

Docket No. 19-DDP-0056

Revised Detailed Development Plan to increase the number of units from 12 to 16, reduce total building square footage by 13,660 sq ft, reduce the building height from 2-stories to 1, and reduce impervious surface by 2,090 sq ft for the currently approved condominium community on property located at 3930, 3934 & 3936 Massie Ave in the City of St. Matthews



**St. Matts
Feed & Seed**

**Surrey Place
Condos**

**Massie Place
Condos**

Jewelers

Blades

Cleaners

Tires Plus

Car wash

Bank

Ind. Bank

**Heine
Bros**

**Chenoweth
Square**

Trinity HS

**Masonic Homes
of KY**

Frankfort Ave.

Shelbyville Rd.

Chenoweth Ln.

Massie Ave.

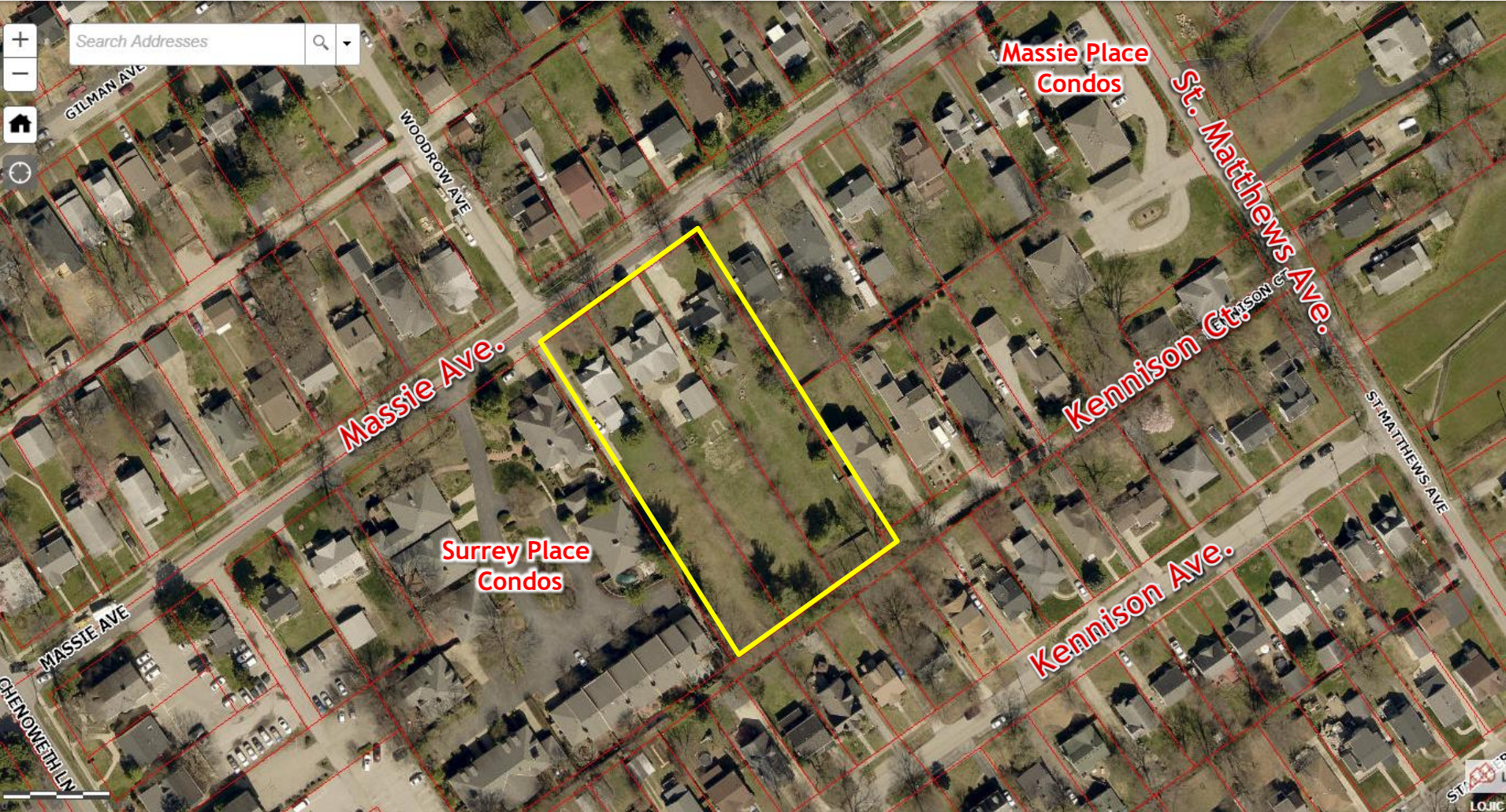
Kennison Ct.

Kennison Ave.

St. Matthews Ave

Westport Rd.





Search Addresses

Massie Place
Condos

Massie Ave.

Surrey Place
Condos

Kennison Ave.

St. Matthews Ave.

Kennison Ct.

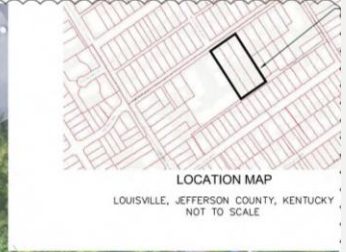
MASSIE AVE

ST. MATTHEWS AVE

CHENOWETH LN

ST. LOUIS

Current proposed RDDDP



SITE PLAN



3930 Massie Ave
St Matthews, Kentucky

Google, Inc.

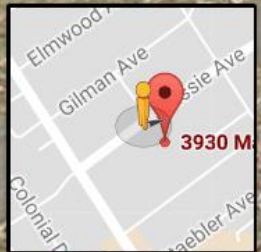
Street View - Dec 2016

Site

Woodrow Ave.

Massie Ave.

Google



Looking northeast down Massie Ave. Site is on the right.



Site

Massie Ave.

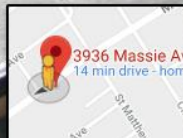
Google

Homes across Massie Ave. from site.



Site

Massie Ave.



Looking southwest down Massie Ave towards Chenoweth Lane. Site is on the left.



