON A STUD WALL OR PARTITION.
- ALL WOOD IN CONCEALED SPACES TO BE FIRE TREATED.
- FINISHES IN ALL CLOSETS TO BE THE SAME AS ROOM THAT CLOSET OPENS INTO. ALL CLOSETS TO HAVE A SHELF AND COAT ROD, UNLESS NOTED OTHERWISE.
- ACOUSTICAL TILE MAIN SUPPORT RUNNERS TO RUN IN THE DIRECTION THAT BEST SUITES THE INSTALLATION. THIS IS TO TAKE IN CONSIDERATION ABOVE CEILING STRUCTURE, MECHANICAL EQUIPMENT AND ACCESS, CEILING MOUNTED EQUIPMENT, ETC.
- NO DUCT WORK IS TO BE FABRICATED OR INSTALLED UNTIL ALL DEMO WORK IS COMPLETED AND COORDINATION WITH ALL TRADES HAVE BEEN REVIEWED.



VICINITY MAP

DEMO			
Sheet #	Sheet Name	Issue Date	Revision
D100	BASEMENT DEMOLITION PLAN	3/23/20	
D101	FIRST FLOOR DEMOLITION PLAN	3/23/20	
D102	SECOND FLOOR DEMOLITION PLAN	3/23/20	
D103	THIRD FLOOR DEMOLITION PLAN	3/23/20	
D104	FOURTH FLOOR DEMOLITION PLAN	3/23/20	
PD100	BASEMENT DEMOLITION PLAN - PLUMBING	3/23/20	
PD101	FIRST FLOOR DEMOLITION PLAN - PLUMBING	3/23/20	
PD102	SECOND FLOOR DEMOLITION PLAN - PLUMBING	3/23/20	
PD103	THIRD FLOOR DEMOLITION PLAN - PLUMBING	3/23/20	
PD104	FOURTH FLOOR DEMOLITION PLAN - PLUMBING	3/23/20	

ARCHITECTURAL			
Sheet #	Sheet Name	Issue Date	Revision
A001	ADA CLEARANCES	3/23/20	
A002	FIRE CODE PLAN	3/23/20	
A003	CODE REVIEW	3/23/20	
A004	STIC RATING	3/23/20	
A005	UNIT MATRIX	3/23/20	
A100	BASEMENT PLAN	3/23/20	
A101	FIRST FLOOR PLAN	3/23/20	
A102	SECOND FLOOR PLAN	3/23/20	
A103	THIRD FLOOR PLAN	3/23/20	
A104	FOURTH FLOOR PLAN	3/23/20	
A105	ROOF PLAN	3/23/20	
A201	BUILDING ELEVATIONS	3/23/20	
A202	BUILDING ELEVATIONS	3/23/20	
A301	BUILDING SECTION	3/23/20	
A401	EXTERIOR WALL SECTIONS	3/23/20	
A501	UNIT TYPE 'A' ENLARGED PLANS	3/23/20	
A502	UNIT TYPE 'B' ENLARGED PLANS	3/23/20	
A503	UNIT TYPE 'C' ENLARGED PLANS	3/23/20	
A504	ENLARGED PLANS	3/23/20	
A601	ELEVATOR PLANS & DETAILS	3/23/20	
A602	STAIR PLANS & DETAILS	3/23/20	
A701	INTERIOR DETAILS & WALL TYPES	3/23/20	
A702	DOOR SCHEDULE	3/23/20	
A704	T.P.O. ROOFING DETAILS	3/23/20	

CIVIL			
Sheet #	Sheet Name	Issue Date	Revision
C1	CVIL COVER SHEET	3/23/20	
C2	TYPICAL DETAILS	3/23/20	
C3	TYPICAL DETAILS	3/23/20	
C4	SITE LAYOUT PLAN	3/23/20	
C5	COMPOSITE DRAINAGE, GRADING & EPSC PLAN	3/23/20	
C6	SITE UTILITY PLAN	3/23/20	

STRUCTURAL			
Sheet #	Sheet Name	Issue Date	Revision
S0.1	GENERAL NOTES	3/23/20	
S0.2	SPECIAL INSPECTIONS	3/23/20	
S0.3	SPECIAL INSPECTIONS	3/23/20	
S0.4	SPECIAL INSPECTIONS	3/23/20	
S1.0	BASEMENT PLAN	3/23/20	
S1.1	FIRST FLOOR PLAN	3/23/20	
S2.1	SECOND FLOOR PLAN	3/23/20	
S2.2	THIRD FLOOR PLAN	3/23/20	
S2.3	FOURTH FLOOR PLAN	3/23/20	
S2.4	ROOF FRAMING PLAN	3/23/20	
S3.1	FOUNDATION DETAILS	3/23/20	
S4.1	FRAMING DETAILS	3/23/20	
S4.2	FRAMING DETAILS	3/23/20	
SR0.1	STRUCTURAL REPAIR NOTES	3/23/20	
SR1.0	BASEMENT REPAIR PLAN	3/23/20	
SR1.1	FIRST FLOOR REPAIR PLAN	3/23/20	
SR2.1	SECOND FLOOR REPAIR PLAN	3/23/20	
SR2.2	THIRD FLOOR REPAIR PLAN	3/23/20	
SR2.3	FOURTH FLOOR REPAIR PLAN	3/23/20	
SR2.4	ROOF REPAIR PLAN	3/23/20	
SR5.1	REPAIR DETAILS	3/23/20	
SR5.2	REPAIR DETAILS	3/23/20	

FIRE PROTECTION			
Sheet #	Sheet Name	Issue Date	Revision
FP100	BASEMENT FLOOR PLAN - FIRE PROTECTION	3/23/20	
FP101	FIRST FLOOR PLAN - FIRE PROTECTION	3/23/20	
FP102	SECOND FLOOR PLAN - FIRE PROTECTION	3/23/20	
FP103	THIRD FLOOR PLAN - FIRE PROTECTION	3/23/20	
FP104	FOURTH FLOOR PLAN - FIRE PROTECTION	3/23/20	

PLUMBING			
Sheet #	Sheet Name	Issue Date	Revision
P001	PLUMBING LEGEND	3/23/20	
P002	PLUMBING GENERAL NOTES	3/23/20	
P100	BASEMENT FLOOR PLAN - SANITARY SEWER	3/23/20	
P101	FIRST FLOOR PLAN - SANITARY SEWER	3/23/20	
P102	SECOND FLOOR PLAN - SANITARY SEWER	3/23/20	
P103	THIRD FLOOR PLAN - SANITARY SEWER	3/23/20	
P104	FOURTH FLOOR PLAN - SANITARY SEWER	3/23/20	
P105	ROOF PLAN - SANITARY SEWER	3/23/20	
P200	BASEMENT FLOOR PLAN - DOMESTIC WATER	3/23/20	
P400	ENLARGED SANITARY SEWER PLANS	3/23/20	
PD100	BASEMENT DEMOLITION PLAN - PLUMBING	3/23/20	
PD101	FIRST FLOOR DEMOLITION PLAN - PLUMBING	3/23/20	
PD102	SECOND FLOOR DEMOLITION PLAN - PLUMBING	3/23/20	
PD103	THIRD FLOOR DEMOLITION PLAN - PLUMBING	3/23/20	
PD104	FOURTH FLOOR DEMOLITION PLAN - PLUMBING	3/23/20	

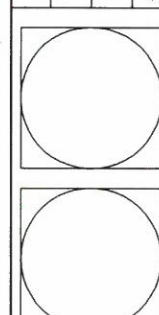
MECHANICAL			
Sheet #	Sheet Name	Issue Date	Revision
M001	MECHANICAL LEGEND	3/23/20	
M002	MECHANICAL GENERAL NOTES	3/23/20	
M100	BASEMENT FLOOR PLAN - HVAC	3/23/20	
M101	FIRST FLOOR PLAN - HVAC	3/23/20	
M102	SECOND FLOOR PLAN - HVAC	3/23/20	
M103	THIRD FLOOR PLAN - HVAC	3/23/20	
M104	FOURTH FLOOR PLAN - HVAC	3/23/20	
M105	ROOF PLAN - HVAC	3/23/20	
M401	ENLARGED UNIT PLANS	3/23/20	
M500	MECHANICAL DETAILS	3/23/20	
M600	MECHANICAL SCHEDULE	3/23/20	

ELECTRICAL			
Sheet #	Sheet Name	Issue Date	Revision
E001	ELECTRICAL LEGEND	3/23/20	
E002	ELECTRICAL LEGEND	3/23/20	
E100	BASEMENT FLOOR PLAN - LIGHTING	3/23/20	
E101	FIRST FLOOR PLAN - LIGHTING	3/23/20	
E102	SECOND FLOOR PLAN - LIGHTING	3/23/20	
E103	THIRD FLOOR PLAN - LIGHTING	3/23/20	
E104	FOURTH FLOOR PLAN - LIGHTING	3/23/20	
E200	BASEMENT FLOOR PLAN - POWER	3/23/20	
E201	FIRST FLOOR PLAN - POWER	3/23/20	
E202	SECOND FLOOR PLAN - POWER	3/23/20	
E303	THIRD FLOOR PLAN - POWER	3/23/20	
E304	FOURTH FLOOR PLAN - POWER	3/23/20	
E300	BASEMENT FLOOR PLAN - SYSTEMS	3/23/20	
E301	FIRST FLOOR PLAN - SYSTEMS	3/23/20	
E302	SECOND FLOOR PLAN - SYSTEMS	3/23/20	
E303	THIRD FLOOR PLAN - SYSTEMS	3/23/20	
E304	FOURTH FLOOR PLAN - SYSTEMS	3/23/20	

REVISIONS

NO.	DESCRIPTION	DATE

COMM	A7745	DATE	3/23/20
DRAWN	ZW	IN HSE	CM



WAREHOUSE CONVERSION  
1409-1417 LYTLE STREET

TITLE SHEET  
ARCHITECTURAL

C:\Users\ZWhite\Documents\Audubon - CENTRAL MODEL\_z.white\GMGRH.rvt

RECEIVED  
OCT 02 2020  
PLANNING & DESIGN SERVICES

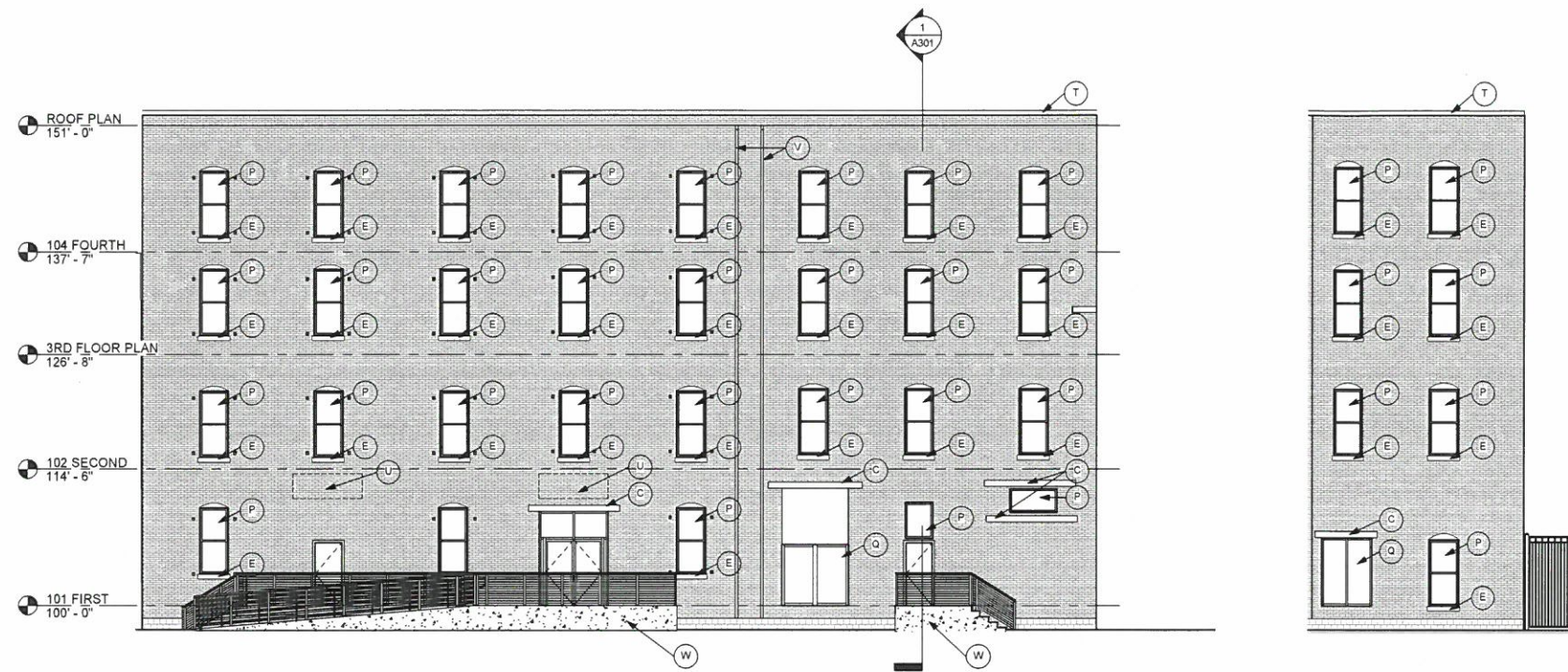
BUILDING PERMIT SET

550 S. 4TH STREET  
LOUISVILLE, KY 40202  
ARCHITECTS SINCE 1968  
V. 502.583.8888  
F. 502.583.8414  
www.josephandjoseph.net  
© 2020 Connor N. Malar IV Architect, Eric R. Hankman, Architect

