

18DEVPLAN1129

Brownsboro Road Plaza



Louisville Metro Board of Zoning Adjustment

Public Hearing

Dante St. Germain, Planner II

October 15, 2018

Request

- **Variance:** from Land Development Code section 5.5.5 to allow a dumpster to encroach into the required 50-foot non-residential-to-residential rear yard setback.

Location	Requirement	Request	Variance
Rear Yard Setback	50 ft.	15 ft.	35 ft.

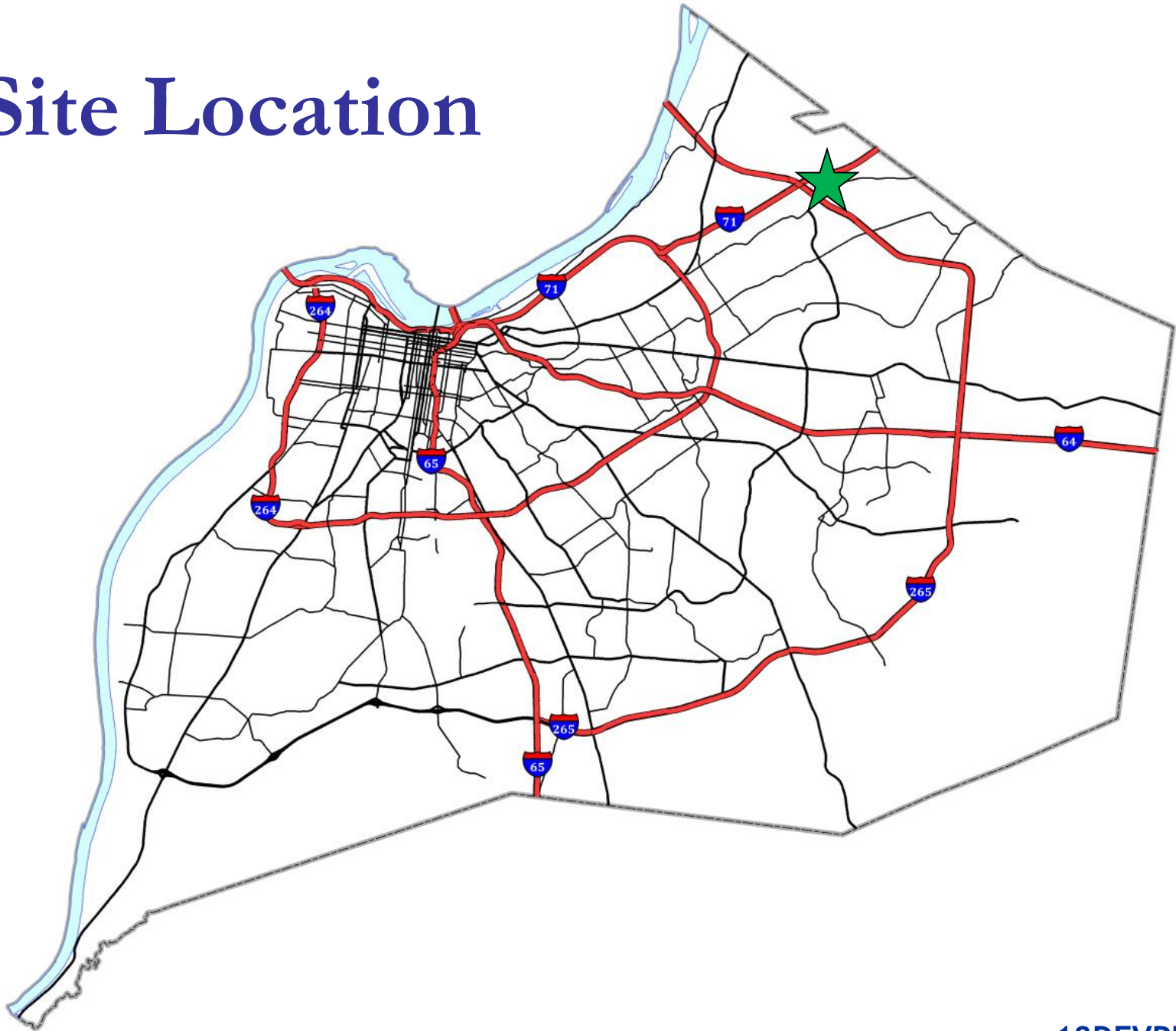
Site Context



Case Summary

- The subject property is currently developed with a one-story commercial structure with a single dumpster.
- The applicant proposes to construct a new dumpster and enclosure at the south-west of the property.
- In the Regional Center form district, there is a required 50-foot rear yard setback between non-residential and residential development.