3922 Massie Ave
St Matthews, Kentucky
Google, Inc.
Street View - Dec 2016

Site
←



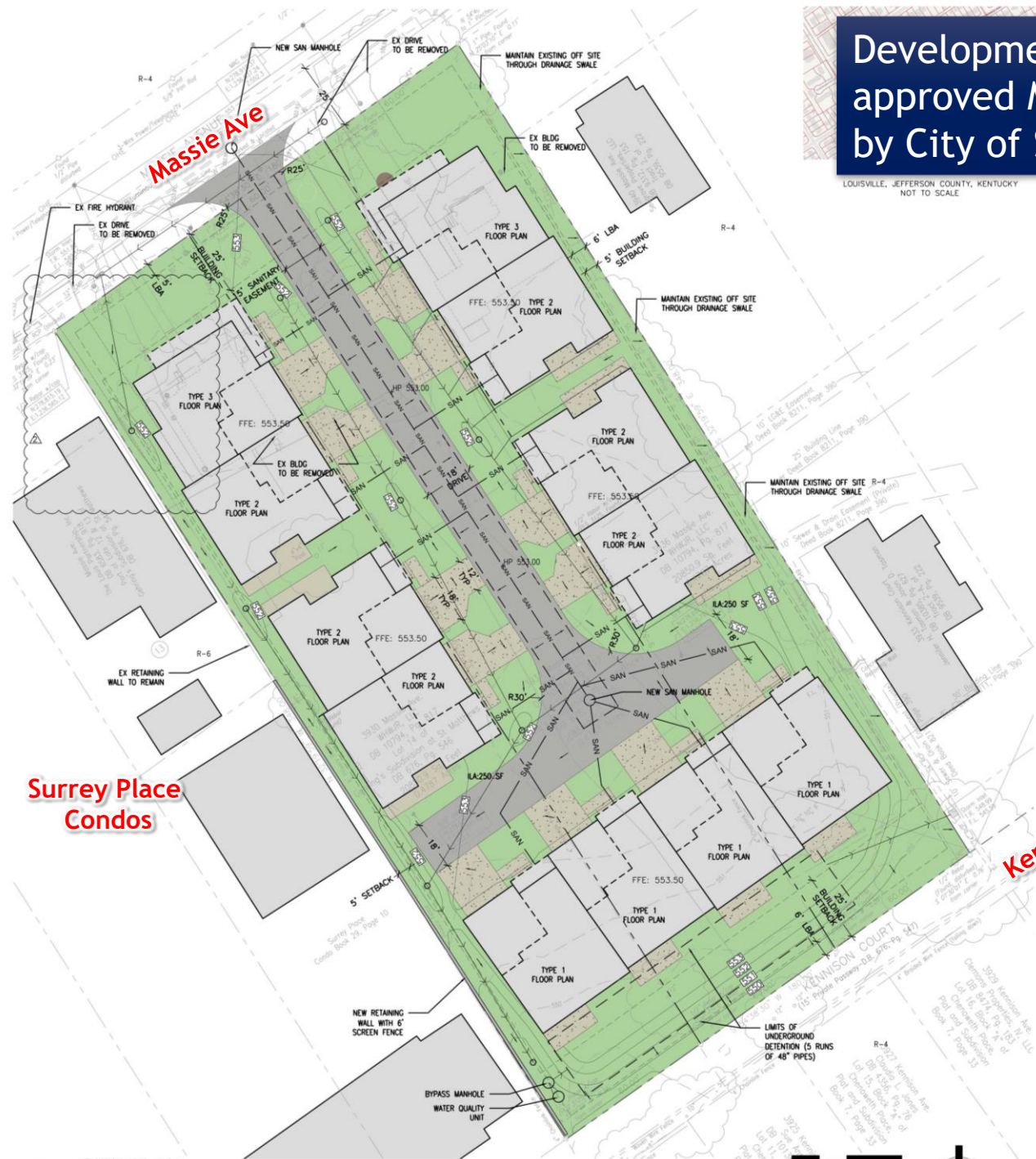
Surrey Place condominium community adjacent to site on southwest side of site.



Massie Place condominiums - corner of St. Matthews Ave and Massie Ave.

Development Plan approved March 9, 2019 by City of St. Matthews

LOUISVILLE, JEFFERSON COUNTY, KENTUCKY
NOT TO SCALE



Massie Ave

Surrey Place
Condos

Kennison Ct.

SITE PLAN

Previous Elevations



Previous Elevations



VINYL WINDOWS

CEDAR SHAKES

ASPHALT SHINGLES

PAINTED ALUMINUM RAILS



HARDPLANK

Current Proposed RDDDP



Proposed Elevations



Massie Ave.



Massie Ave.



Massie Ave.