SHEET T100 SET

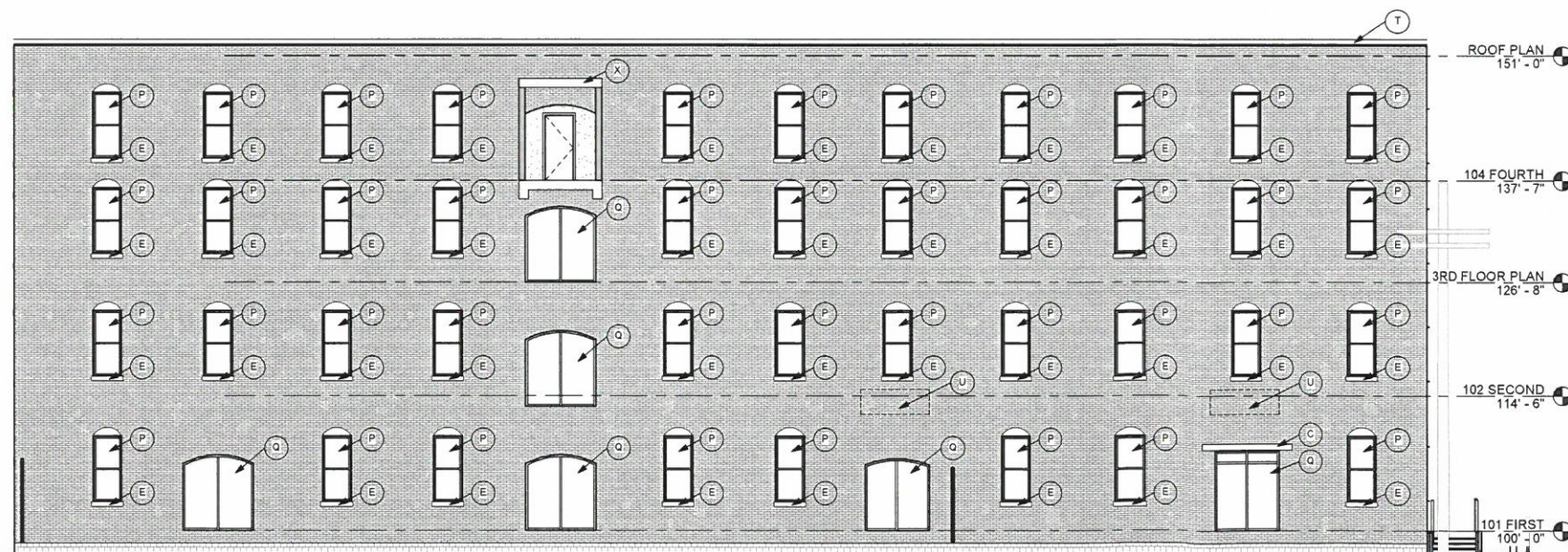
20-CAT3-C





1 SOUTH ELEVATION  
A201 1/8" = 1'-0"

2 NORTH ELEVATION  
A201 1/8" = 1'-0"



3 WEST ELEVATION  
A201 1/8" = 1'-0"

MASONRY REPAIR KEY NOTES

- A. RE-POINT BRICK MASONRY MORTAR JOINTS. RE-POINT FAILED BRICK MORTAR JOINTS ON THE ENTIRE ELEVATION. RE-POINTING SHALL MEAN REMOVAL AND CLEANING OF THE EXISTING BED AND HEAD JOINT MORTAR TO A DEPTH AS INDICATED IN THE WRITTEN SPECIFICATIONS. AND RE-POINTING THE CLEANED AND PREPARED JOINT WITH NEW MORTAR. RE-POINTING MORTAR SHALL MATCH THE ADJACENT JOINTS IN TEXTURE, COLOR AND HARDNESS. SEE THE WRITTEN SPECIFICATIONS.
- B. REMOVE AND REPLACE DAMAGED BRICK. REMOVE AND REPLACE BRICK THAT IS SPALLED, CRACKED, MISSING OR HAS LOST A FRAGMENT. USE REPLACEMENT BRICK AS DIRECTED BY THE ARCHITECTS. RE-POINT THE MORTAR JOINTS AROUND THE REPLACEMENT BRICK AS INDICATED IN PARAGRAPH A ABOVE AND ACCORDING TO WRITTEN SPECIFICATIONS.
- C. REPAIR 100% OF THE EXISTING STEEL LINTELS. REMOVE EXISTING PAINT AND RUST. PRIME AND REPAIR THE EXPOSED PORTIONS OF THE STEEL LINTELS ON EACH SIDE OF THE BUILDING. DO NOT DAMAGE OR STAIN ADJACENT BRICK OR WINDOW FRAMES. REPORT SEVERE CORROSION OR DAMAGE TO THE ENGINEER IMMEDIATELY UPON DISCOVERY. EXISTING PAINT MAY CONTAIN LEAD AND SHOULD BE REPORTED ACCORDING TO THE ENVIRONMENTAL RULES FOR LEAD PAINT.
- D. STONE JOINT RE-POINTING. THIS NOTE SHALL APPLY TO STONE TO STONE JOINTS AND STONE TO BRICK JOINTS. RAKE AND CLEAN THE EXISTING MORTAR JOINTS AROUND THE STONE UNITS WITHIN THE EXTERIOR MASONRY WALLS. RAKE AND RE-POINT 100% OF THE STONE JOINTS WITH APPROVED MORTAR. SEE THE WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS REGARDING RE-POINTING STONE MORTAR JOINTS.
- E. CLEANING STONE WINDOW SILLS. REMOVE BLACK OR OTHER COLORED PAINT FROM STONE WINDOW SILLS. RETURN SILLS TO THEIR NATURAL COLOR USING THE MILDEST CLEANING SOLUTION THAT WILL EFFECTIVELY REMOVE THE PAINT. REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL CLEANING REQUIREMENTS. WHERE THERE IS NO PAINT, CLEAN THE SILL OF ORGANIC AND OTHER CONTAMINANTS TO RESTORE TO THE NATURAL COLOR.
- F. JOINT SEALANT. CLEAN AND PREPARE JOINTS AS INDICATED TO RECEIVE NEW JOINT SEALANT. PLACE CLOSED CELL FOAM BACKER ROD BEHIND THE JOINT AND APPLY SEALANT ACCORDING TO THE MANUFACTURE'S WRITTEN RECOMMENDATIONS. WHERE THE ELEVATION KEY NOTES INDICATE CLEANING AND RECALCULKING SKYWARD JOINTS, THE CALKX SHALL EXTEND TO THE EDGE OF THE HORIZONTAL LENGTH OF THE JOINT AND SHALL EXTEND DOWN THE VERTICAL LENGTH OF THE JOINT TO THE BOTTOM EDGE OF THE JOINT.
- G. EXISTING MASONRY GUARDRAIL WALL. REMOVE THE EXISTING NORTH AND EAST WALLS OF THE BOILER BUILDING DOWN TO WITHIN GUARDRAIL HEIGHT ABOVE FINISHED GRADE. SAVE BRICK FOR REUSE AS REPLACEMENT BRICK. RE-POINT THE REMAINING MASONRY 100% ALL SIDES. REPLACE DAMAGED BRICK AS REQUIRED. INSTALL A STONE COPING ALONG THE TOP OF THE LENGTH OF THE WALLS AND ANCHOR WITH EPOXY AND STAINLESS STEEL PINS AT 4" O.C. IN TWO STAGGERED ROWS. 2" EMBEDMENT. SEAL THE SKYWARD JOINTS OF THE STONE UNITS AS DIRECTED IN REPAIR 'F' ABOVE.
- H. REPLACE STONE SILL. REMOVE AND REPLACE EXISTING BROKEN OR DAMAGED STONE SILL WITH A NEW STONE SILL. NEW STONE SILL SHALL MATCH EXISTING IN SIZE, SHAPE, COLOR AND TEXTURE.
- I. EXISTING BOILER STACKS. CLEAN AND RE-POINT THE EXISTING BRICK BOILER STACK TO A STABLE AND WATER TIGHT CONDITION. THOROUGHLY CLEAN THE ORGANICS AND OTHER CONTAMINANTS ON ALL SIDES FULL HEIGHT OF THE STACK. INFILL THE OPENINGS ON THE WEST SIDE WITH REPLACEMENT BRICKS.
- J. NEW METAL COPING. CONSTRUCT A NEW METAL COPING ON TOP OF THE EXISTING WALL. INSTALL A DOUBLE 2x P.T. CONTINUOUS WOOD PLATE ANCHORED TO THE BRICK WALL WITH HIT ADHESIVE ANCHORS AT 8" O.C. INSTALL METAL COPING OVER THE TREATED WOOD PLATE AND EXTEND DOWN THE WALL ON BOTH SIDES. COLOR BY ARCHITECT AND OWNER.
- K. STONE CRACK REPAIR. ROUT THE EXISTING STONE CRACK ALONG ITS ENTIRE LENGTH AND FILL WITH CLOSED CELL FOAM BACKER ROD AND SEALANT. USE SEALANT THAT MATCHES THE SURROUNDING STONE AS CLOSELY AS POSSIBLE. SUBMIT A COLOR SAMPLE OF THE SEALANT FOR REVIEW. SEE ALSO NOTE F ABOVE REGARDING JOINT SEALANT.
- L. GRAFFITI REMOVAL. REMOVE GRAFFITI WITH CLEANING SOLUTION AS INDICATED IN THE WRITTEN SPECIFICATIONS. USE THE MOST MILD METHOD THAT EFFECTIVELY REMOVES THE PAINT.
- M. CLEAN MASONRY SURFACE. CLEAN THE MASONRY SURFACE OF DIRT, GRIME, ORGANICS, CARBON ACCUMULATION, STAINS, PAINT AND OTHER CONTAMINANTS AS INDICATED IN THE WRITTEN SPECIFICATIONS.
- N. WINDOW/DOOR INFILL. INFILL EXISTING WINDOW OR DOOR OPENING WITH A STUD WALL. PRESSURE TREATED 2x6 AT 16" O.C. ANCHOR STUD WALL TO ALL FOUR SIDES OF THE EXISTING MASONRY OPENINGS WITH 1/4" DIA. HIT ADHESIVE ANCHORS @ 12" O.C. SHEATHING - 1/2" EXTERIOR GRADE PLYWOOD. SEE ARCHITECTURAL DRAWINGS FOR THE FINISH MATERIAL OVER THE PLYWOOD SHEATHING.
- O. REMOVE EXISTING DOOR AND REPLACE WITH NEW WINDOW. REMOVE EXISTING DOOR COMPLETE AND REPLACE WITH A NEW WINDOW TO MATCH EXISTING.
- P. REPAIR/REPLACE EXISTING WINDOWS. REMOVE EXISTING PLYWOOD (IF APPLICABLE) AND INSPECT ALL WINDOWS - REPAIR/REPLACE WINDOWS AS NEEDED.
- Q. REMOVE OVERHEAD DOOR AND REPLACE WITH STOREFRONT WINDOWS.
- R. ALL EXISTING DOCKS TO REMAIN UNLESS OTHERWISE NOTED.
- S. REMOVE EXISTING WINDOWS AND BRICK FOR NEW WINDOWS. REMOVE EXISTING WINDOW AND CREATE A NEW OPENING IN THE MASONRY TO PREPARE FOR NEW WINDOW. NEW WINDOW SHOULD MATCH EXISTING 1-OVER-1 WINDOW ON THE SAME FACADE w/ NEW STONE SILLS.
- T. TERRAZZOTA ROOF GAP CLEAN. REPAIR. REPLACE AS NEEDED.
- U. REMOVE ALL EXISTING AWNINGS COMPLETE UNLESS OTHERWISE NOTED.
- V. REPLACE EXISTING DOWNSPOUTS.
- W. NEW CONCRETE PATIO w/ EXTERIOR GUARDRAIL. EXTERIOR GUARDRAIL @ 42" AFF (SEE DETAILS) CONCRETE PATIO TO RECEIVE A SLIP RESISTANT BRICK FINISH.
- X. EXISTING BRIDGE PEDWAY TO REMAIN.

MASONRY REPAIR GENERAL NOTES

EXISTING CONDITIONS

1. REPORT TO THE ARCHITECT/ENGINEER ANY EXISTING CONDITIONS WHICH PREVENT THE WORK FROM BEING PERFORMED IN ACCORDANCE WITH THE PLANS BEFORE PROCEEDING WITH THE WORK.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS LOCATING EXISTING CONSTRUCTION BEFORE FABRICATION OF NEW CONSTRUCTION BEGINS. IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER.
3. SIZE AND DIMENSIONS AND MASONRY PROFILES AS INDICATED ON THE DRAWINGS RELATED TO EXISTING CONSTRUCTION WERE TAKEN FROM PHOTOS AND FIELD EXAMINATION FROM GROUND LEVEL. CONTRACTOR TO FIELD VERIFY ALL SUCH INFORMATION BEFORE CONSTRUCTION BEGINS. IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER.
4. WHERE EXISTING GRADE IS SHOWN ON THE MASONRY REPAIR ELEVATIONS, GRADE LINE IS APPROXIMATE. FIELD VERIFY THE EXACT PROFILE AND ELEVATIONS FOR EXISTING GRADE. WHERE FINISH GRADE VARIES FROM EXISTING GRADE, RESTORE MASONRY DOWN TO FINISH GRADE AS FIELD CONDITIONS DICTATE.

GENERAL SCOPE OF THE EXTERIOR MASONRY REPAIRS

THE ELEVATION DRAWINGS SHOW REPAIR PROCEDURES FOR THE VARIOUS MASONRY REPAIRS NEEDED ON THE EXTERIOR FACADE OF THE BUILDING. THIS INCLUDES REPAIR OF BRICK MASONRY STONE. CONTRACTOR SHALL DETERMINE THE SCOPE OF THE VARIOUS REPAIRS INDICATED ON THE ELEVATIONS BY MEANS OF AN AERIAL PHOTO SURVEY OF THE ENTIRE EXTERIOR OF THE BUILDING USING AN AERIAL LIFT OR SWING STAGE PLATFORM OR OTHER MEANS AS DETERMINED BY THE CONTRACTOR. SUBMIT THE RESULTS OF THE SURVEY IN GRAPHICAL FORM TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO THE START OF THE REPAIR WORK.

ALL THE SURFACE AREAS OF THE ELEVATIONS OF THIS BUILDING SHALL BE MADE WATER TIGHT BY MASONRY RESTORATION. DO NOT LEAVE BRICK OR MORTAR JOINTS IN AN OPEN OR UNSTABLE OR DETERIORATED CONDITION.

MASONRY REPAIR GENERAL NOTES

1. REMOVE EXTRANEOUS METAL ATTACHMENTS, AND UTILITY CONDUITS AND PIPING. ENSURE THAT EXTRANEOUS UTILITY ATTACHMENTS ARE ABANDONED BEFORE REMOVAL. DO NOT REMOVE WALL ANCHORS THAT SECURE BUILDING COMPONENTS. FIELD VERIFY THE LOCATION OF SUCH ANCHORS BEFORE WORK BEGINS. COORDINATE WITH THE DESIGNATED DIRT/DEBRIS REPRESENTATIVE.
  2. REMOVE PLANT GROWTH AND ORGANIC MATERIAL ENTIRELY. DO NOT DAMAGE BRICK OR STONE IN THE PROCESS.
  3. CLEAN AREAS AFTER RE-POINTING AND BRICK REPLACEMENT WORK IS COMPLETE. PROTECT ADJACENT AREAS OF MASONRY FROM THE CLEANING CHEMICALS AS REQUIRED TO BLEND TO MATCH EXISTING ADJACENT MASONRY.
  4. PREPARE MOCK-UPS FOR THE FOLLOWING WORK ITEMS:
    - a. MORTAR JOINT CLEANING AND REMOVAL OF OLD MORTAR AND SEALANT FOR EACH JOINT TYPE
    - b. MORTAR JOINT RE-POINTING WITH REPLACEMENT MORTAR MIX FOR EACH JOINT TYPE
    - c. JOINT SEALANT
    - d. BRICK REPLACEMENT
    - e. STONE REPLACEMENT
- REFER TO THE WRITTEN SPECIFICATIONS FOR ADDITIONAL INFORMATION ON MOCK-UPS. WORK SHALL PROCEED ONLY AFTER MOCK-UPS ARE APPROVED. ARCHITECT/ENGINEER MAY STOP WORK IF IT IS DETERMINED THAT WORK IS NOT BEING PERFORMED IN ACCORDANCE WITH THE APPROVED MOCK-UPS.
5. PROVIDE SAMPLES OF REPLACEMENT BRICK. EACH RE-POINTING MORTAR, AND SPALL/PATCH MATERIAL PRIOR TO THE START OF WORK, WHERE EXISTING MASONRY WALLS ARE SCHEDULED TO BE REMOVED FROM THE PROJECT. CONTRACTOR SHALL SALVAGE BRICK AND STORE IT ON SITE FOR USE AS REPLACEMENT BRICK.
  6. CONTRACTOR SHALL HAVE TESTS PERFORMED ON REPRESENTATIVE MORTAR SAMPLES TAKEN FROM THE EXISTING MORTAR JOINTS FOR EACH MORTAR TYPE. TESTS SHALL BE MADE TO DETERMINE THE COMPONENTS AND PROPORTIONS OF THE EXISTING MORTAR FOR MATCHING OF NEW MORTAR TO EXISTING MORTAR THAT ARE TO REMAIN. REFER TO THE WRITTEN SPECIFICATIONS FOR THE TESTING REQUIREMENTS.
  7. PROTECT THE BUILDING FROM THE DELETERIOUS EFFECT OF CLEANING CHEMICALS DURING THE COURSE OF THE WORK. DO NOT DAMAGE EXISTING PORTIONS OF THE BUILDING THAT ARE TO REMAIN.
  8. REMOVE AND REPLACE BRICK OR STONE THAT IS INADVERTENTLY DAMAGED IN THE EXECUTION OF THE MASONRY RESTORATION WORK. AT NO ADDITIONAL EXPENSE TO OWNER.
  9. THE ELEVATION DRAWINGS SHOW THE GENERAL LAYOUT OF THE FACADE OF THE BUILDING. IT SHOULD BE ANTICIPATED THAT SOME VARIATIONS ENCOUNTERED BETWEEN THE DRAWN ELEVATIONS AND THE ACTUAL BUILDING FACADE ELEMENTS. FIELD VERIFY AS REQUIRED TO VERIFY THE EXACT SCOPE OF THE FACADE MASONRY. FIELD VERIFY THE EXACT MASONRY MATERIALS FOUND ON THE BUILDING INCLUDING BRICK AND STONE. REPORT MATERIALS THAT MAY DIFFER FROM THE ELEVATION DRAWINGS.
  10. CONTRACTOR SHALL TAKE ALL MEANS NECESSARY TO PROTECT THE BUILDINGS WITHIN AND AROUND THE PROJECT SITE, INCLUDING PROVIDING APPROPRIATE FILTER MEDIA ON ALL AIR INTAKES ON THE BUILDING AND THE ROOF. REPORT TO THE PROJECT MANAGER AND ENGINEER THAT ALL AIR INTAKES HAVE BEEN IDENTIFIED AND PROTECTED AGAINST THE INTRUSION OF DUST AND DEBRIS. DO NOT ALLOW DUST, DEBRIS, TRASH OR OTHER AIRBORNE MATERIALS TO ENTER OR AFFECT THE OPERATION OF EQUIPMENT ON THE ADJACENT PROPERTY.
  11. ALL GRINDING, SANDING AND ANY DUST GENERATING EQUIPMENT SHALL BE EQUIPPED WITH A DUST COLLECTION SYSTEM AT ALL TIMES DURING THE COURSE OF THE WORK TO PREVENT AIRBORNE DUST AND DEBRIS IN AND AROUND THE PROJECT SITE. PROJECT MANAGER OR ENGINEER MAY STOP THE WORK IF DUST COLLECTION IS DEEMED INADEQUATE.