Site Location



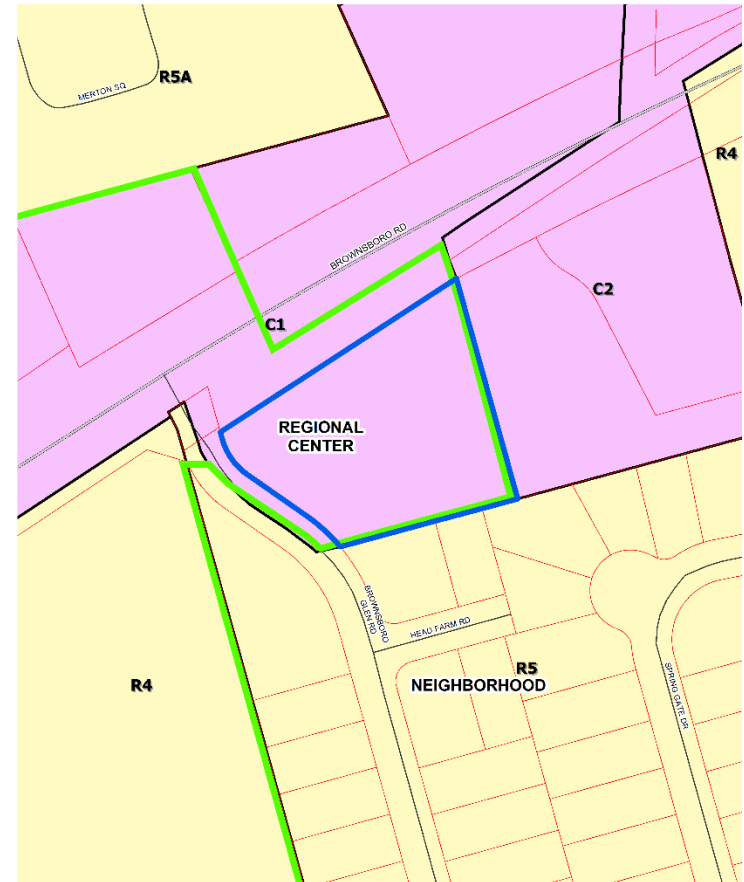
Zoning/Form Districts

Subject Property:

- Existing: C-1/Regional Center

Adjacent Properties:

- North: R-5A/Neighborhood
- South: R-5/Neighborhood
- East: C-2/Neighborhood
- West: R-4/Regional Center



10000 Brownsboro Road
feet

110
Map Created: 9/12/2018



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Aerial Photo/Land Use

Subject Property:

- Existing: Commercial

Adjacent Properties:

- North: Multi Family Residential
- South: Single Family Residential
- East: Commercial
- West: Northeast Christian Church



10000 Brownsboro Road
feet

110

Map Created: 9/12/2018



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Site Photos-Subject Property



The front of the subject property.