Proposed Elevations



Current Approved Plan



All 2 story buildings

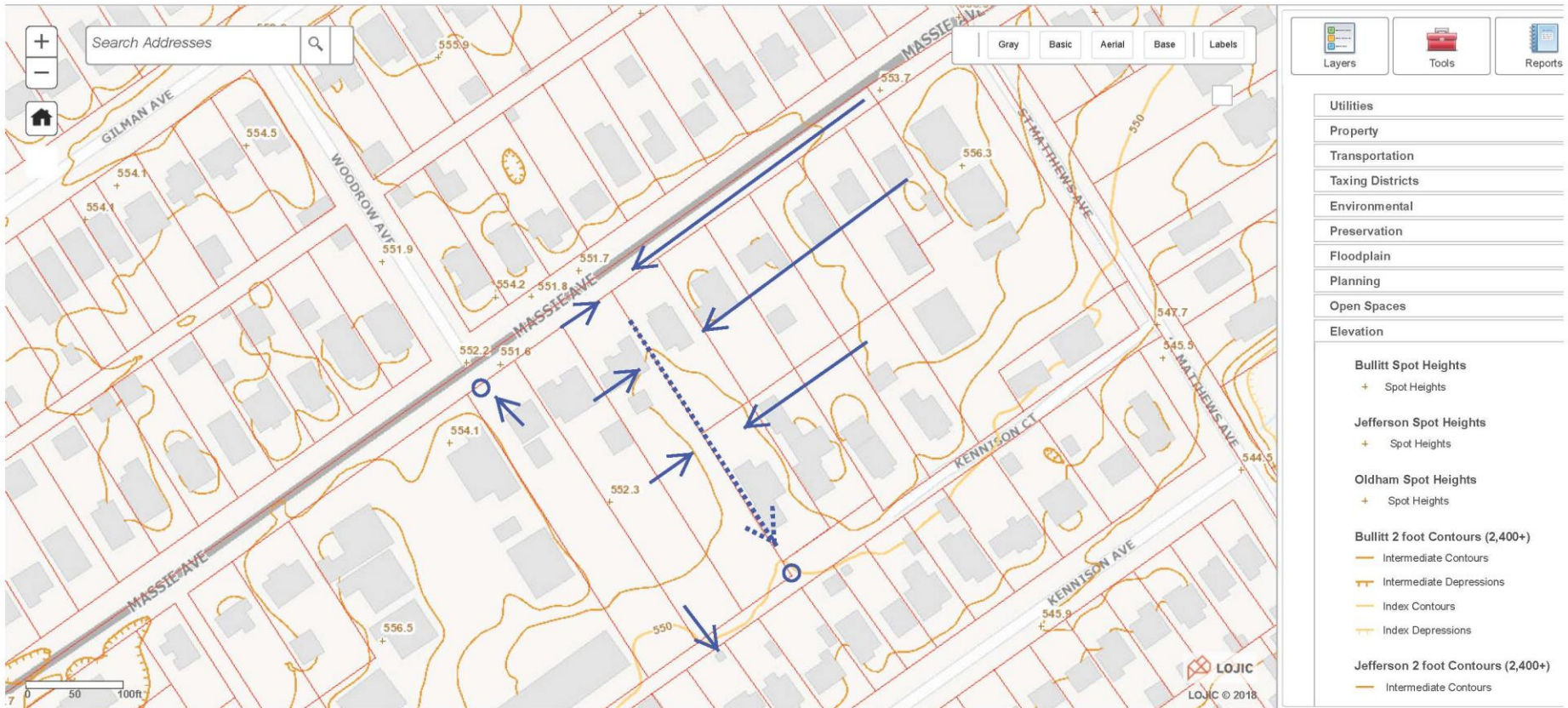
Building removed

Units increased from 12 in 5 buildings to 16 in 2 buildings

Proposed RDDDP



All 1 story buildings



Predeveloped Condition

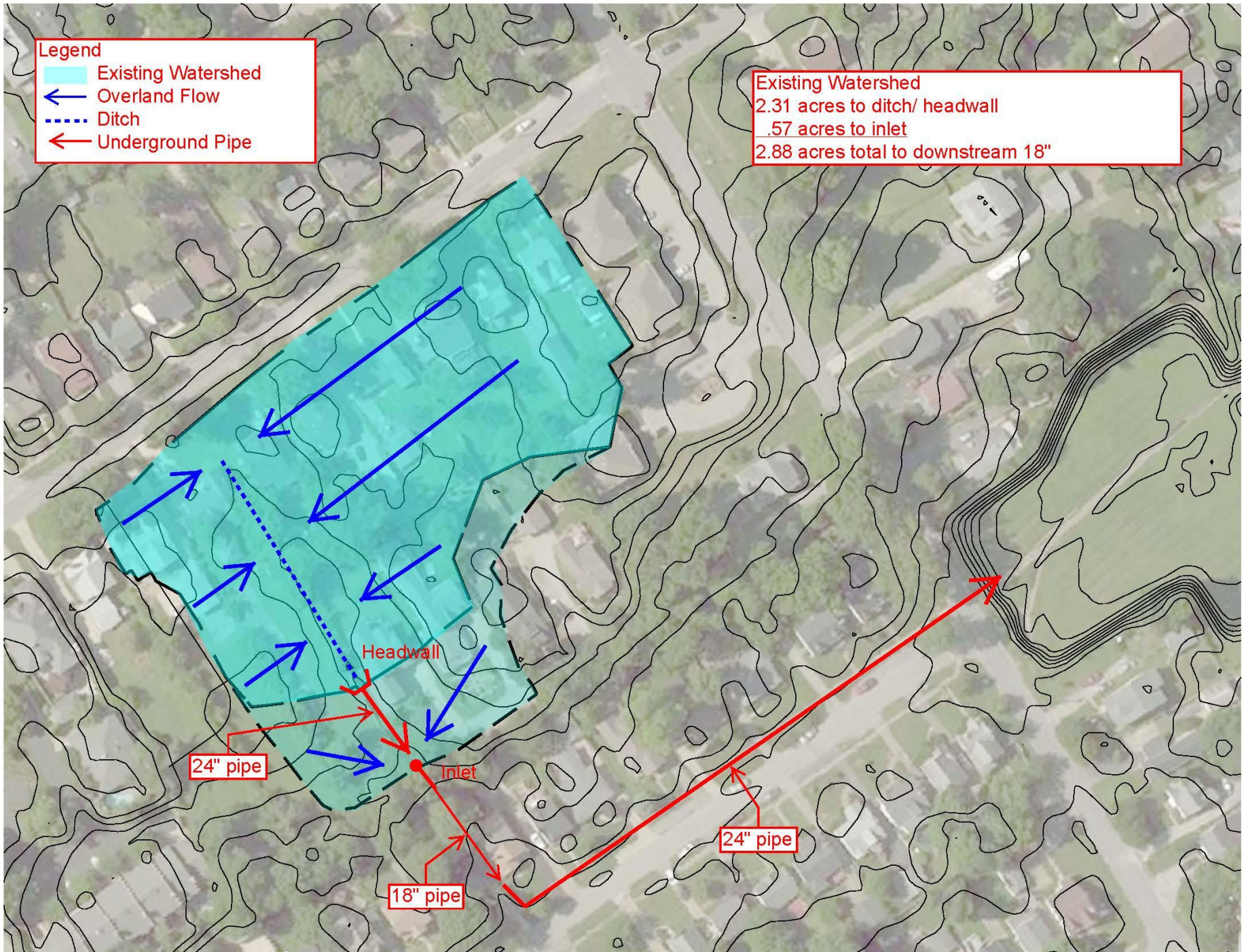
Current drainage flow for the property and area.

Legend

- Existing Watershed
- Overland Flow
- Ditch
- Underground Pipe

Existing Watershed

- 2.31 acres to ditch/ headwall
- .57 acres to inlet
- 2.88 acres total to downstream 18"