REVISIONS			
NO.	DATE	BY	DESCRIPTION

COMD A7745	DESIGN ZW	IN HSE CM	DATE 3/23/20
---------------	--------------	--------------	-----------------

WAREHOUSE  
CONVERSION

1409-1417 LYTLE STREET

BUILDING  
ELEVATIONS

ARCHITECTURAL

50 S. 4TH STREET  
LOUISVILLE, KY 40202  
V. 502.583.8888  
F. 502.583.8414  
www.josephandjoseph.com

© 2020 Cannon M. Nester IV Architect, Eric R. Harkman, Architect

SHEET  
A201

SET

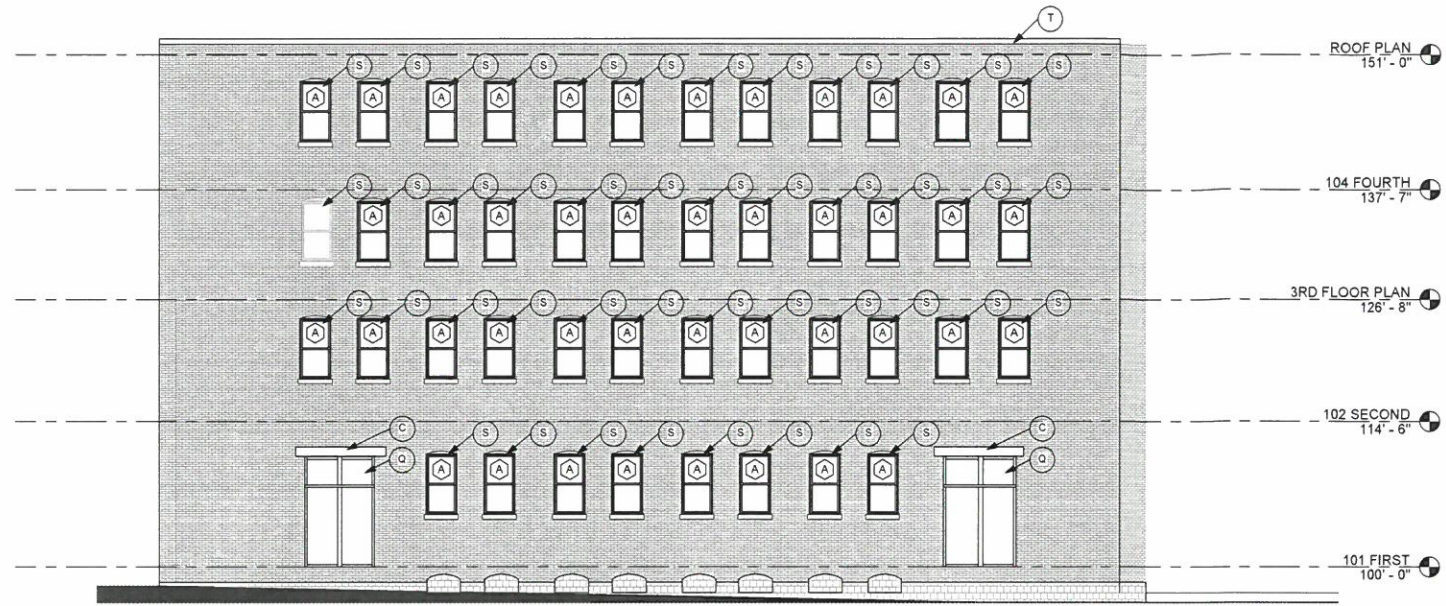
RECEIVED  
OCT 02 2020  
PLANNING & DESIGN  
SERVICES

20-CATS-001

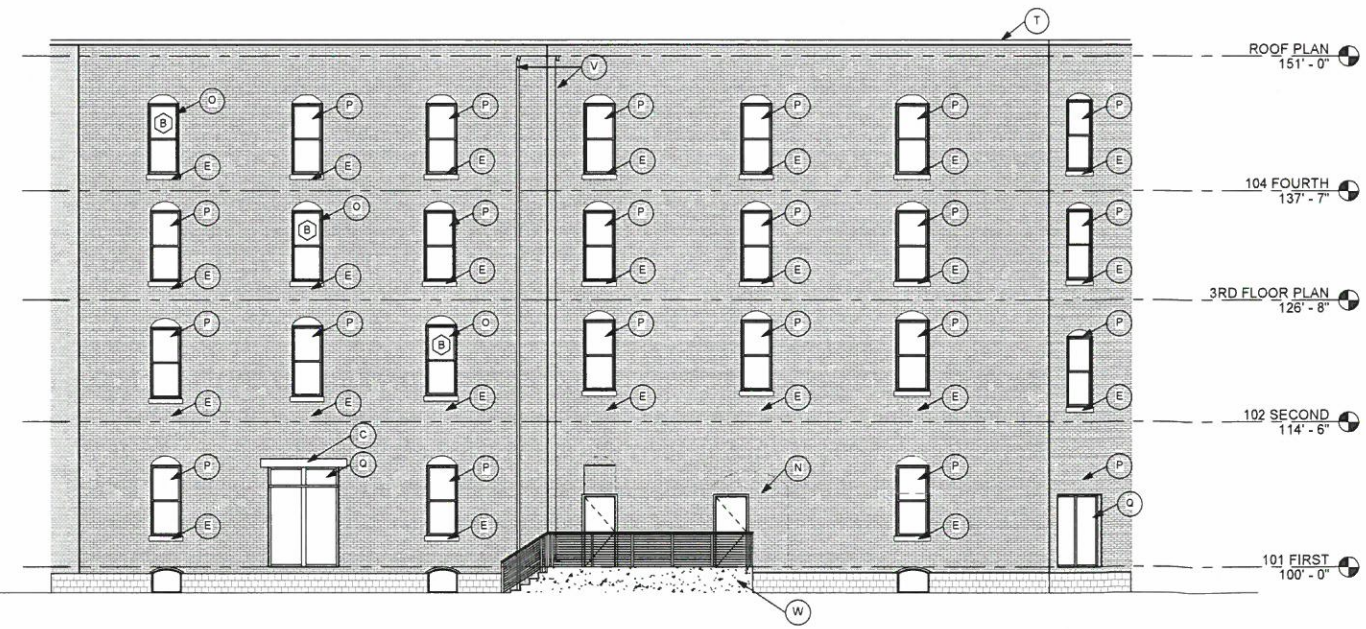
C:\Users\White\Documents\Audubon - CENTRAL\_MODEL\_z\_white\GMRH.rvt



C:\Users\ZWhite\Documents\Audubon - CENTRAL\_MODEL\_z.white\MGRH.rvt



1 EAST ELEVATION  
A202 1/8" = 1'-0"



2 NORTHEAST ELEVATION  
A202 1/8" = 1'-0"

MASONRY REPAIR KEY NOTES

- A. RE-POINT BRICK MASONRY MORTAR JOINTS. RE-POINT FAILED BRICK MORTAR JOINTS ON THE ENTIRE ELEVATION. RE-POINTING SHALL MEAN REMOVAL AND CLEANING OF THE EXISTING BED AND HEAD JOINT MORTAR TO A DEPTH AS INDICATED IN THE WRITTEN SPECIFICATIONS, AND RE-POINTING THE CLEANED AND PREPARED JOINT WITH NEW MORTAR. RE-POINTING MORTAR SHALL MATCH THE ADJACENT JOINTS IN TEXTURE, COLOR AND HARDNESS. SEE THE WRITTEN SPECIFICATIONS.
- B. REMOVE AND REPLACE DAMAGED BRICK. REMOVE AND REPLACE BRICK THAT IS SPALLED, CRACKED, MISSING OR HAS LOST A FRAGMENT. USE REPLACEMENT BRICK AS DIRECTED BY THE ARCHITECTS. RE-POINT THE MORTAR JOINTS AROUND THE REPLACEMENT BRICK AS INDICATED IN PARAGRAPH A ABOVE, AND ACCORDING TO WRITTEN SPECIFICATIONS.
- C. REPAIR 100% OF THE EXISTING STEEL LINTELS. REMOVE EXISTING PAINT AND RUST, PRIME AND REPAINT THE EXPOSED PORTIONS OF THE STEEL LINTELS ON EACH SIDE OF THE BUILDING. DO NOT DAMAGE OR STAIN ADJACENT BRICK OR WINDOW FRAMES. REPORT SEVERE CORROSION OR DAMAGE TO THE ENGINEER IMMEDIATELY UPON DISCOVERY. EXISTING PAINT MAY CONTAIN LEAD AND SHOULD BE HANDLED ACCORDING TO THE ENVIRONMENTAL RULES FOR LEAD PAINT.
- D. STONE JOINT RE-POINTING. THIS NOTE SHALL APPLY TO STONE TO STONE JOINTS AND STONE TO BRICK JOINTS. RAKE AND CLEAN THE EXISTING MORTAR JOINTS AROUND THE STONE UNITS WITHIN THE EXTERIOR MASONRY WALLS. RAKE AND RE-POINT 100% OF THE STONE JOINTS WITH APPROVED MORTAR. SEE THE WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS REGARDING RE-POINTING STONE MORTAR JOINTS.
- E. CLEANING STONE WINDOW SILLS. REMOVE BLACK OR OTHER COLORED PAINT FROM STONE WINDOW SILLS. RETURN SILLS TO THEIR NATURAL COLOR USING THE MILDTEST CLEANING SOLUTION THAT WILL EFFECTIVELY REMOVE THE PAINT. REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL CLEANING REQUIREMENTS. WHERE THERE IS NO PAINT, CLEAN THE SILL OF ORGANIC AND OTHER CONTAMINANTS TO RESTORE TO THE NATURAL COLOR.
- F. JOINT SEALANT. CLEAN AND PREPARE JOINTS AS INDICATED TO RECEIVE NEW JOINT SEALANT. PLACE CLOSED CELL FOAM BACKER ROD BEHIND THE JOINT AND APPLY SEALANT ACCORDING TO THE MANUFACTURER'S WRITTEN RECOMMENDATIONS. WHERE THE ELEVATION KEY NOTES INDICATE CLEANING AND RECAULKING SKYWARD JOINTS, THE CAULK SHALL EXTEND TO THE EDGE OF THE HORIZONTAL LENGTH OF THE JOINT AND SHALL EXTEND DOWN THE VERTICAL LENGTH OF THE JOINT TO THE BOTTOM EDGE OF THE JOINT.
- G. EXISTING MASONRY GUARDRAIL WALL. REMOVE THE EXISTING NORTH AND EAST WALLS OF THE BOILER BUILDING DOWN TO WITHIN GUARDRAIL HEIGHT ABOVE FINISHED GRADE. SAVE BRICK FOR REUSE AS REPLACEMENT BRICK. RE-POINT THE REMAINING MASONRY 100% ALL SIDES. REPLACE DAMAGED BRICK AS REQUIRED. INSTALL A STONE COPING ALONG THE TOP OF THE LENGTH OF THE WALLS AND ANCHOR WITH EPOXY AND STAINLESS STEEL PINS AT 8" O.C. IN TWO STAGGERED ROWS. 8" EMBEDMENT. SEAL THE SKYWARD JOINTS OF THE STONE UNITS AS DIRECTED IN REPAIR "F" ABOVE.
- H. REPLACE STONE SILL. REMOVE AND REPLACE EXISTING BROKEN OR DAMAGED STONE SILL WITH A NEW STONE SILL. NEW STONE SILL SHALL MATCH EXISTING IN SIZE, SHAPE, COLOR AND TEXTURE.
- I. EXISTING BOILER STACKS. CLEAN AND RE-POINT THE EXISTING BRICK BOILER STACK TO A STABLE AND WATERTIGHT CONDITION. THOROUGHLY CLEAN THE ORGANICS AND OTHER CONTAMINANTS ON ALL SIDES FULL HEIGHT OF THE STACK. BRILL THE OPENINGS ON THE WEST SIDE WITH REPLACEMENT BRICKS.
- J. NEW METAL COPING. CONSTRUCT A NEW METAL COPING ON TOP OF THE EXISTING WALL. INSTALL A DOUBLE 2x P.T. CONTINUOUS WOOD PLATE ANCHORED TO THE BRICK WALL WITH HILTI ADHESIVE ANCHORS AT 8" O.C. INSTALL METAL COPING OVER THE TREATED WOOD PLATE AND EXTEND DOWN THE WALL ON BOTH SIDES. COLOR BY ARCHITECT AND OWNER.
- K. STONE CRACK REPAIR. ROUT THE EXISTING STONE CRACK ALONG ITS ENTIRE LENGTH AND FILL WITH CLOSED CELL FOAM BACKER ROD AND SEALANT. USE SEALANT THAT MATCHES THE SURROUNDING STONE AS CLOSELY AS POSSIBLE. SUBMIT A COLOR SAMPLE OF THE SEALANT FOR REVIEW. SEE ALSO NOTE F ABOVE REGARDING JOINT SEALANT.
- L. GRAFFITI REMOVAL. REMOVE GRAFFITI WITH CLEANING SOLUTION AS INDICATED IN THE WRITTEN SPECIFICATIONS. USE THE MOST MILD METHOD THAT EFFECTIVELY REMOVES THE PAINT.
- M. CLEAN MASONRY SURFACE. CLEAN THE MASONRY SURFACE OF DIRT, GRIME, ORGANICS, CARBON ACCUMULATION, STAINS, PAINT AND OTHER CONTAMINANTS. AS INDICATED IN THE WRITTEN SPECIFICATIONS.
- N. WINDOW DOOR INFILL. INFILL EXISTING WINDOW OR DOOR OPENING WITH A STUD WALL. PRESSURE TREATED 2x6 @ 16" O.C. ANCHOR STUD WALL TO ALL FOUR SIDES OF THE EXISTING MASONRY OPENING WITH 1/2" DIA. HILTI ADHESIVE ANCHORS @ 12" O.C. SHEATHING - 1/2" EXTERIOR GRADE PLYWOOD. SEE ARCHITECTURAL DRAWINGS FOR THE FINISH MATERIAL OVER THE PLYWOOD SHEATHING.
- O. REMOVE EXISTING DOOR AND REPLACE WITH NEW WINDOW. REMOVE EXISTING DOOR COMPLETE AND REPLACE WITH A NEW WINDOW TO MATCH EXISTING.
- P. REPAIR/REPLACE EXISTING WINDOWS. REMOVE EXISTING PLYWOOD (IF APPLICABLE) AND INSPECT ALL WINDOWS - REPAIR/REPLACE WINDOWS AS NEEDED.
- Q. REMOVE OVERHEAD DOOR AND REPLACE WITH STOREFRONT WINDOWS.
- R. ALL EXISTING DOCKS TO REMAIN UNLESS OTHERWISE NOTED.
- S. REMOVE EXISTING WINDOWS AND BRICK FOR NEW WINDOWS. REMOVE EXISTING WINDOW AND CREATE A NEW OPENING IN THE MASONRY TO PREPARE FOR NEW WINDOW. NEW WINDOW SHOULD MATCH EXISTING 1-OVER-1 WINDOW ON THE SAME FACADE. NEW STONE SILLS.
- T. TERRAZZOTA ROOF CAP CLEAN, REPAIR, REPLACE AS NEEDED.
- U. REMOVE ALL EXISTING AWNINGS COMPLETE. UNLESS OTHERWISE NOTED.
- V. REPLACE EXISTING DOWNSPOUTS.
- W. NEW CONCRETE PATIO w/ EXTERIOR GUARDRAIL. EXTERIOR GUARDRAIL @ 42" AFF (SEE DETAIL S) CONCRETE PATIO TO RECEIVE A SLIP RESISTANT BROOM FINISH.
- X. EXISTING BRIDGE/PEDWAY TO REMAIN.