Site Photos-Subject Property



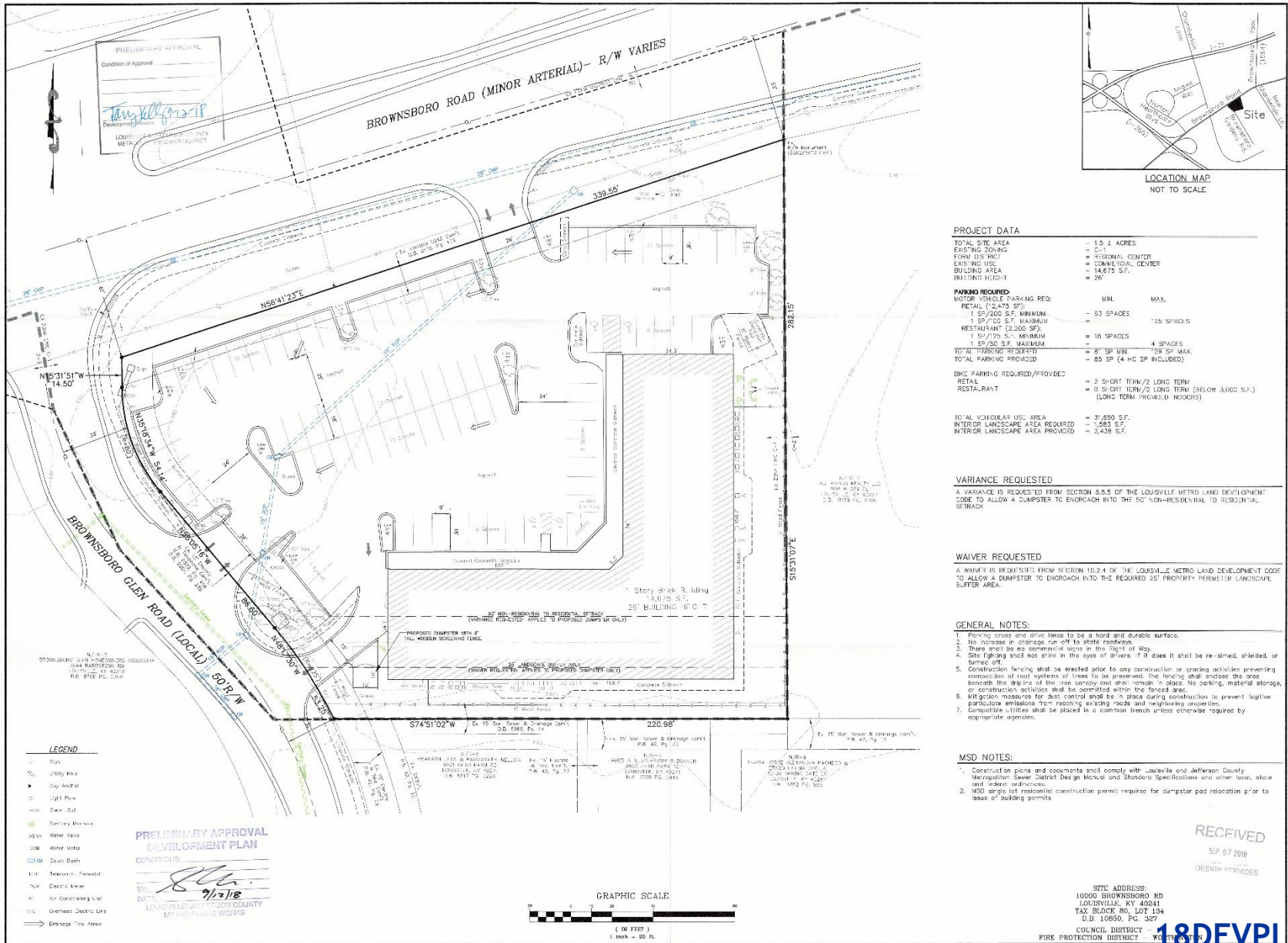
The location of the proposed dumpster.

Site Photos-Subject Property



Looking along the rear of the building from the location of the proposed dumpster.

Applicant's Development Plan



PROJECT DATA

TOTAL SITE AREA	= 1.51 ACRES
EXISTING ZONING	= C-1
FORM DISTRICT	= REGIONAL CENTER
EXISTING USE	= COMMERCIAL CENTER
BUILDING AREA	= 14,675 S.F.
BUILDING HEIGHT	= 26'

PARKING REQUIRED

MOTOR VEHICLE PARKING REQ.	MIN.	MAX.
RETAIL (12,475 S.F.)		
1 SP/200 S.F. MINIMUM	= 53 SPACES	125 SPACES
1 SP/100 S.F. MAXIMUM		
RESTAURANT (2,200 S.F.)		
1 SP/20 S.F. MINIMUM	= 16 SPACES	4 SPACES
1 SP/20 S.F. MAXIMUM		
TOTAL PARKING REQUIRED	= 69 SPACES	129 SPACES
TOTAL PARKING PROVIDED	= 85 SP (4 HC SP INCLUDED)	