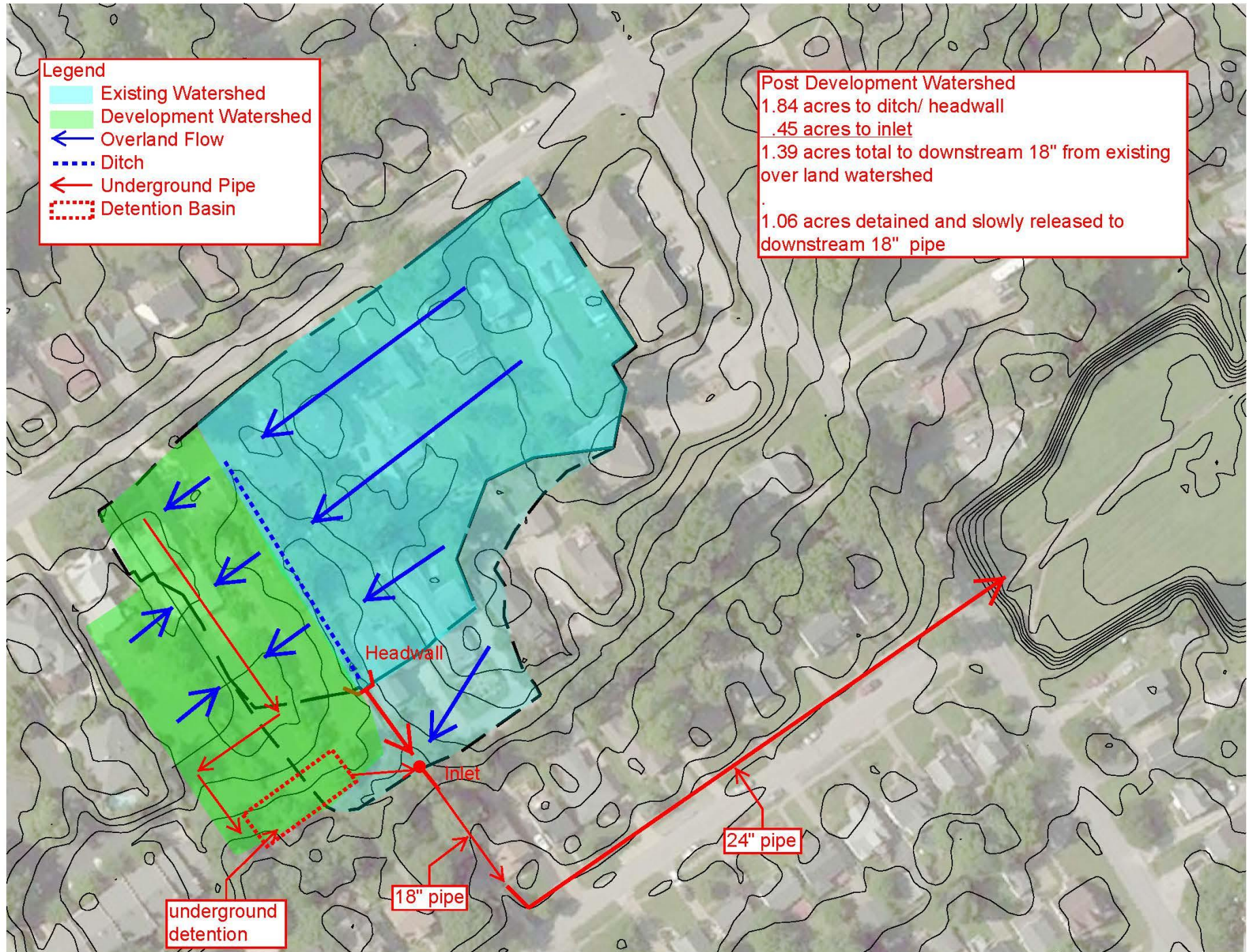


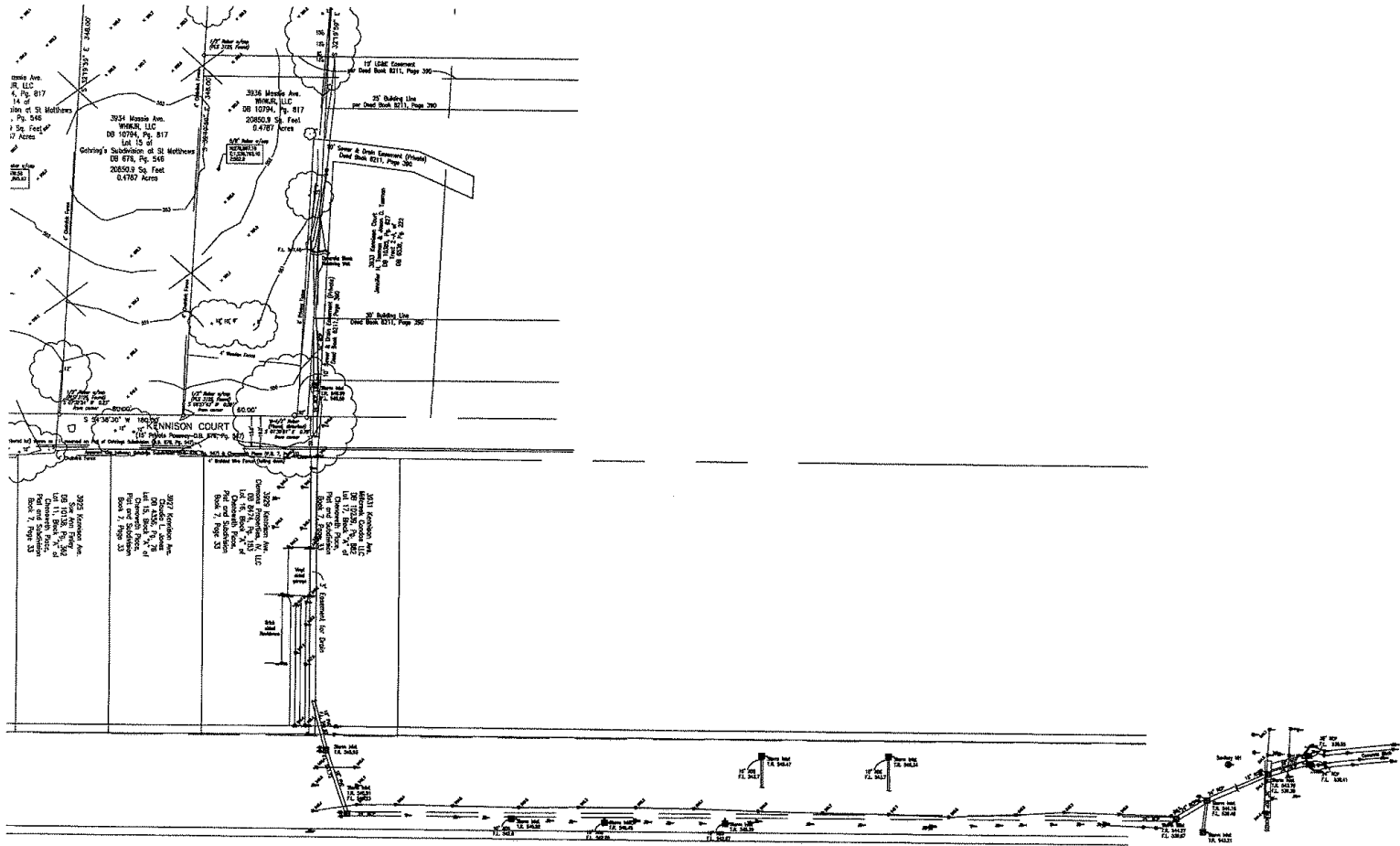
Legend

- Existing Watershed
- Development Watershed
- Overland Flow
- Ditch
- Underground Pipe
- Detention Basin

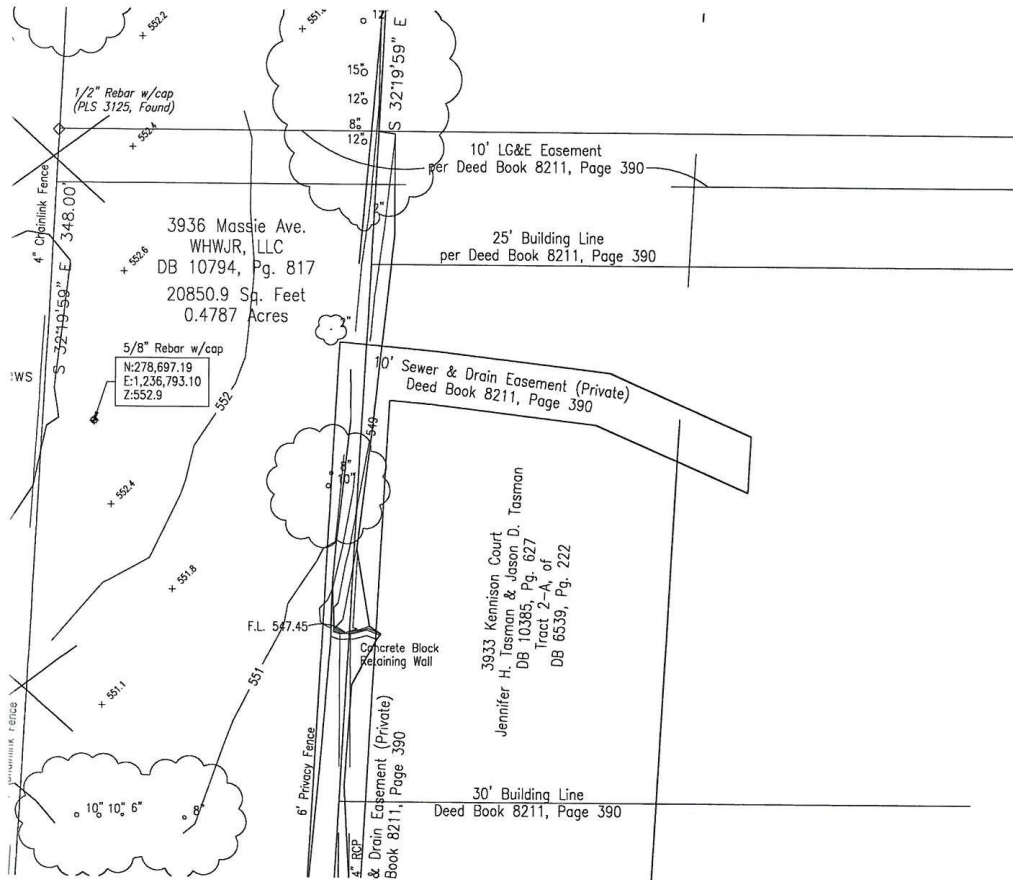
Post Development Watershed

- 1.84 acres to ditch/ headwall
- .45 acres to inlet
- 1.39 acres total to downstream 18" from existing over land watershed
- 1.06 acres detained and slowly released to downstream 18" pipe