MASONRY REPAIR GENERAL NOTES

- EXISTING CONDITIONS**
- REPORT TO THE ARCHITECT/ENGINEER ANY EXISTING CONDITIONS WHICH PREVENT THE WORK FROM BEING PERFORMED IN ACCORDANCE WITH THE PLANS BEFORE PROCEEDING WITH THE WORK.
  - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS LOCATING EXISTING CONSTRUCTION BEFORE FABRICATION OF NEW CONSTRUCTION BEGINS. IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER.
  - SIZE AND DIMENSIONS AND MASONRY PROFILES AS INDICATED ON THE DRAWINGS RELATED TO EXISTING CONSTRUCTION WERE TAKEN FROM PHOTOS AND FIELD EXAMINATION FROM GROUND LEVEL. CONTRACTOR TO FIELD VERIFY ALL SUCH INFORMATION BEFORE CONSTRUCTION BEGINS. IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER.
  - WHERE EXISTING GRADE IS SHOWN ON THE MASONRY REPAIR ELEVATIONS, GRADE LINE IS APPROXIMATE. FIELD VERIFY THE EXACT PROFILE AND ELEVATIONS FOR EXISTING GRADE. WHERE FINISH GRADE VARIES FROM EXISTING GRADE, RESTORE MASONRY DOWN TO FINISH GRADE AS FIELD CONDITIONS DICTATE.

**GENERAL SCOPE OF THE EXTERIOR MASONRY REPAIRS**

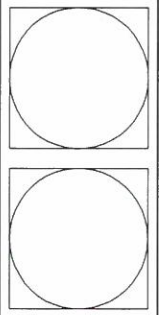
THE ELEVATION DRAWINGS SHOW REPAIR PROCEDURES FOR THE VARIOUS MASONRY REPAIRS NEEDED ON THE EXTERIOR FACADE OF THE BUILDING. THIS INCLUDES REPAIR OF BRICK MASONRY, STONE. CONTRACTOR SHALL DETERMINE THE SCOPE OF THE REPAIRS INDICATED ON THE ELEVATIONS ON THE MEANS OF AN ARMS-LENGTH SURVEY OF THE ENTIRE EXTERIOR OF THE BUILDING USING AN AERIAL LIFT OR SWING STAGE PLATFORM OR OTHER MEANS AS DETERMINED BY THE CONTRACTOR. SUBMIT THE RESULTS OF THE SURVEY IN GRAPHICAL FORM TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO THE START OF REPAIR WORK.

ALL THE SURFACE AREAS OF THE ELEVATIONS OF THIS BUILDING SHALL BE MADE WATERTIGHT BY MASONRY RESTORATION. DO NOT LEAVE BRICK OR MORTAR JOINTS IN AN OPEN OR UNSTABLE OR DETERIORATED CONDITION.

- MASONRY REPAIR GENERAL NOTES**
- REMOVE EXTRANEIOUS METAL ATTACHMENTS AND UTILITY CONDUITS AND PIPING. ENSURE THAT EXTRANEIOUS UTILITY ATTACHMENTS ARE ABANDONED BEFORE REMOVAL. DO NOT REMOVE WALL ANCHORS THAT SECURE BUILDING COMPONENTS. FIELD VERIFY THE LOCATION OF SUCH ANCHORS BEFORE WORK BEGINS. COORDINATE WITH THE DESIGNATED DIRT/RIB REPRESENTATIVE.
  - REMOVE PLANT GROWTH AND ORGANIC MATERIAL ENTIRELY. DO NOT DAMAGE BRICK OR STONE IN THE PROCESS.
  - CLEAN AREAS AFTER RE-POINTING AND BRICK REPLACEMENT WORK IS COMPLETE. PROTECT ADJACENT AREAS OF MASONRY FROM THE CLEANING CHEMICALS AS REQUIRED. BLEND TO MATCH EXISTING ADJACENT MASONRY.
  - PREPARE MOCK-UPS FOR THE FOLLOWING WORK ITEMS:
    - a. MORTAR JOINT CLEANING AND REMOVAL OF OLD MORTAR AND SEALANT FOR EACH JOINT TYPE
    - b. MORTAR JOINT RE-POINTING WITH REPLACEMENT MORTAR MIX FOR EACH JOINT TYPE
    - c. JOINT SEALANT
    - d. BRICK REPLACEMENT
    - e. STONE REPLACEMENT
- REFER TO THE WRITTEN SPECIFICATIONS FOR ADDITIONAL INFORMATION ON MOCK-UPS. WORK SHALL PROCEED ONLY AFTER MOCK-UPS ARE APPROVED. ARCHITECT/ENGINEER MAY STOP WORK IF IT IS DETERMINED THAT WORK IS NOT BEING PERFORMED IN ACCORDANCE WITH THE APPROVED MOCK-UPS.
- PROVIDE SAMPLES OF REPLACEMENT BRICK, EACH RE-POINTING MORTAR, AND SPALL/PATCH MATERIAL PRIOR TO THE START OF WORK, WHERE MASONRY WALLS ARE SCHEDULED TO BE REMOVED FROM THE PROJECT. CONTRACTOR SHALL SALVAGE BRICK AND STORE IT ON-SITE FOR USE AS REPLACEMENT BRICK.
  - CONTRACTOR SHALL HAVE TESTS PERFORMED ON REPRESENTATIVE MORTAR SAMPLES TAKEN FROM THE EXISTING MORTAR JOINTS FOR EACH JOINT TYPE. TESTS SHALL BE MADE TO DETERMINE THE COMPONENTS AND PROPORTIONS OF THE EXISTING MORTAR FOR MATCHING OF NEW MORTAR. EXISTING. REFER TO THE WRITTEN SPECIFICATIONS FOR THE TESTING REQUIREMENTS.
  - PROTECT THE BUILDING FROM THE DELETERIOUS EFFECT OF CLEANING CHEMICALS DURING THE COURSE OF THE WORK. DO NOT DAMAGE EXISTING PORTIONS OF THE BUILDING THAT ARE TO REMAIN.
  - REMOVE AND REPLACE BRICK OR STONE THAT IS INADVERTENTLY DAMAGED IN THE EXECUTION OF THE MASONRY RESTORATION WORK, AT NO ADDITIONAL EXPENSE TO OWNER.
  - THE ELEVATION DRAWINGS SHOW THE GENERAL LAYOUT OF THE FACADE OF THE BUILDING. IT SHOULD BE ANTICIPATED THAT SOME VARIATIONS WILL BE ENCOUNTERED BETWEEN THE DRAWN ELEVATIONS AND THE ACTUAL BUILDING FACADE ELEMENTS. FIELD VERIFY AS REQUIRED TO VERIFY THE SCOPE OF THE FACADE MASONRY. FIELD VERIFY THE EXACT MASONRY MATERIALS FOUND ON THE BUILDING INCLUDING BRICK AND STONE. REPORT MATERIALS THAT MAY DIFFER FROM THE ELEVATIONS DRAWINGS.
  - CONTRACTOR SHALL TAKE ALL MEANS NECESSARY TO PROTECT THE BUILDINGS WITHIN AND AROUND THE PROJECT SITE, INCLUDING PROVIDING APPROPRIATE FILTER MEDIA ON ALL AIR INTAKES ON THE BUILDING AND THE ROOF. REPORT TO THE PROJECT MANAGER AND ENGINEER THAT ALL AIR INTAKES HAVE BEEN IDENTIFIED AND PROTECTED AGAINST THE INTRUSION OF DUST AND DEBRIS. DO NOT ALLOW DUST, DEBRIS, TRASH OR OTHER AIRBORNE MATERIALS TO ENTER OR AFFECT THE OPERATION OF EQUIPMENT ON THE ADJACENT PROPERTY.
  - ALL GRINDING, SANDING AND ANY DUST GENERATING EQUIPMENT SHALL BE EQUIPPED WITH A DUST COLLECTION SYSTEM AT ALL TIMES DURING THE COURSE OF THE WORK TO PREVENT AIRBORNE DUST AND DEBRIS IN AND AROUND THE PROJECT SITE. PROJECT MANAGER OR ENGINEER MAY STOP WORK IF DUST COLLECTION IS DEEMED INADEQUATE.

REVISIONS			
NO.	DATE	BY	DESCRIPTION

COMM	DRAWN	IN	DATE
A7745	JTB	HSE	3/23/20



WAREHOUSE  
CONVERSION

1409-1417 LYTLE STREET

BUILDING  
ELEVATIONS

ARCHITECTURAL

550 S. 4TH STREET  
LOUISVILLE, KY 40202  
V. 502.583.8986  
F. 502.583.8414  
www.josephandjoseph.com

**JOSEPH & JOSEPH**  
ARCHITECTS SINCE 1908

© 2020 Carson M. Staker IV, Architect, Eric R. Heilmann, Architect

SHEET  
A202

SET

3/24/2020 5:29:03 PM

RECEIVED

OCT 02 2020

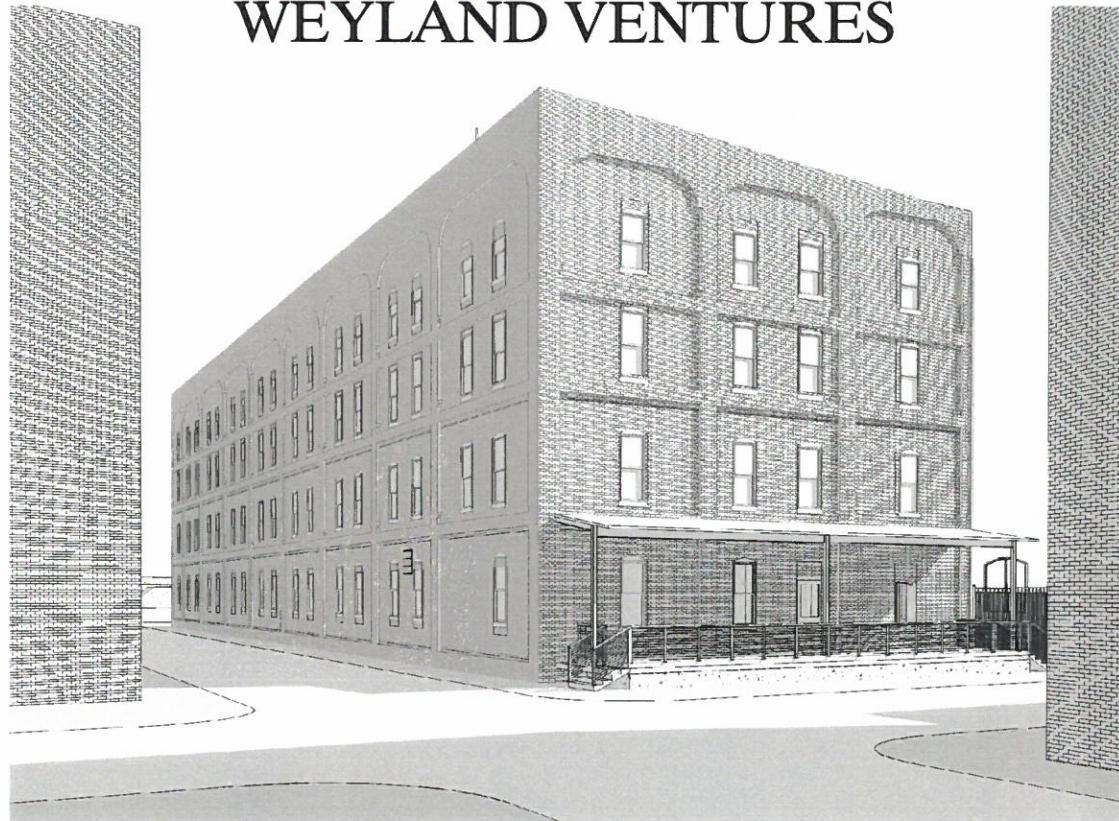
PLANNING & DESIGN  
SERVICES

20-CAT3-00



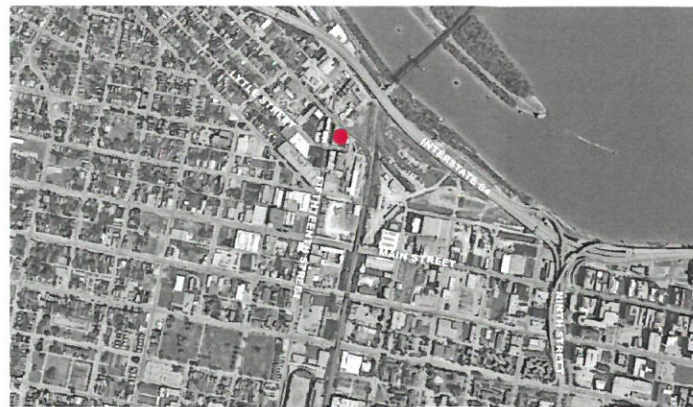
# AUDUBON APARTMENTS

1427 LYTLE STREET  
WEYLAND VENTURES



OWNER	ARCHITECTURAL	CIVIL ENGINEER	STRUCTURAL ENGINEERS	MEP ENGINEERS
WEYLAND VENTURES 815 W MARKET STREET ST #110 LOUISVILLE, KY 40202 502.515.2489 CONTACT: KEN BROWN	JOSEPH & JOSEPH ARCHITECTS 550 S 4TH STREET LOUISVILLE, KY 40202 502.583.888 CONTACT: CASH MOTER	MILESTONE DESIGN GROUP 108 DAVENTRY LANE, SUITE 300 LOUISVILLE, KY 40223 502.327.7073 CONTACT: MARK MADISON	KPFF 125 SOUTH 6TH STREET, SUITE 200 LOUISVILLE, KY 40202 502.325.0100 CONTACT: AARON DALEY	SHROUT TATE WILSON 207 W MARKET STREET, SUITE 200 LOUISVILLE, KY 40202 502.829.3001 CONTACT: JOSH CAIRELL