DKC PARKING REQUIRED/PROVIDED

RETAIL	= 2 SHORT TERM/2 LONG TERM
RESTAURANT	= 0 SHORT TERM/0 LONG TERM (SHOW 3,000 S.F. LONG TERM (PROVIDE 40 SPACES))

TOTAL VEHICULAR USE AREA = 3,850 S.F.
INTERIOR LANDSCAPE AREA REQUIRED = 1,663 S.F.
INTERIOR LANDSCAPE AREA PROVIDED = 2,438 S.F.

VARIANCE REQUESTED

A VARIANCE IS REQUESTED FROM SECTION 3.5.5 OF THE LOUISVILLE METRO LAND DEVELOPMENT CODE TO ALLOW A DUMPSTER TO ENCOACH INTO THE 50' NON-RESIDENTIAL TO RESIDENTIAL SETBACK.

WAIVER REQUESTED

A WAIVER IS REQUESTED FROM SECTION 10.2.4 OF THE LOUISVILLE METRO LAND DEVELOPMENT CODE TO ALLOW A DUMPSTER TO ENCOACH INTO THE REQUIRED 20' PROPERTY PERIMETER LANDSCAPE BUFFER AREA.

- GENERAL NOTES:**
1. Parking cross and drive lanes to be a hard and durable surface.
 2. No increase in drainage run off to state roadways.
 3. There shall be no commercial signs in the Right of Way.
 4. Site lighting shall not glare in the eyes of drivers. If it does it shall be re-aimed, shielded, or turned off.
 5. Construction fencing shall be erected prior to any construction or grading activities preventing connection of road systems or lanes to be preserved. The fencing shall enclose the area beneath the slope of the road canopy and shall remain in place. No parking, material storage, or construction activities shall be permitted within the fenced area.
 6. Mitigation measures for dust control shall be in place during construction to prevent fugitive particulate emissions from existing parking roads and neighboring properties.
 7. Compatible utilities shall be placed in a common trench unless otherwise required by appropriate agencies.

- MSD NOTES:**
1. Construction plans and comments shall comply with Louisville and Jefferson County Metropolitan Sewer District Design Manual and Standard Specifications and other local, state and federal ordinances.
 2. MSD will require a residential construction permit for dumpster pad relocation prior to issues of building permits.

SITE ADDRESS:
10000 BROWNSBORO RD
LOUISVILLE, KY 40041
TAX BLOCK 80, LOT 134
D.B. 10890, PG. 327

COUNCIL DISTRICT: 10
FIRE PROTECTION DISTRICT: 10

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD
1	7-12-18	AS NOTED		

PROFESSIONAL'S SEAL

PROJECT DATA

FILE NAME: 18000	SCALE: 1/8" = 1'-0"
DATE: 7-12-18	SCALE: 1/8" = 1'-0"
DRAWN BY: [Signature]	CHECKED BY: [Signature]

LD&D
LAND DESIGN & DEVELOPMENT, INC.
ARCHITECTS, ENGINEERS, PLANNERS & ENVIRONMENTAL SCIENTISTS
10000 BROWNSBORO ROAD, SUITE 100
LOUISVILLE, KY 40041
PH: 502-261-1000
WWW.LDAND.COM