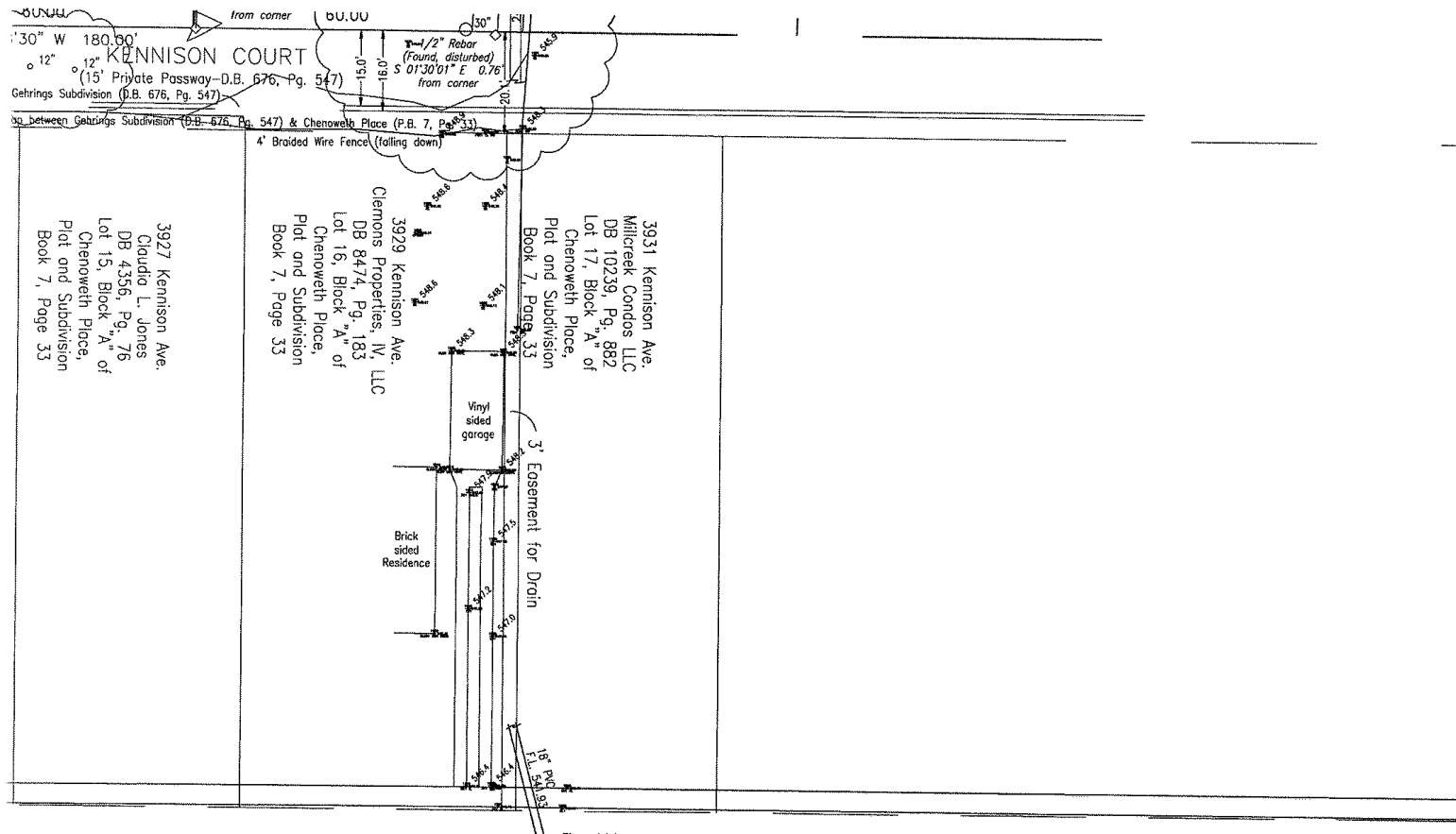




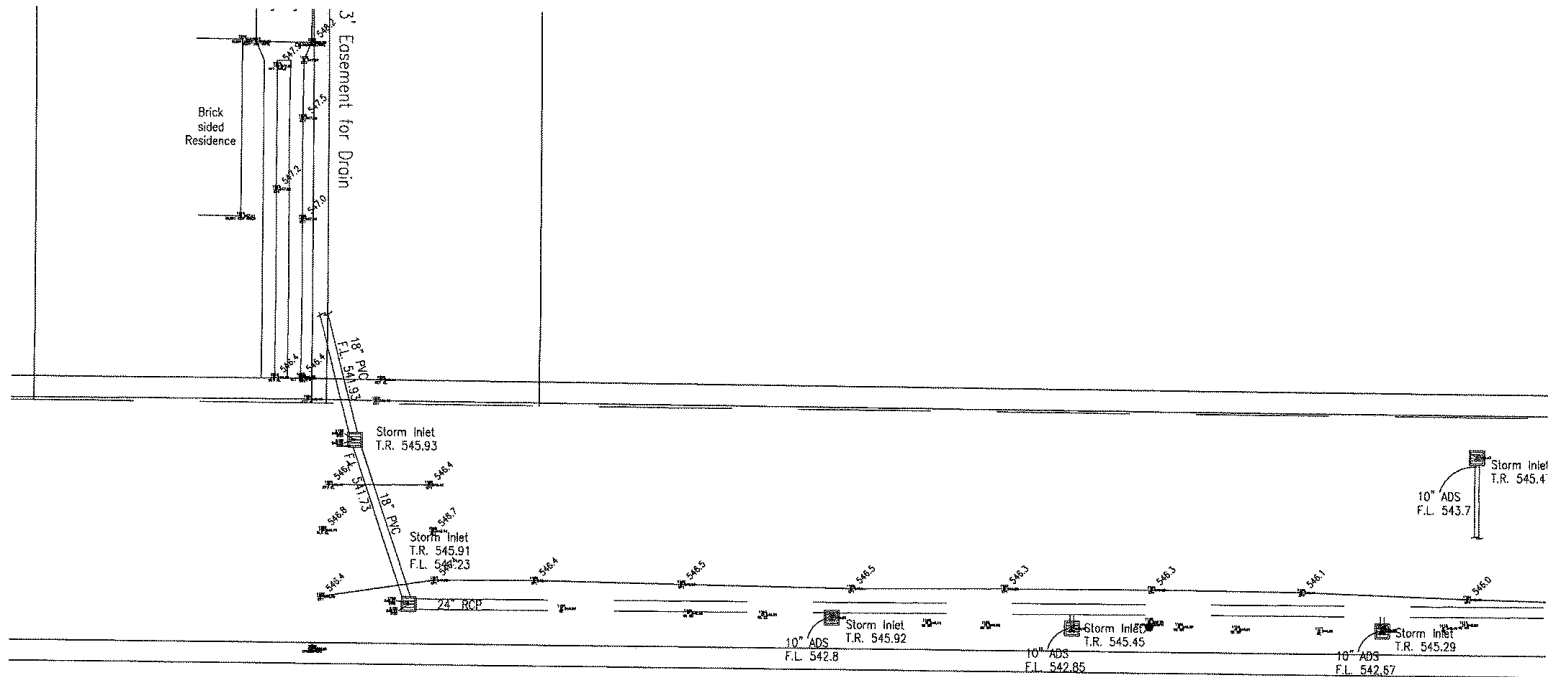
Drainage survey completed of existing drainage system from site to detention basin.