- ALL DIMENSIONS TO PARTITIONS OR INTERIOR WALLS ARE TO CENTER LINE OF NEW WALLS & FACE OF EXISTING WALLS
- WALL DIMENSIONS FROM EXTERIOR WALLS ARE FROM FINISH FACE OF INTERIOR SIDE OF WALL
- ALL CONSTRUCTION INDICATED TO BE FIRE RATED SHALL MEET UNDERWRITERS LABORATORY RATED CONSTRUCTION & ASSEMBLY.
- ALL FIRE RATED WALL ASSEMBLIES TO EXTEND FROM FLOOR TO UNDERSIDE OF DECK ABOVE UNLESS NOTED OTHERWISE
- ALL FIRE RATED WALL ASSEMBLIES RATING TO REMAIN INTACT EVEN IF PENETRATED. ALL PENETRATIONS TO BE SEALED TO MAINTAIN THE WALL RATING.
- ALL RIGID FOAM INSULATION TO BE PROTECTED BY A MIN OF 1/2" FIRE CODE "X" GWB.
- WALL & FLOOR FINISHES SHALL NOT EXTEND BEHIND OR UNDER ANY PERMANENTLY ATTACHED CASEWORK, EQUIPMENT, ETC. UNLESS NOTED OTHERWISE.
- FINISH BASE TO BE INSTALLED ON ALL PERMANENTLY ATTACHED CASEWORK OR EQUIPMENT. BASE TO BE SAME AS ROOM.
- A MIN OF 1" RIGID FOAM INSULATION IS TO BE INSTALLED BETWEEN EXTERIOR WALL AND ANY PIPE OR DUCTWORK IN A CHASE OR IN FURRING (FULL HEIGHT & WIDTH OF CHASE OR FURRING).
- CONTROL JOINTS & EXPANSION JOINTS IN EXTERIOR WALL ARE ALSO TO OCCUR IN GWB AT SAME LOCATION.
- CONDUITS, PIPES, DUCTS, SLEEVES, ETC PASSING THROUGH ANY STRUCTURAL SLAB OR WALL SHALL BE LOCATED NOT TO IMPAIR THE STRENGTH OF THE CONSTRUCTION AND NOT BE PLACED ANY CLOSER THAN (3) DIAMETERS OR WIDTHS ON CENTER
- MAINTAIN THE SOUND RATING OF ALL PARTITIONS OR WALLS WHERE EVER TOILET ACCESSORIES, ELECTRICAL BOXES, MECHANICAL EQUIPMENT, OR ANY OTHER ITEM PENETRATES THE WALL OR PARTITION ASSEMBLY.
- PROVIDE FIRE TREATED WOOD BLOCKING BETWEEN STUDS FOR ATTACHMENT OF ANY ITEM TO BE MOUNTED ON A STUD WALL OR PARTITION.
- ALL WOOD IN CONCEALED SPACES TO BE FIRE TREATED.
- FINISHES IN ALL CLOSETS TO BE THE SAME AS ROOM THAT CLOSET OPENS INTO. ALL CLOSETS TO HAVE A SHELF AND COAT ROD, UNLESS NOTED OTHERWISE
- ACOUSTICAL TILE MAIN SUPPORT RUNNERS TO RUN IN THE DIRECTION THAT BEST SUITES THE INSTALLATION. THIS IS TO TAKE IN CONSIDERATION ABOVE CEILING STRUCTURE, MECHANICAL EQUIPMENT AND ACCESS, CEILING MOUNTED EQUIPMENT, ETC.
- NO DUCT WORK IS TO BE FABRICATED OR INSTALLED UNTIL ALL DEMO WORK IS COMPLETED AND COORDINATION WITH ALL TRADES HAVE BEEN REVIEWED.



VICINITY MAP

CIVIL			
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Date
C1	COVER	03/11/20	
C2	TYPICAL DETAILS	03/11/20	
C3	TYPICAL DETAILS	03/11/20	
C4	SITE LAYOUT PLAN	03/11/20	
C5	COMPOSITE DRAINAGE, GRADING & ESPC PLAN	03/11/20	
C6	SITE UTILITY PLAN	03/11/20	

DEMOLITION			
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Date
D100	BASEMENT DEMOLITION PLAN	3/23/20	
D101	FIRST FLOOR DEMOLITION PLAN	3/23/20	
D102	SECOND FLOOR DEMOLITION PLAN	3/23/20	
D103	THIRD DEMOLITION PLAN	3/23/20	
D104	FOURTH FLOOR DEMOLITION PLAN	3/23/20	

ARCHITECTURAL							
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Date	Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Date
A001	CODE REVIEW	3/23/20		A502	UNIT TYPE "B" ENLARGED PLANS	3/23/20	
A002	FIRE CODE PLAN	3/23/20		A503	UNIT TYPE "C" ENLARGED PLANS	3/23/20	
A003	STC RATING SHEET	3/23/20		A504	UNIT TYPE "D" ENLARGED PLANS	3/23/20	
A004	ADA CLEARANCES	3/23/20		A505	UNIT TYPE "E" ENLARGED PLANS	3/23/20	
A005	UNIT MATRIX	3/23/20		A506	UNIT TYPE "F" ENLARGED PLANS	3/23/20	
A100	BASEMENT PLAN	3/23/20		A507	UNIT TYPE "G" ENLARGED PLANS	3/23/20	
A101	FIRST FLOOR PLAN	3/23/20		A508	UNIT TYPE "H" ENLARGED PLANS	3/23/20	
A102	SECOND FLOOR PLAN	3/23/20		A509	UNIT TYPE "J" ENLARGED PLANS	3/23/20	
A103	THIRD FLOOR PLAN	3/23/20		A510	UNIT TYPE "K" ENLARGED PLANS	3/23/20	
A104	FOURTH FLOOR PLAN	3/23/20		A511	UNIT TYPE "L" ENLARGED PLANS	3/23/20	
A105	ROOF PLAN	3/23/20		A512	UNIT TYPE "M" ENLARGED PLANS	3/23/20	
A201	BUILDING ELEVATIONS	3/23/20		A601	STAIR PLANS & DETAILS	3/23/20	
A202	BUILDING ELEVATIONS	3/23/20		A602	STAIR PLANS & DETAILS	3/23/20	
A301	BUILDING SECTIONS	3/23/20		A603	STAIR DETAILS	3/23/20	
A302	BUILDING SECTIONS	3/23/20		A701	INTERIOR WALL DETAILS	3/23/20	
A401	EXTERIOR WALL SECTIONS	3/23/20		A704	T.P.O. ROOFING DETAILS	3/23/20	
A501	UNIT TYPE "A" ENLARGED PLANS	3/23/20		A802	DOOR & WDW SCH & DTLS	3/23/20	

STRUCTURAL							
Sheet Number	Sheet Name	Sheet Issue Date	Revision	Sheet Number	Sheet Name	Sheet Issue Date	Revision
S0.1	GENERAL NOTES	1/17/2020		S4.1	FRAMING DETAILS	1/17/2020	
S0.2	GENERAL NOTES	1/17/2020		S4.2	FRAMING DETAILS	1/17/2020	
S0.3	SPECIAL INSTRUCTIONS	1/17/2020		SR0.1	STRUCTURAL REPAIR NOTES	1/17/2020	
S0.4	SPECIAL INSTRUCTIONS	1/17/2020		SR1.1	BASEMENT AND FIRST FLOOR REPAIR PLANS	1/17/2020	
S1.1	BASEMENT AND FIRST FLOOR PLANS	1/17/2020		SR2.1	SECOND AND THIRD FLOOR REPAIR PLANS	1/17/2020	
S2.1	SECOND AND THIRD FLOOR PLANS	1/17/2020		SR2.2	FOURTH FLOOR AND ROOF REPAIR PLANS	1/17/2020	
S2.2	FOURTH FLOOR AND ROOF PLANS	1/17/2020		SR5.1	REPAIR DETAILS	1/17/2020	
S3.1	FOUNDATION DETAILS	1/17/2020		SR5.2	REPAIR DETAILS	1/17/2020	

SITE UTILITY			
Sheet Number	Sheet Name	Sheet Issue Date	Revision
U100	PLUMBING SITE UTILITIES	03/16/20	

ELECTRICAL							
Sheet Number	Sheet Name	Sheet Issue Date	Revision	Sheet Number	Sheet Name	Sheet Issue Date	Revision
E001	ELECTRICAL LEGEND	03/16/20		E205	ROOF PLAN - POWER AND SYSTEMS	03/16/20	
E002	ELECTRICAL LEGEND	03/16/20		E401	ENLARGED UNIT PLANS - ELECTRICAL	03/16/20	
E100	BASEMENT PLAN - LIGHTING	03/16/20		E402	ENLARGED UNIT PLANS - ELECTRICAL	03/16/20	
E101	FIRST FLOOR PLAN - LIGHTING	03/16/20		E403	ENLARGED UNIT PLANS - ELECTRICAL	03/16/20	
E102	SECOND FLOOR PLAN - LIGHTING	03/16/20		E404	ENLARGED UNIT PLANS - ELECTRICAL	03/16/20	
E103	THIRD FLOOR PLAN - LIGHTING	03/16/20		E405	ENLARGED UNIT PLANS - ELECTRICAL	03/16/20	
E104	FOURTH FLOOR PLAN - LIGHTING	03/16/20					
E200	BASEMENT PLAN - POWER & SYSTEMS	03/16/20					
E201	FIRST FLOOR PLAN - POWER & SYSTEMS	03/16/20					
E202	SECOND FLOOR PLAN - POWER & SYSTEMS	03/16/20					
E203	THIRD FLOOR PLAN - POWER & SYSTEMS	03/16/20					
E204	FOURTH FLOOR PLAN - POWER & SYSTEMS	03/16/20					

FIRE PROTECTION			
Sheet Number	Sheet Name	Sheet Issue Date	Revision
FP100	BASEMENT, FIRST & SECOND FLOOR PLANS - FIRE PROTECTION	03/16/20	
FP101	THIRD & FOURTH FLOOR PLANS - FIRE PROTECTION	03/16/20	

PLUMBING							
Sheet Number	Sheet Name	Sheet Issue Date	Revision	Sheet Number	Sheet Name	Sheet Issue Date	Revision
P001	PLUMBING LEGEND	03/16/20		P402	ENLARGED UNIT PLANS - SANITARY SEWER	03/16/20	
P002	PLUMBING GENERAL NOTES	03/16/20		P500	PLUMBING RISERS	03/16/20	
P100	BASEMENT PLAN - SANITARY SEWER	03/16/20		P501	PLUMBING DETAILS	03/16/20	
P101	FIRST FLOOR PLAN - SANITARY SEWER	03/16/20		P600	PLUMBING SCHEDULE	03/16/20	
P102	SECOND FLOOR PLAN - SANITARY SEWER	03/16/20		PD100	BASEMENT DEMOLITION PLAN - PLUMBING	03/16/20	
P103	THIRD FLOOR PLAN - SANITARY SEWER	03/16/20		PD101	FIRST FLOOR DEMOLITION PLAN - PLUMBING	03/16/20	
P104	FOURTH FLOOR PLAN - SANITARY SEWER	03/16/20		PD102	SECOND FLOOR DEMOLITION PLAN - PLUMBING	03/16/20	
P105	ROOF PLAN - SANITARY SEWER	03/16/20		PD103	THIRD FLOOR DEMOLITION PLAN - PLUMBING	03/16/20	
P200	BASEMENT PLAN - DOMESTIC WATER	03/16/20		PD104	FOURTH FLOOR DEMOLITION PLAN - PLUMBING	03/16/20	
P301	PLUMBING SECTIONS & ISOMETRICS	03/16/20		PD105	ROOF DEMOLITION PLAN - PLUMBING	03/16/20	
P400	ENLARGED UNIT PLANS - SANITARY SEWER	03/16/20					
P401	ENLARGED UNIT PLANS - SANITARY SEWER	03/16/20					

MECHANICAL							
Sheet Number	Sheet Name	Sheet Issue Date	Revision	Sheet Number	Sheet Name	Sheet Issue Date	Revision
M001	MECHANICAL LEGEND	03/16/20		M300	SECTIONS AND PERSPECTIVE VIEWS - HVAC	03/16/20	
M002	MECHANICAL GENERAL NOTES	03/16/20		M400	TYPICAL MECHANICAL ROOM PLANS	03/16/20	
M100	BASEMENT PLAN - HVAC	03/16/20		M401	ENLARGED UNIT PLANS	03/16/20	
M101	FIRST FLOOR PLAN - HVAC	03/16/20		M402	ENLARGED UNIT PLANS	03/16/20	
M102	SECOND FLOOR PLAN - HVAC	03/16/20		M403	ENLARGED UNIT PLANS	03/16/20	
M103	THIRD FLOOR PLAN - HVAC	03/16/20		M500	MECHANICAL DETAILS	03/16/20	
M104	FOURTH FLOOR PLAN - HVAC	03/16/20		MD100	DEMOLITION FLOOR PLANS - MECHANICAL	03/16/20	
M105	ROOF PLAN - HVAC	03/16/20		MD101	DEMOLITION FLOOR PLANS - MECHANICAL	03/16/20	