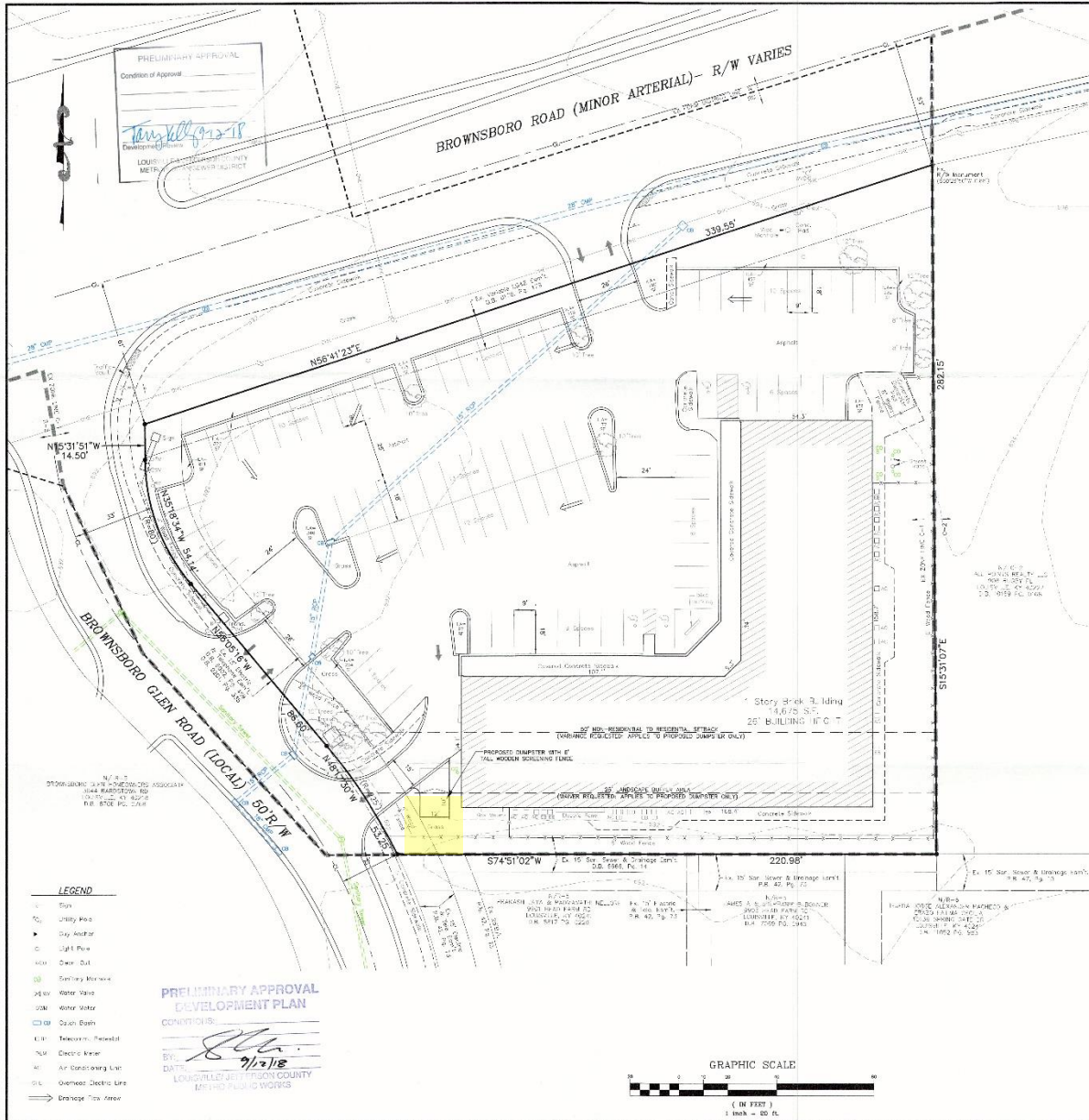
REVISION DETAILED DISTRICT DEVELOPMENT PLAN
HOGAN - BROWNSBORO ROAD PLAZA

OWNER/DEVELOPER:
HOGAN HOLDINGS 42 LLC
9.500 SHILLYVILLE - D. SITE 1300
LOUISVILLE, KY 40222

RECEIVED
SEP 07 2018
DESIGN SERVICES

18000
SHEET 1 OF 1
18DEVPLAN1129

Variance Requested



Staff Finding

- The variance request appears to be adequately justified and meets the standard of review.

Required Actions

- **Variance:** from Land Development Code section 5.5.5 to allow a dumpster to encroach into the required 50-foot non-residential-to-residential rear yard setback.
Approve/Deny

Location	Requirement	Request	Variance
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