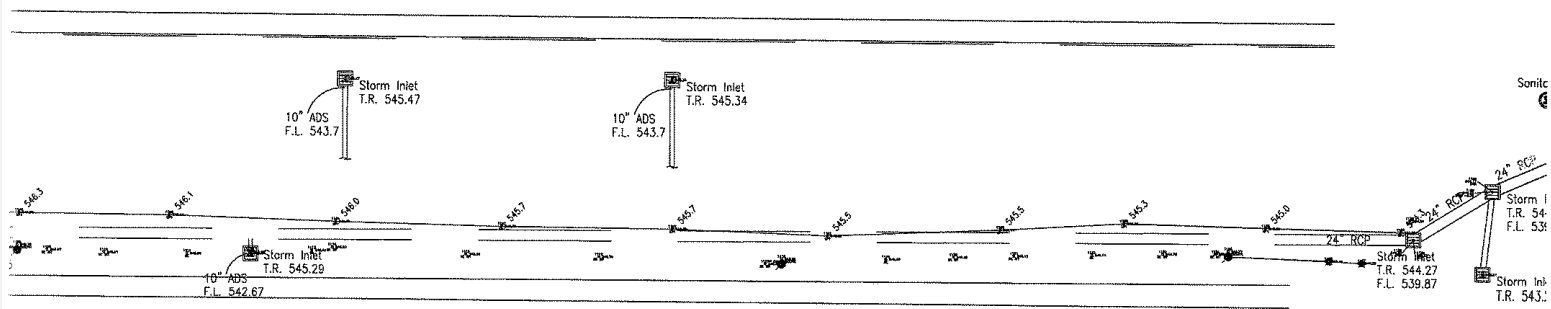
Zoomed portion of drainage survey - site to the left.



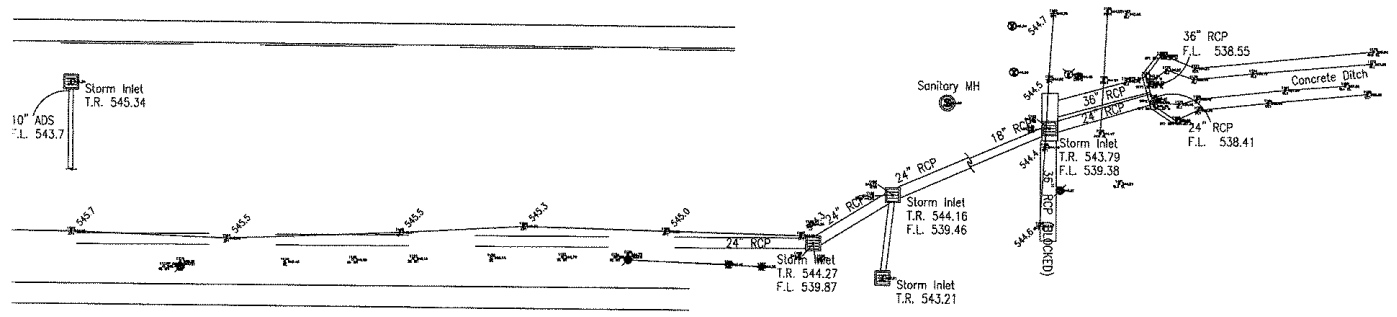
Zoomed portion of drainage survey - south of site from Kennison Ct. to Kennison Ave.



Zoomed portion of drainage survey - along Kennison Ave.



Zoomed portion of drainage survey - along Kennison Ave.



Zoomed portion of drainage survey - along Kennison Ave. to detention basin.



October 2, 2018

Mr. John Carman
Carman Landscape Architecture
400 East Main Street, Suite 106
Louisville, Kentucky 40202

Reference: Karst Survey
Massie Avenue Site - Karst Survey
3930, 3934 & 3936 Massie Avenue
Louisville, Jefferson County, Kentucky
ECS Project No. 61:1642

Dear Mr. Carman:

ECS Southeast, LLP (ECS) conducted a karst survey for the referenced site in accordance with ECS Proposal No. 61:P1220, dated September 17, 2018. The karst survey was conducted in general accordance with Chapter 4 Part 9 (Development on Karst Terrain, dated July 2008) of the Louisville-Jefferson County Land Development Code (LDC).

The karst survey included the following elements: a visual reconnaissance of site conditions for the karst geologic features defined in the LDC; a review of current and historical aerial photographs; a review of soil survey information; a review of geologic maps; and a review of topographic maps.

The geologic formations reportedly underlying the site (Sellersburg and Jeffersonville Limestones) are designated with a high karst potential. The karst potential is based on the tendency for the site to develop or have karst features as shown on the Kentucky Geological Survey Geologic Information Service Karst Potential Map and is not necessarily indicative of the actual presence or absence of karst activity at the site.

No karst-related features (e.g., sinkholes, springs, sinking streams, caves, etc.) were identified on the site in the documents reviewed, including the historical aerial photos, geologic maps, topographic maps or soil survey information. However, a large sinkhole was reported in the same formation approximately 600 feet southwest of the site. In addition, four possible karst-related features were identified during the site reconnaissance conducted on September 26, 2018 by Grant Hess of ECS. The approximate locations of the features observed are depicted on the attached site plan, and pictures of each feature are attached. Brief descriptions of the features are provided below:

Features F-1 and F-2 were closed depressions approximately 8 to 12 inches in diameter and 6 inches deep. The closed depressions were holding water at the time of the visit. The two features were located on the southern half of 3934 Massie Avenue property. An aerial photo from 2010 shows a feature (possible ponded water) in the general area of the feature F-1.

Feature F-3 was a small diameter partially-open throat approximately 3 inches in diameter and 8-10 inches deep. The feature was located beneath a small bush west of the screen room on 3936 Massie Avenue property.

Feature F-4 was a closed depression approximately 5 to 6 feet in diameter and 4 inches deep. The feature was located near the center of the 3936 Massie Avenue property. An aerial photo from 2014 shows a feature that was approximately the same dimensions as the closed depression in the general area of F-4.

The features identified during this survey should be further evaluated during the geotechnical exploration and construction phases of the project. Typically, karst features in this vicinity and similar to those identified in this survey can be remediated in such a way that the ground is appropriately stabilized to support the planned construction.

We appreciate the opportunity to serve as your geotechnical consultants for this project. We look forward to future association with you on this and other projects.

Respectfully submitted,
ECS Southeast, LLP



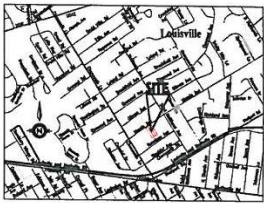
William "Grant" Hess
Project Geologist

Attachments: Massie Ave Topo- Drawing EE3913
Site Photos



G.T. Vandevelde, P.E.
Principal Engineer
Kentucky License No. 14708





APPARENT ENCROACHMENTS AND EASEMENTS
 APPARENT EASEMENT FOR OVERHEAD UTILITY

ORIGIN OF BEARINGS
 THE BEARINGS AND COORDINATES SHOWN HEREIN ARE BASED ON KENTUCKY STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83). PARTICULARLY, THE BEARINGS AND COORDINATES ARE BASED ON A CROSS SURVEY UTILIZING A TRIMBLE RS CROSS RECEIVER AND THE KTC VCS SYSTEM.