RECEIVED

OCT 02 2020

PLANNING & DESIGN SERVICES

REVISIONS

NO.	DATE	DESCRIPTION

COMM A7745  
DRAWN ZW  
IN THE CN  
DATE 3/23/20

1427 LYTLE - AUDUBON APARTMENTS  
ARCHITECTS SINCE 1988  
LOUISVILLE, KY 40202  
WEYLAND VENTURES

TITLE SHEET  
ARCHITECTURAL

SHEET T100  
SET

BUILDING PERMIT SET

500 S. 4TH STREET  
LOUISVILLE, KY 40202  
V. 502.583.8888  
F. 502.583.8414  
www.josephandjoseph.com

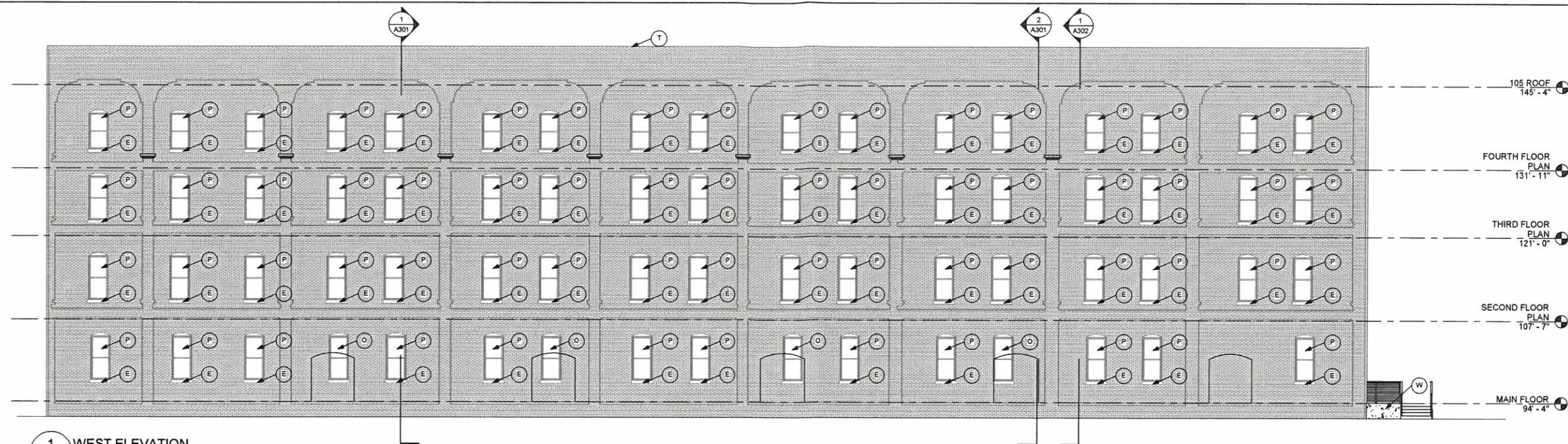
© 2019 C. Merrill Moore III Architect, Curator St. Mark IV Architect

3/24/2020 5:43:29 PM

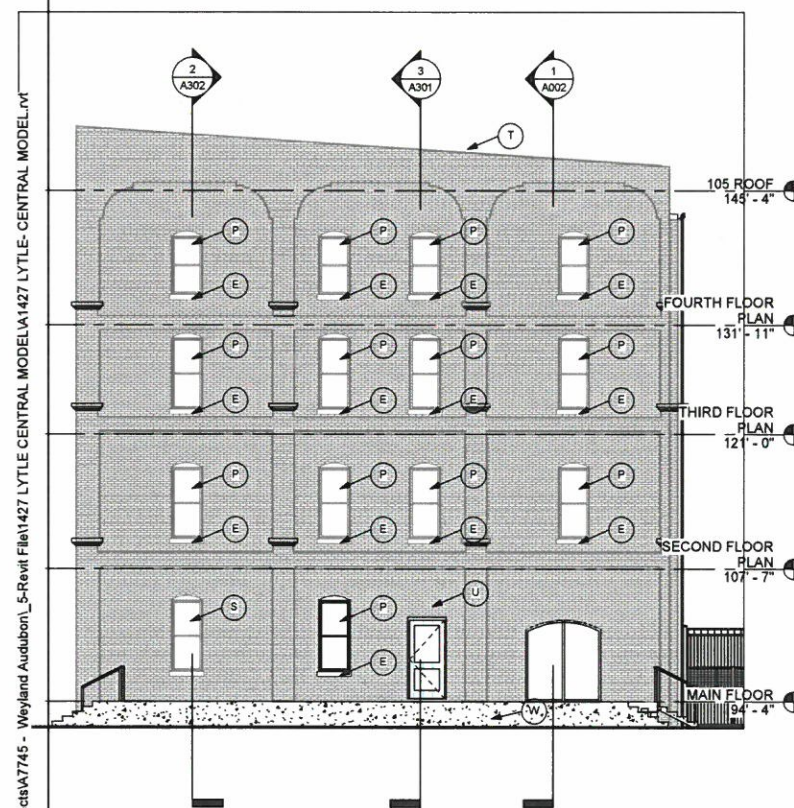
j:\josias-apps\Projects\A7745 - Weyland Audubon\5-Revit Files\1427 Lytle Central Model\1427 Lytle Central Model.rvt

20-CATB:01

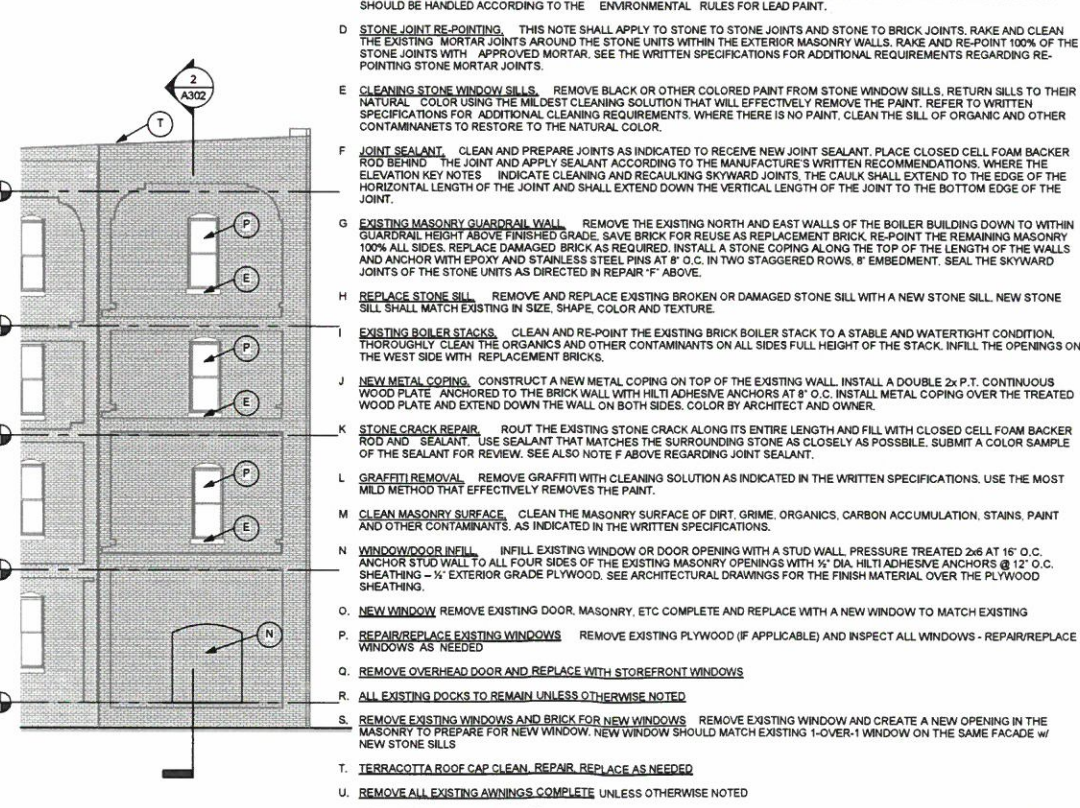




1 WEST ELEVATION  
A201 1/8" = 1'-0"



2 SOUTH ELEVATION  
A201 1/8" = 1'-0"



3 NORTH ELEVATION  
A201 1/8" = 1'-0"

MASONRY REPAIR KEY NOTES

- A. RE-POINT BRICK MASONRY MORTAR JOINTS. RE-POINT FAILED BRICK MORTAR JOINTS ON THE ENTIRE ELEVATION. RE-POINTING SHALL MEAN REMOVAL AND CLEANING OF THE EXISTING BED AND HEAD JOINT MORTAR TO A DEPTH AS INDICATED IN THE WRITTEN SPECIFICATIONS, AND RE-POINTING THE CLEANED AND PREPARED JOINT WITH NEW MORTAR. RE-POINTING MORTAR SHALL MATCH THE ADJACENT JOINTS IN TEXTURE, COLOR AND HARDNESS. SEE THE WRITTEN SPECIFICATIONS.
- B. REMOVE AND REPLACE DAMAGED BRICK. REMOVE AND REPLACE BRICK THAT IS SPALLED, CRACKED, MISSING OR HAS LOST A FRAGMENT. USE REPLACEMENT BRICK AS DIRECTED BY THE ARCHITECTS. RE-POINT THE MORTAR JOINTS AROUND THE REPLACEMENT BRICK AS INDICATED IN PARAGRAPH A ABOVE, AND ACCORDING TO WRITTEN SPECIFICATIONS.
- C. REPAINT 100% OF THE EXISTING STEEL LINTELS. REMOVE EXISTING PAINT AND RUST. PRIME AND REPAINT THE EXPOSED PORTIONS OF THE STEEL LINTELS ON EACH SIDE OF THE BUILDING. DO NOT DAMAGE OR STAIN ADJACENT BRICK OR WINDOW FRAMES. REPORT SEVERE CORROSION OR DAMAGE TO THE ENGINEER IMMEDIATELY UPON DISCOVERY. EXISTING PAINT MAY CONTAIN LEAD AND SHOULD BE HANDLED ACCORDING TO THE ENVIRONMENTAL RULES FOR LEAD PAINT.
- D. STONE JOINT RE-POINTING. THIS NOTE SHALL APPLY TO STONE TO STONE JOINTS AND STONE TO BRICK JOINTS. RAKE AND CLEAN THE EXISTING MORTAR JOINTS AROUND THE STONE UNITS WITHIN THE EXTERIOR MASONRY WALLS. RAKE AND RE-POINT 100% OF THE STONE JOINTS WITH APPROVED MORTAR. SEE THE WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS REGARDING RE-POINTING STONE MORTAR JOINTS.
- E. CLEANING STONE WINDOW SILLS. REMOVE BLACK OR OTHER COLORED PAINT FROM STONE WINDOW SILLS. RETURN SILLS TO THEIR NATURAL COLOR USING THE MILDEST CLEANING SOLUTION THAT WILL EFFECTIVELY REMOVE THE PAINT. REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL CLEANING REQUIREMENTS. WHERE THERE IS NO PAINT, CLEAN THE SILL OF ORGANIC AND OTHER CONTAMINANTS TO RESTORE TO THE NATURAL COLOR.
- F. JOINT SEALANT. CLEAN AND PREPARE JOINTS AS INDICATED TO RECEIVE NEW JOINT SEALANT. PLACE CLOSED CELL FOAM BACKER ROD BEHIND THE JOINT AND APPLY SEALANT ACCORDING TO THE MANUFACTURER'S WRITTEN RECOMMENDATIONS. WHERE THE ELEVATION KEY NOTES INDICATE CLEANING AND RECALCULATING SKYWARD JOINTS, THE CALK SHALL EXTEND TO THE EDGE OF THE HORIZONTAL LENGTH OF THE JOINT AND SHALL EXTEND DOWN THE VERTICAL LENGTH OF THE JOINT TO THE BOTTOM EDGE OF THE JOINT.
- G. EXISTING MASONRY GUARDRAIL WALL. REMOVE THE EXISTING NORTH AND EAST WALLS OF THE BOILER BUILDING DOWN TO WITHIN GUARDRAIL HEIGHT ABOVE FINISHED GRADE. SAVE BRICK FOR REUSE AS REPLACEMENT BRICK. RE-POINT THE REMAINING MASONRY 100% ALL SIDES. REPLACE DAMAGED BRICK AS REQUIRED. INSTALL A STONE COPING ALONG THE TOP OF THE LENGTH OF THE WALLS AND ANCHOR WITH EPOXY AND STAINLESS STEEL PINS AT 8" O.C. IN TWO STAGGERED ROWS, 8" EMBEDMENT. SEAL THE SKYWARD JOINTS OF THE STONE UNITS AS DIRECTED IN REPAIR 'F' ABOVE.
- H. REPLACE STONE SILL. REMOVE AND REPLACE EXISTING BROKEN OR DAMAGED STONE SILL WITH A NEW STONE SILL. NEW STONE SILL SHALL MATCH EXISTING IN SIZE, SHAPE, COLOR AND TEXTURE.
- I. EXISTING BOILER STACKS. CLEAN AND RE-POINT THE EXISTING BRICK BOILER STACK TO A STABLE AND WATER-TIGHT CONDITION. THOROUGHLY CLEAN THE ORGANICS AND OTHER CONTAMINANTS ON ALL SIDES FULL HEIGHT OF THE STACK. INFILL THE OPENINGS ON THE WEST SIDE WITH REPLACEMENT BRICKS.
- J. NEW METAL COPING. CONSTRUCT A NEW METAL COPING ON TOP OF THE EXISTING WALL. INSTALL A DOUBLE 2xPT. CONTINUOUS WOOD PLATE ANCHORED TO THE BRICK WALL WITH HILTI ADHESIVE ANCHORS AT 8" O.C. INSTALL METAL COPING OVER THE TREATED WOOD PLATE AND EXTEND DOWN THE WALL ON BOTH SIDES. COLOR BY ARCHITECT AND OWNER.
- K. STONE CRACK REPAIR. ROUT THE EXISTING STONE CRACK ALONG ITS ENTIRE LENGTH AND FILL WITH CLOSED CELL FOAM BACKER ROD AND SEALANT. USE SEALANT THAT MATCHES THE SURROUNDING STONE AS CLOSELY AS POSSIBLE. SUBMIT A COLOR SAMPLE OF THE SEALANT FOR REVIEW. SEE ALSO NOTE F ABOVE REGARDING JOINT SEALANT.
- L. GRAFFITI REMOVAL. REMOVE GRAFFITI WITH CLEANING SOLUTION AS INDICATED IN THE WRITTEN SPECIFICATIONS. USE THE MOST MILD METHOD THAT EFFECTIVELY REMOVES THE PAINT.
- M. CLEAN MASONRY SURFACE. CLEAN THE MASONRY SURFACE OF DIRT, GRIME, ORGANICS, CARBON ACCUMULATION, STAINS, PAINT AND OTHER CONTAMINANTS, AS INDICATED IN THE WRITTEN SPECIFICATIONS.
- N. WINDOW/DOOR INFILL. INFILL EXISTING WINDOW OR DOOR OPENING WITH A STUD WALL. PRESSURE TREATED 2x6 AT 16" O.C. ANCHOR STUD WALL TO ALL FOUR SIDES OF THE EXISTING MASONRY OPENINGS WITH 1/2" DIA. HILTI ADHESIVE ANCHORS @ 12" O.C. SHEATHING - 1/2" EXTERIOR GRADE PLYWOOD. SEE ARCHITECTURAL DRAWINGS FOR THE FINISH MATERIAL OVER THE PLYWOOD SHEATHING.
- O. NEW WINDOW. REMOVE EXISTING DOOR, MASONRY, ETC COMPLETE AND REPLACE WITH A NEW WINDOW TO MATCH EXISTING.
- P. REPAIR/REPLACE EXISTING WINDOWS. REMOVE EXISTING FLYWOOD (IF APPLICABLE) AND INSPECT ALL WINDOWS - REPAIR/REPLACE WINDOWS AS NEEDED.
- Q. REMOVE OVERHEAD DOOR AND REPLACE WITH STOREFRONT WINDOWS.
- R. ALL EXISTING DOCKS TO REMAIN UNLESS OTHERWISE NOTED.
- S. REMOVE EXISTING WINDOWS AND BRICK FOR NEW WINDOWS. REMOVE EXISTING WINDOW AND CREATE A NEW OPENING IN THE MASONRY TO PREPARE FOR NEW WINDOW. NEW WINDOW SHOULD MATCH EXISTING 1-OVER-1 WINDOW ON THE SAME FACADE w/ NEW STONE SILLS.
- T. TERRAZZOTA ROOF CAP CLEAN, REPAIR, REPLACE AS NEEDED.
- U. REMOVE ALL EXISTING AWNINGS COMPLETE UNLESS OTHERWISE NOTED.
- V. REPLACE EXISTING DOWNSPOUTS.
- W. NEW CONCRETE PAVEMENT EXTERIOR GUARDRAIL. EXTERIOR GUARDRAIL @ 42" HIGH (SEE DETAILS) CONCRETE PAVEMENT TO RECEIVE SLIP RESISTANT BROOM FINISH.
- X. EXISTING BRIDGE/PEDWAY TO REMAIN.
- Y. REPLACE GUTTERS.