ORIGIN OF ELEVATIONS
 THE ELEVATIONS SHOWN HEREIN ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. PARTICULARLY, THE ELEVATIONS ARE BASED ON A CROSS SURVEY UTILIZING A TRIMBLE RS CROSS RECEIVER AND THE KTC VCS SYSTEM.

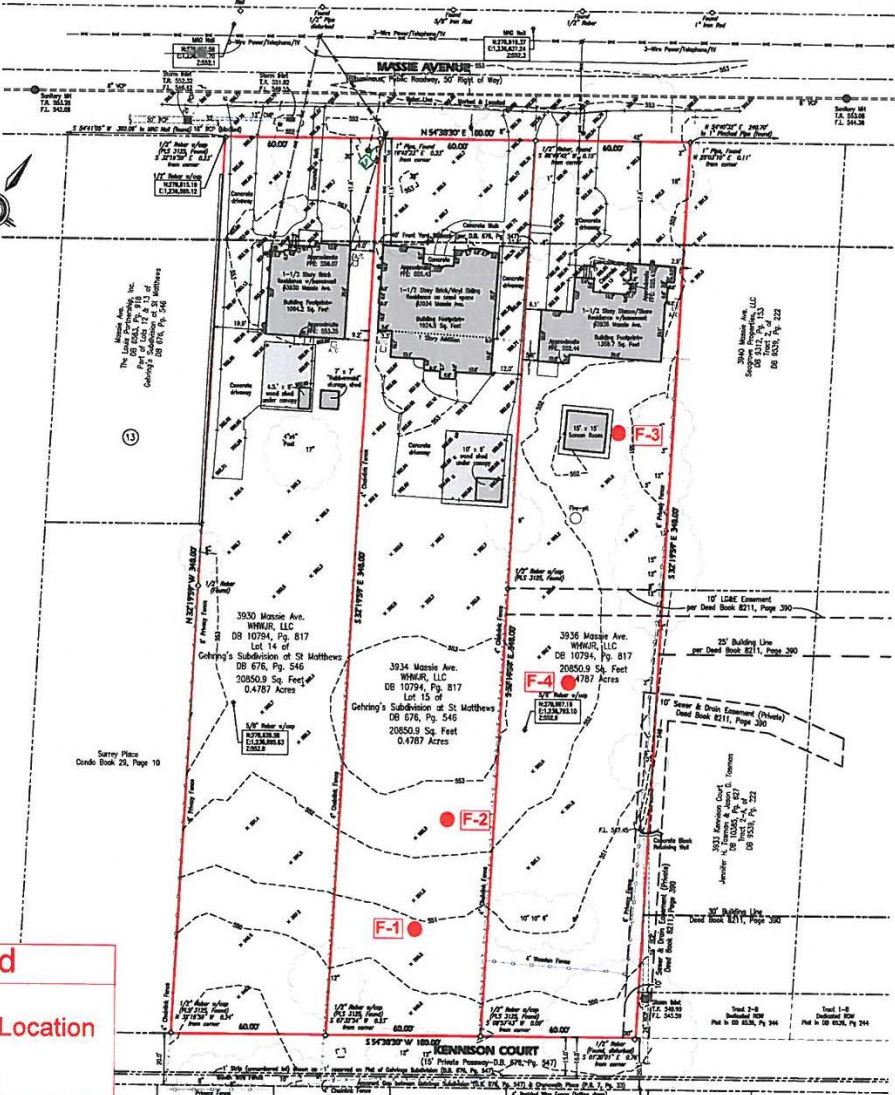
METHOD OF SURVEY
 THIS GROUND SURVEY WAS PREPARED USING A TRIMBLE SC ROBOTIC TOTAL STATION, THE STATE PLANE COORDINATES SHOWN WERE DERIVED FROM A REAL-TIME (RTK) CELLULAR COMMUNICATIONS OBSERVATION UTILIZING A TRIMBLE RS CROSS RECEIVER AND THE KTC VCS SYSTEM.

FEMA FLOOD HAZARD AREA
 BASED ON AN INSPECTION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S MAPS NUMBERED 211100000E & 211100000G WITH A DATE OF IDENTIFICATION OF DECEMBER 3, 2004 FOR COMMUNITY NUMBER 210120 IN LOUISVILLE AND JEFFERSON COUNTY, KENTUCKY AND INCORPORATED AREAS, WHICH ARE THE CURRENT FLOOD HAZARD RATE MAPS (FIRM) FOR THE COMMUNITY IN WHICH THE SUBJECT PROPERTY LIES, THE PROPERTY LIES IN ZONE "X" (UNSHADOW), DESIGNATED AS AREAS OF 0.22% CHANCE OF ANNUAL FLOOD.

LEGEND

- | | |
|----------------------------------|---|
| ◆ FOUND MONUMENT | ○ CPV CORRUGATED PLASTIC PIPE |
| ⬢ 1/2" WOODEN NAIL SURVEY | ○ HCP VITRIFIED CLAY PIPE |
| △ SURVEYOR'S CAP (DET. PLS 3320) | ○ DI. DUCTILE IRON PIPE |
| ⬢ 1/2" WOODEN NAIL SURVEY | ○ WH MANHOLE |
| ⬢ 1/2" WOODEN NAIL SURVEY | ○ HMC INVERT ELEVATION |
| ⬢ 1/2" WOODEN NAIL SURVEY | ○ FL. FLOW LINE ELEVATION |
| ⬢ 1/2" WOODEN NAIL SURVEY | ○ T.S. SURFACE ELEVATION (TOP-OF-CHUTE) |
| ⬢ 1/2" WOODEN NAIL SURVEY | ○ T.S. SURFACE ELEVATION (TOP-OF-INV) |
| ⬢ 1/2" WOODEN NAIL SURVEY | ○ LSA LANDSCAPING AREA |
| ⬢ 1/2" WOODEN NAIL SURVEY | ○ DRAIN LINE FENCE |
| ⬢ 1/2" WOODEN NAIL SURVEY | ○ IRON FENCE |
| ⬢ 1/2" WOODEN NAIL SURVEY | ○ WATER FENCE |
| ⬢ 1/2" WOODEN NAIL SURVEY | ○ GAS LINE |
| ⬢ 1/2" WOODEN NAIL SURVEY | ○ DOWN SPOUT |
| ⬢ 1/2" WOODEN NAIL SURVEY | ○ RCP REINFORCED CONCRETE PIPE |
| ⬢ 1/2" WOODEN NAIL SURVEY | ○ CMP CORRUGATED METAL PIPE |
| ⬢ 1/2" WOODEN NAIL SURVEY | ○ PVC PLASTIC PIPE |
| ⬢ 1/2" WOODEN NAIL SURVEY | ○ ADS PLASTIC PIPE |

Legend
 ● F-1 - Feature Location
 Note: Locations are approximate



ZONING REQUIREMENTS

R-4 (RESIDENTIAL SINGLE FAMILY DISTRICT)	
MINIMUM LOT AREA	4,000 S.F.
MINIMUM LOT WIDTH	80 FT.
MINIMUM LOT FRONT STREET SETBACK	30 FT.
MINIMUM SIDE SETBACK	30 FT.
MINIMUM REAR SETBACK	35 FT.
MINIMUM HEIGHT OF BUILDING	35 FT.