MASONRY REPAIR GENERAL NOTES

- EXISTING CONDITIONS**
- REPORT TO THE ARCHITECT/ENGINEER ANY EXISTING CONDITIONS WHICH PREVENT THE WORK FROM BEING PERFORMED IN ACCORDANCE WITH THE PLANS BEFORE PROCEEDING WITH THE WORK.
  - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS LOCATING EXISTING CONSTRUCTION BEFORE FABRICATION OF NEW CONSTRUCTION BEGINS. IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER.
  - SIZE AND DIMENSIONS AND MASONRY PROFILES AS INDICATED ON THE DRAWINGS RELATED TO EXISTING CONSTRUCTION WERE TAKEN FROM PHOTOS AND FIELD EXAMINATION FORM GROUND LEVEL. CONTRACTOR TO FIELD VERIFY ALL SUCH INFORMATION BEFORE CONSTRUCTION BEGINS. IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER.
  - WHERE EXISTING GRADE IS SHOWN ON THE MASONRY REPAIR ELEVATIONS, GRADE LINE IS APPROXIMATE. FIELD VERIFY THE EXACT PROFILE AND ELEVATIONS FOR EXISTING GRADE. WHERE FINISH GRADE VARIES FROM EXISTING GRADE, RESTORE MASONRY DOWN TO FINISH GRADE AS FIELD CONDITIONS DICTATE.
- GENERAL SCOPE OF THE EXTERIOR MASONRY REPAIRS**
- THE ELEVATION DRAWINGS SHOW REPAIR PROCEDURES FOR THE VARIOUS MASONRY REPAIRS NEEDED ON THE EXTERIOR FAÇADE OF THE BUILDING. THIS INCLUDES REPAIR OF BRICK MASONRY STONE. CONTRACTOR SHALL DETERMINE THE SCOPE OF THE VARIOUS REPAIRS INDICATED ON THE ELEVATIONS BY MEANS OF AN ARMS-LENGTH SURVEY OF THE ENTIRE EXTERIOR OF THE BUILDING USING AN AERIAL LIFT OR SWING STAGE PLATFORM OR OTHER MEANS AS DETERMINED BY THE CONTRACTOR. SUBMIT THE RESULTS OF THE SURVEY IN GRAPHICAL FORM TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO THE START OF THE REPAIR WORK.
- ALL THE SURFACE AREAS OF THE ELEVATIONS OF THIS BUILDING SHALL BE MADE WATERTIGHT BY MASONRY RESTORATION. DO NOT LEAVE BRICK OR MORTAR JOINTS IN AN OPEN OR UNSTABLE OR DETERIORATED CONDITION.
- MASONRY REPAIR GENERAL NOTES**
- REMOVE EXTRANEOUS METAL ATTACHMENTS AND UTILITY CONDUITS AND PIPING. ENSURE THAT EXTRANEOUS UTILITY ATTACHMENTS ARE ABANDON BEFORE REMOVAL. DO NOT REMOVE WALL ANCHORS THAT SECURE BUILDING COMPONENTS. FIELD VERIFY THE LOCATION OF SUCH ANCHORS BEFORE WORK BEGINS. COORDINATE WITH THE DESIGNATED DIRT/RIB REPRESENTATIVE.
  - REMOVE PLANT GROWTH AND ORGANIC MATERIAL ENTIRELY. DO NOT DAMAGE BRICK OR STONE IN THE PROCESS.
  - CLEAN AREAS AFTER RE-POINTING AND BRICK REPLACEMENT WORK IS COMPLETE. PROTECT ADJACENT AREAS OF MASONRY FROM THE CLEANING CHEMICALS AS REQUIRED. BLEND TO MATCH EXISTING ADJACENT MASONRY.
  - PREPARE MOCK-UPS FOR THE FOLLOWING WORK ITEMS:
    - MORTAR JOINT CLEANING AND REMOVAL OF OLD MORTAR AND SEALANT FOR EACH JOINT TYPE
    - MORTAR JOINT RE-POINTING WITH REPLACEMENT MORTAR MIX FOR EACH JOINT TYPE
    - JOINT SEALANT
    - BRICK REPLACEMENT
    - STONE REPLACEMENT
- REFER TO THE WRITTEN SPECIFICATIONS FOR ADDITIONAL INFORMATION ON MOCK-UPS. WORK SHALL PROCEED ONLY AFTER MOCK-UPS ARE APPROVED. ARCHITECT/ENGINEER MAY STOP WORK IF IT IS DETERMINED THAT WORK IS NOT BEING PERFORMED IN ACCORDANCE WITH THE APPROVED MOCK-UPS.
- PROVIDE SAMPLES OF REPLACEMENT BRICK, EACH RE-POINTING MORTAR, AND SPALL/PATCH MATERIAL PRIOR TO THE START OF WORK. WHERE EXISTING MASONRY WALLS ARE SCHEDULED TO BE REMOVED FROM THE PROJECT, CONTRACTOR SHALL SALVAGE BRICK AND STORE IT ON SITE FOR USE AS REPLACEMENT BRICK.
  - CONTRACTOR SHALL HAVE TESTS PERFORMED ON REPRESENTATIVE MORTAR SAMPLES TAKEN FROM THE EXISTING MASONRY JOINTS FOR EACH MORTAR TYPE. TESTS SHALL BE MADE TO DETERMINE THE COMPONENTS AND PROPORTIONS OF THE EXISTING MORTAR FOR MATCHING OF NEW MORTAR TO EXISTING. REFER TO THE WRITTEN SPECIFICATIONS FOR THE TESTING REQUIREMENTS.
  - PROTECT THE BUILDING FROM THE DELETERIOUS EFFECT OF CLEANING CHEMICALS DURING THE COURSE OF THE WORK. DO NOT DAMAGE EXISTING PORTIONS OF THE BUILDING THAT ARE TO REMAIN.
  - REMOVE AND REPLACE BRICK OR STONE THAT IS INADVERTENTLY DAMAGED IN THE EXECUTION OF THE MASONRY RESTORATION WORK. AT NO ADDITIONAL EXPENSE TO OWNER.
  - THE ELEVATION DRAWINGS SHOW THE GENERAL LAYOUT OF THE FAÇADE OF THE BUILDING. IT SHOULD BE ANTICIPATED THAT SOME VARIATIONS WILL BE ENCOUNTERED BETWEEN THE DRAWN ELEVATIONS AND THE ACTUAL BUILDING FAÇADE ELEMENTS. FIELD VERIFY AS REQUIRED TO VERIFY THE EXACT SCOPE OF THE FAÇADE MASONRY. FIELD VERIFY THE EXACT MASONRY MATERIALS FOUND ON THE BUILDING INCLUDING BRICK AND STONE. REPORT MATERIALS THAT MAY DIFFER FROM THE ELEVATIONS DRAWINGS.
  - CONTRACTOR SHALL TAKE ALL MEANS NECESSARY TO PROTECT THE BUILDINGS WITHIN AND AROUND THE PROJECT SITE. INCLUDING PROVIDING APPROPRIATE FILTER MEDIA ON ALL AIR INTAKES ON THE BUILDING AND THE ROOF. REPORT TO THE PROJECT MANAGER AND ENGINEER THAT ALL AIR INTAKES HAVE BEEN IDENTIFIED AND PROTECTED AGAINST THE INTRUSION OF DUST AND DEBRIS. DO NOT ALLOW DUST, DEBRIS, TRASH OR OTHER AIRBORNE MATERIALS TO ENTER OR AFFECT THE OPERATION OF EQUIPMENT ON THE ADJACENT PROPERTY.
  - ALL GRINDING, SANDING AND ANY DUST GENERATING EQUIPMENT SHALL BE EQUIPPED WITH A DUST COLLECTION SYSTEM AT ALL TIMES DURING THE COURSE OF THE WORK TO PREVENT AIRBORNE DUST AND DEBRIS IN AND AROUND THE PROJECT. PROJECT MANAGER OR ENGINEER MAY STOP THE WORK IF DUST COLLECTION IS DEEMED INADEQUATE.

\\josios-apps\Projects\A7745 - Weyland Audubon\_5-Rev1 File\1427 LYTLE CENTRAL MODEL\A201 WEST ELEVATION MODEL.rvt

REVISIONS				
NO.	DESCRIPTION	DATE	BY	CHK

COM#	DATE	IN	DATE
A7745	3/23/20		

1427 LYTLE - AUDUBON APARTMENTS LOUISVILLE, KY 40202

JOSEPH & JOSEPH ARCHITECTS SINCE 1986

500 S. 4TH STREET LOUISVILLE, KY 40202 V. 502.583.8888 F. 502.583.8414 www.josephandjoseph.com

© 2019 C. Merrill Nicks III, Architect, Curator V. Nicks, IV, Architect

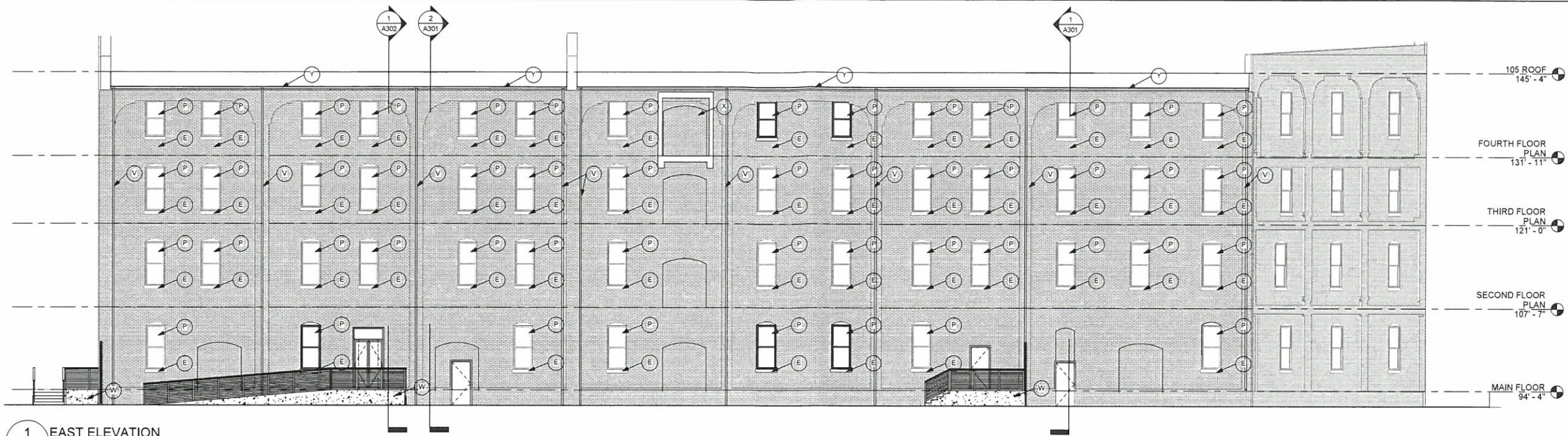
RECEIVED OCT 02 2020

PLANNING & DESIGN SERVICES

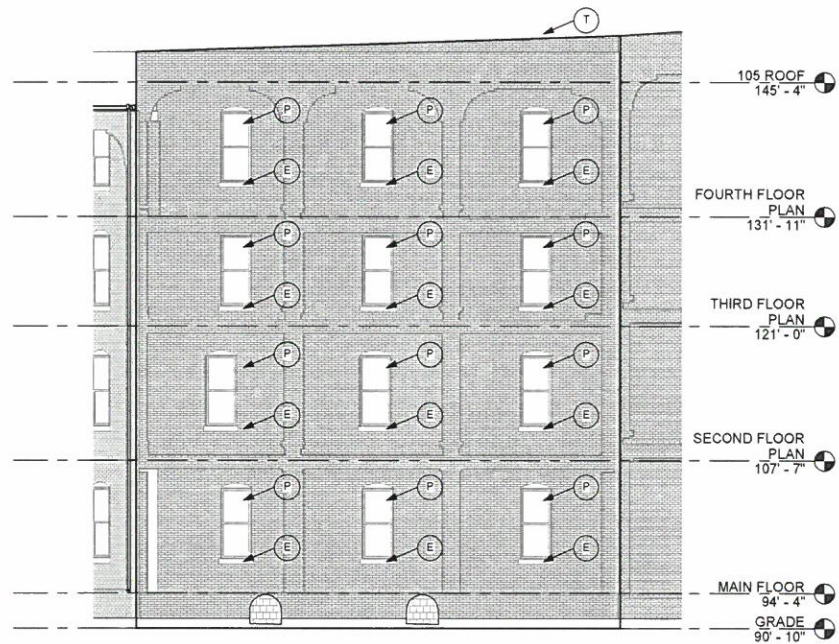
3/24/2020 5:39:26 PM

20-CAT3





1 EAST ELEVATION  
A202 1/8" = 1'-0"



2 NORTHEAST ELEVATION  
A202 1/8" = 1'-0"

MASONRY REPAIR KEY NOTES

- A RE-POINT BRICK MASONRY MORTAR JOINTS. RE-POINT FAILED BRICK MORTAR JOINTS ON THE ENTIRE ELEVATION. RE-POINTING SHALL MEAN REMOVAL AND CLEANING OF THE EXISTING BED AND HEAD JOINT MORTAR TO A DEPTH AS INDICATED IN THE WRITTEN SPECIFICATIONS, AND RE-POINTING THE CLEANED AND PREPARED JOINT WITH NEW MORTAR. RE-POINTING MORTAR SHALL MATCH THE ADJACENT JOINTS IN TEXTURE, COLOR AND HARDNESS. SEE THE WRITTEN SPECIFICATIONS.
- B REMOVE AND REPLACE DAMAGED BRICK. REMOVE AND REPLACE BRICK THAT IS SPALLED, CRACKED, MISSING OR HAS LOST A FRAGMENT. USE REPLACEMENT BRICK AS DIRECTED BY THE ARCHITECTS. RE-POINT THE MORTAR JOINTS AROUND THE REPLACEMENT BRICK AS INDICATED IN PARAGRAPH A ABOVE, AND ACCORDING TO WRITTEN SPECIFICATIONS.
- C REPAINT 100% OF THE EXISTING STEEL LINTELS. REMOVE EXISTING PAINT AND RUST. PRIME AND REPAINT THE EXPOSED PORTIONS OF THE STEEL LINTELS ON EACH SIDE OF THE BUILDING. DO NOT DAMAGE OR STAIN ADJACENT BRICK OR WINDOW FRAMES. REPORT SEVERE CORROSION OR DAMAGE TO THE ENGINEER IMMEDIATELY UPON DISCOVERY. EXISTING PAINT MAY CONTAIN LEAD AND SHOULD BE HANDLED ACCORDING TO THE ENVIRONMENTAL RULES FOR LEAD PAINT.
- D STONE JOINT RE-POINTING. THIS NOTE SHALL APPLY TO STONE TO STONE JOINTS AND STONE TO BRICK JOINTS. RAKE AND CLEAN THE EXISTING MORTAR JOINTS AROUND THE STONE UNITS WITHIN THE EXTERIOR MASONRY WALLS. RAKE AND RE-POINT 100% OF THE STONE JOINTS WITH APPROVED MORTAR. SEE THE WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS REGARDING RE-POINTING STONE MORTAR JOINTS.
- E CLEANING STONE WINDOW SILLS. REMOVE BLACK OR OTHER COLORED PAINT FROM STONE WINDOW SILLS. RETURN SILLS TO THEIR NATURAL COLOR USING THE MILDDEST CLEANING SOLUTION THAT WILL EFFECTIVELY REMOVE THE PAINT. REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL CLEANING REQUIREMENTS. WHERE THERE IS NO PAINT, CLEAN THE SILL OF ORGANIC AND OTHER CONTAMINANTS TO RESTORE TO THE NATURAL COLOR.
- F JOINT SEALANT. CLEAN AND PREPARE JOINTS AS INDICATED TO RECEIVE NEW JOINT SEALANT. PLACE CLOSED CELL FOAM BACKER ROD BEHIND THE JOINT AND APPLY SEALANT ACCORDING TO THE MANUFACTURER'S WRITTEN RECOMMENDATIONS. WHERE THE ELEVATION KEY NOTES INDICATE CLEANING AND RECAULKING SKYWARD JOINTS, THE CAULK SHALL EXTEND TO THE EDGE OF THE HORIZONTAL LENGTH OF THE JOINT AND SHALL EXTEND DOWN THE VERTICAL LENGTH OF THE JOINT TO THE BOTTOM EDGE OF THE JOINT.
- G EXISTING MASONRY GUARDRAIL WALL. REMOVE THE EXISTING NORTH AND EAST WALLS OF THE BOILER BUILDING DOWN TO WITHIN GUARDRAIL HEIGHT ABOVE FINISHED GRADE. SAVE BRICK FOR REUSE AS REPLACEMENT BRICK. RE-POINT THE REMAINING MASONRY 100% ALL SIDES. REPLACE DAMAGED BRICK AS REQUIRED. INSTALL A STONE COPING ALONG THE TOP OF THE LENGTH OF THE WALLS AND ANCHOR WITH EPOXY AND STAINLESS STEEL PINS AT 8" O.C. IN TWO STAGGERED ROWS, 8" EMBEDMENT. SEAL THE SKYWARD JOINTS OF THE STONE UNITS AS DIRECTED IN REPAIR 'F' ABOVE.
- H REPLACE STONE SILL. REMOVE AND REPLACE EXISTING BROKEN OR DAMAGED STONE SILL WITH A NEW STONE SILL. NEW STONE SILL SHALL MATCH EXISTING IN SIZE, SHAPE, COLOR AND TEXTURE.
- I EXISTING BOILER STACKS. CLEAN AND RE-POINT THE EXISTING BRICK BOILER STACK TO A STABLE AND WATER TIGHT CONDITION. THOROUGHLY CLEAN THE ORGANICS AND OTHER CONTAMINANTS ON ALL SIDES FULL HEIGHT OF THE STACK. INFILL THE OPENINGS ON THE WEST SIDE WITH REPLACEMENT BRICK.
- J NEW METAL COPING. CONSTRUCT A NEW METAL COPING ON TOP OF THE EXISTING WALL. INSTALL A DOUBLE 2x4 P.T. CONTINUOUS WOOD PLATE ANCHORED TO THE BRICK WALL WITH HILTI ADHESIVE ANCHORS AT 8" O.C. INSTALL METAL COPING OVER THE TREATED WOOD PLATE AND EXTEND DOWN THE WALL ON BOTH SIDES. COLOR BY ARCHITECT AND OWNER.
- K STONE CRACK REPAIR. ROUT THE EXISTING STONE CRACK ALONG ITS ENTIRE LENGTH AND FILL WITH CLOSED CELL FOAM BACKER ROD AND SEALANT. USE SEALANT THAT MATCHES THE SURROUNDING STONE AS CLOSELY AS POSSIBLE. SUBMIT A COLOR SAMPLE OF THE SEALANT FOR REVIEW. SEE ALSO NOTE F ABOVE REGARDING JOINT SEALANT.
- L GRAFFITI REMOVAL. REMOVE GRAFFITI WITH CLEANING SOLUTION AS INDICATED IN THE WRITTEN SPECIFICATIONS. USE THE MOST MILD METHOD THAT EFFECTIVELY REMOVES THE PAINT.
- M CLEAN MASONRY SURFACE. CLEAN THE MASONRY SURFACE OF DIRT, GRIME, ORGANICS, CARBON ACCUMULATION, STAINS, PAINT AND OTHER CONTAMINANTS, AS INDICATED IN THE WRITTEN SPECIFICATIONS.
- N WINDOW/DOOR INFILL. INFILL EXISTING WINDOW OR DOOR OPENING WITH A STUD WALL. PRESSURE TREATED 2x4 AT 16" O.C. ANCHOR STUD WALL TO ALL FOUR SIDES OF THE EXISTING MASONRY OPENINGS WITH 1/2" DIA. HILTI ADHESIVE ANCHORS @ 12" O.C. SHEATHING - 1/2" EXTERIOR GRADE PLYWOOD. SEE ARCHITECTURAL DRAWINGS FOR THE FINISH MATERIAL OVER THE PLYWOOD SHEATHING.
- O NEW WINDOW. REMOVE EXISTING DOOR, MASONRY, ETC COMPLETE AND REPLACE WITH A NEW WINDOW TO MATCH EXISTING
- P REPAIR/REPLACE EXISTING WINDOWS. REMOVE EXISTING PLYWOOD (IF APPLICABLE) AND INSPECT ALL WINDOWS - REPAIR/REPLACE WINDOWS AS NEEDED
- Q REMOVE OVERHEAD DOOR AND REPLACE WITH STOREFRONT WINDOWS
- R ALL EXISTING DOCKS TO REMAIN UNLESS OTHERWISE NOTED
- S REMOVE EXISTING WINDOWS AND BRICK FOR NEW WINDOWS. REMOVE EXISTING WINDOW AND CREATE A NEW OPENING IN THE MASONRY TO PREPARE FOR NEW WINDOW. NEW WINDOW SHOULD MATCH EXISTING 1-OVER-1 WINDOW ON THE SAME FACADE w/ NEW STONE SILLS
- T TERRACOTTA ROOF CAP CLEAN, REPAIR, REPLACE AS NEEDED
- U REMOVE ALL EXISTING AWNINGS COMPLETE UNLESS OTHERWISE NOTED
- V REPLACE EXISTING DOWNSPOUTS
- W NEW CONCRETE PATIO w/ EXTERIOR GUARDRAIL. EXTERIOR GUARDRAIL @ 42" AFF (SEE DETAILS) CONCRETE PATIO TO RECEIVE A SLIP RESISTANT BROOM FINISH
- X EXISTING BRIDGE/PEDWAY TO REMAIN
- Y REPLACE GUTTERS

MASONRY REPAIR GENERAL NOTES

- EXISTING CONDITIONS**
- REPORT TO THE ARCHITECT/ENGINEER ANY EXISTING CONDITIONS WHICH PREVENT THE WORK FROM BEING PERFORMED IN ACCORDANCE WITH THE PLANS BEFORE PROCEEDING WITH THE WORK.
  - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS LOCATING EXISTING CONSTRUCTION BEFORE FABRICATION OF NEW CONSTRUCTION BEGINS. IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER.
  - SIZE AND DIMENSIONS AND MASONRY PROFILES AS INDICATED ON THE DRAWINGS RELATED TO EXISTING CONSTRUCTION WERE TAKEN FROM PHOTOS AND FIELD EXAMINATION FORM GROUND LEVEL. CONTRACTOR TO FIELD VERIFY ALL SUCH INFORMATION BEFORE CONSTRUCTION BEGINS. IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER.
  - WHERE EXISTING GRADE IS SHOWN ON THE MASONRY REPAIR ELEVATIONS, GRADE LINE IS APPROXIMATE. FIELD VERIFY THE EXACT PROFILE AND ELEVATIONS FOR EXISTING GRADE, WHERE FINISH GRADE VARIES FROM EXISTING GRADE, RESTORE MASONRY DOWN TO FINISH GRADE AS FIELD CONDITIONS DICTATE.
- GENERAL SCOPE OF THE EXTERIOR MASONRY REPAIRS**
- THE ELEVATION DRAWINGS SHOW REPAIR PROCEDURES FOR THE VARIOUS MASONRY REPAIRS NEEDED ON THE EXTERIOR FACADE OF THE BUILDING. THIS INCLUDES REPAIR OF BRICK MASONRY STONE. CONTRACTOR SHALL DETERMINE THE SCOPE OF THE VARIOUS REPAIRS INDICATED ON THE ELEVATIONS BY MEANS OF AN ARMS-LENGTH SURVEY OF THE ENTIRE EXTERIOR OF THE BUILDING USING AN AERIAL LIFT OR SWING STAGE PLATFORM OR OTHER MEANS AS DETERMINED BY THE CONTRACTOR. SUBMIT THE RESULTS OF THE SURVEY IN GRAPHICAL FORM TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO THE START OF THE REPAIR WORK.
- ALL THE SURFACE AREAS OF THE ELEVATIONS OF THIS BUILDING SHALL BE MADE WATER TIGHT BY MASONRY RESTORATION. DO NOT LEAVE BRICK OR MORTAR JOINTS IN AN OPEN OR UNSTABLE OR DETERIORATED CONDITION.
- MASONRY REPAIR GENERAL NOTES**
- REMOVE EXTRANEOUS METAL ATTACHMENTS, AND UTILITY CONDUITS AND PIPING. ENSURE THAT EXTRANEOUS UTILITY ATTACHMENTS ARE ABANDON BEFORE REMOVAL. DO NOT REMOVE WALL ANCHORS THAT SECURE BUILDING COMPONENTS. FIELD VERIFY THE LOCATION OF SUCH ANCHORS BEFORE WORK BEGINS. COORDINATE WITH THE DESIGNATED DIRT/RIB REPRESENTATIVE.
  - REMOVE PLANT GROWTH AND ORGANIC MATERIAL ENTIRELY. DO NOT DAMAGE BRICK OR STONE IN THE PROCESS.
  - CLEAN AREAS AFTER RE-POINTING AND BRICK REPLACEMENT WORK IS COMPLETE. PROTECT ADJACENT AREAS OF MASONRY FROM THE CLEANING CHEMICALS AS REQUIRED. BLEND TO MATCH EXISTING ADJACENT MASONRY.
  - PREPARE MOCK-UPS FOR THE FOLLOWING WORK ITEMS:
    - MORTAR JOINT RE-POINTING WITH REPLACEMENT MORTAR MIX FOR EACH JOINT TYPE
    - JOINT SEALANT
    - BRICK REPLACEMENT
    - STONE REPLACEMENT
- REFER TO THE WRITTEN SPECIFICATIONS FOR ADDITIONAL INFORMATION ON MOCK-UPS. WORK SHALL PROCEED ONLY AFTER MOCK-UPS ARE APPROVED. ARCHITECT/ENGINEER MAY STOP WORK IF IT IS DETERMINED THAT WORK IS NOT BEING PERFORMED IN ACCORDANCE WITH THE APPROVED MOCK-UPS.
- PROVIDE SAMPLES OF REPLACEMENT BRICK, EACH RE-POINTING MORTAR AND SPALL/PATCH MATERIAL PRIOR TO THE START OF WORK. WHERE EXISTING MASONRY WALLS ARE SCHEDULED TO BE REMOVED FROM THE PROJECT, CONTRACTOR SHALL SALVAGE BRICK AND STORE IT ON SITE FOR USE AS REPLACEMENT BRICK.
  - CONTRACTOR SHALL HAVE TESTS PERFORMED ON REPRESENTATIVE MORTAR SAMPLES TAKEN FROM THE EXISTING MORTAR JOINTS FOR EACH MORTAR TYPE. TESTS SHALL BE MADE TO DETERMINE THE COMPONENTS AND PROPORTIONS OF THE EXISTING MORTAR FOR MATCHING OF NEW MORTAR TO EXISTING. REFER TO THE WRITTEN SPECIFICATIONS FOR THE TESTING REQUIREMENTS.
  - PROTECT THE BUILDING FROM THE DELETERIOUS EFFECT OF CLEANING CHEMICALS DURING THE COURSE OF THE WORK. DO NOT DAMAGE EXISTING PORTIONS OF THE BUILDING THAT ARE TO REMAIN.
  - REMOVE AND REPLACE BRICK OR STONE THAT IS INADVERTENTLY DAMAGED IN THE EXECUTION OF THE MASONRY RESTORATION WORK. AT NO ADDITIONAL EXPENSE TO OWNER.
  - THE ELEVATION DRAWINGS SHOW THE GENERAL LAYOUT OF THE FACADE OF THE BUILDING. IT SHOULD BE ANTICIPATED THAT SOME VARIATIONS WILL BE ENCOUNTERED BETWEEN THE DRAWN ELEVATIONS AND THE ACTUAL BUILDING FACADE ELEMENTS. FIELD VERIFY AS REQUIRED TO VERIFY THE EXACT SCOPE OF THE FACADE MASONRY. FIELD VERIFY THE EXACT MASONRY MATERIALS FOUND ON THE BUILDING INCLUDING BRICK AND STONE. REPORT MATERIALS THAT MAY DIFFER FROM THE ELEVATIONS DRAWINGS.
  - CONTRACTOR SHALL TAKE ALL MEANS NECESSARY TO PROTECT THE BUILDINGS WITHIN AND AROUND THE PROJECT SITE INCLUDING PROVIDING APPROPRIATE FILTER MEDIA ON ALL AIR INTAKES ON THE BUILDING AND THE ROOF. REPORT TO THE PROJECT MANAGER AND ENGINEER THAT ALL AIR INTAKES HAVE BEEN IDENTIFIED AND PROTECTED AGAINST THE INTRUSION OF DUST AND DEBRIS. DO NOT ALLOW DUST, DEBRIS, TRASH OR OTHER AIRBORNE MATERIALS TO ENTER OR AFFECT THE OPERATION OF EQUIPMENT ON THE ADJACENT PROPERTY.
  - ALL GRINDING, SANDING AND ANY DUST GENERATING EQUIPMENT SHALL BE EQUIPPED WITH A DUST COLLECTION SYSTEM AT ALL TIMES DURING THE COURSE OF THE WORK TO PREVENT AIRBORNE DUST AND DEBRIS IN AND AROUND THE PROJECT SITE. PROJECT MANAGER OR ENGINEER MAY STOP THE WORK IF DUST COLLECTION IS DEEMED INADEQUATE.

jyojos-apsst\Projects\A7745 - Weyland Audobon\_5-Revit\Sheet\1427 LYTLE CENTRAL MODEL\A1427 LYTLE - CENTRAL MODEL.rvt

REVISIONS			
NO.	DESCRIPTION	DATE	BY

COMM A7745	DRAWN JN	IN THE CN	DATE 3/23/20
------------	----------	-----------	--------------

1427 LYTLE - AUDOBON APARTMENTS LOUISVILLE, KY 40202

WYLAND VENTURES

BUILDING ELEVATIONS ARCHITECTURAL

500 S. 4TH STREET  
LOUISVILLE, KY 40202  
V. 502.583.8888  
F. 502.583.8414  
www.josephandjoseph.com

© 2019 C. Merrill, Nels, III Architect, Curran St. Nels, IV Architect

SHEET A202 SET

20-CAT3-0