** For lots created prior to August 25, 2000, and lots shown on preliminary plans approved prior to that date, the side yards and the minimum 10' width of 10' for the creation of shown on preliminary plans approved after that date, the side yards shall be 5' on each side.

Setbacks are not explicitly shown on the survey as they are subject to the interpretation of an appropriate governmental authority (i.e. building department, planning/zoning, etc.).

SETBACK NOTE

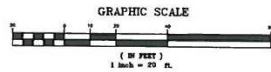
NOT ALL BUILDING SETBACK LINES ARE SHOWN HEREIN. SETBACK LINES ARE SUBJECT TO THE INTERPRETATION OF AN APPROPRIATE GOVERNMENTAL AGENCY (I.E. BUILDING INSPECTION OR PLANNING/ZONING).

UTILITY OWNERS

- | | |
|---|---|
| TELEPHONE
A&T
P.O. BOX 32410
LOUISVILLE, KENTUCKY 40232
PHONE: (502) 557-6000 | NATURAL GAS
LOUISVILLE GAS & ELECTRIC
701 S 9TH STREET
LOUISVILLE, KY 40203-2084
PHONE: (502) 588-1444 |
| ELECTRIC
LOUISVILLE GAS & ELECTRIC
701 S 9TH STREET
LOUISVILLE, KY 40203-2084
PHONE: (502) 588-1444 | STATE ROADS
TRANSPORTATION CABINET
DISTRICT OFFICE NO. 5
3415 WESTPORT ROAD
LOUISVILLE, KY 40242
PHONE: (502) 210-5400 |
| WATER
LOUISVILLE WATER COMPANY
500 SOUTH THIRD STREET
LOUISVILLE, KY 40202
PHONE: (502) 588-3600 | SAWYER SEWER METROPOLITAN SEWER DISTRICT
700 WEST LIGHTY STREET
LOUISVILLE, KENTUCKY 40202
PHONE: (502) 540-6000 |

UNDERGROUND UTILITIES

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SOURCE OR ALIGNMENT. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



LAND SURVEYOR'S CERTIFICATION

I HEREBY DO CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECTION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE LOCATIONS AND ELEVATIONS SHOWN ARE TRUE AND ACCURATE. THE GROUND SURVEY UPON WHICH THIS MAP IS BASED WAS COMPLETED ON JANUARY 18, 2018.

STATE OF KENTUCKY
 LAND SURVEYOR
 [Signature]
 1-22-2018

DATE	DESCRIPTION

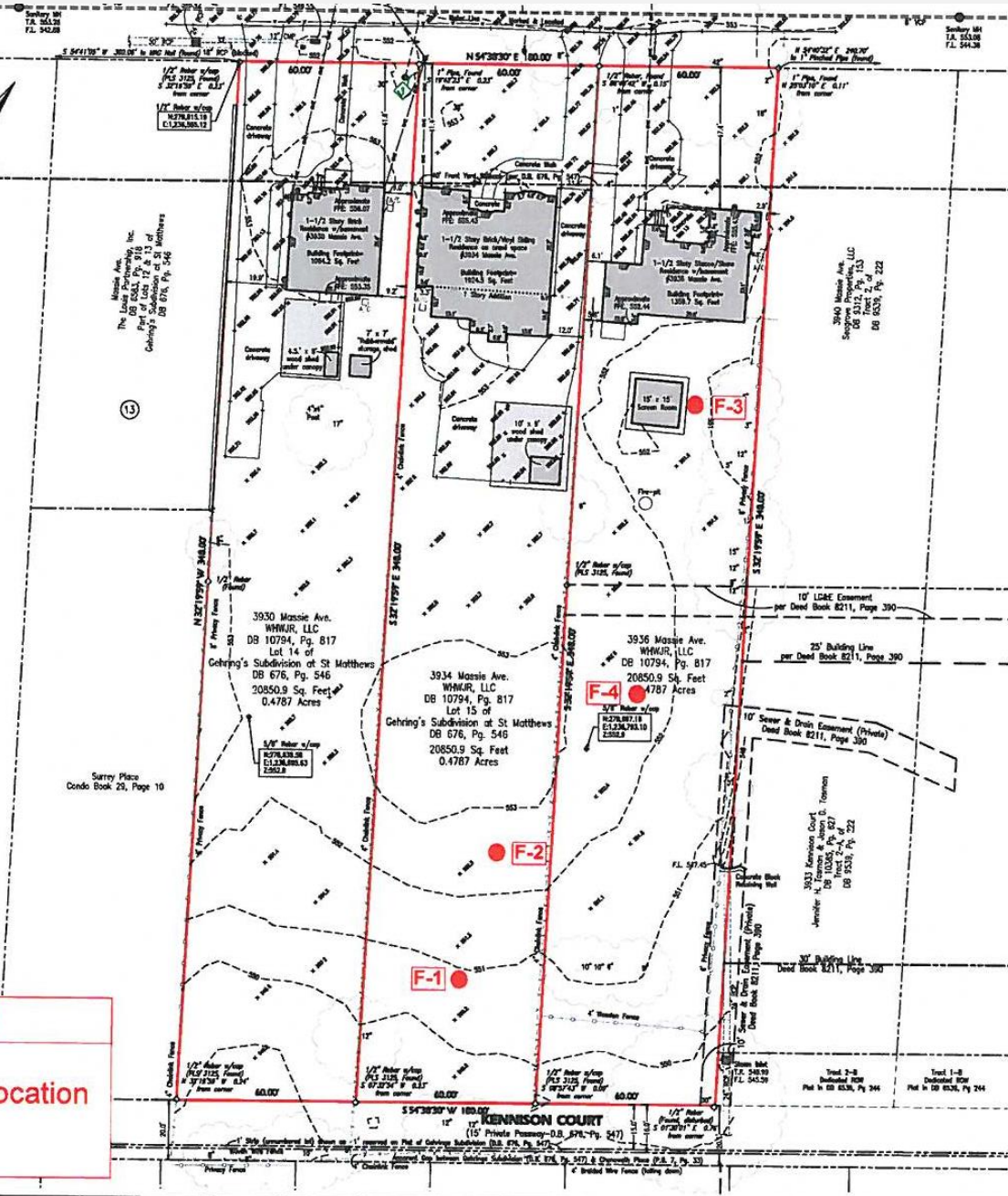
ENDRIS Engineering
 Land Surveys - Construction Layout - GIS

Kentucky 811

WHWR, LLC PROPERTY
 3930, 3934 & 3936 Massie Avenue
 Louisville (St. Matthews), Jefferson County, Kentucky

THE PROJECT'S SURVEYING AND MAPPING WORK WAS COMPLETED ON JANUARY 18, 2018.

JOB NUMBER: 2018-01
 DRAWING DATE: 1/22/2018
 DRAWING FILE: 2018-01-01-01.dwg
 SCALE: 1" = 20'



Legend

Structure Location

Proximate

MINIMUM LOT FRONT & STREET SIDE WID 30 FT.
 MINIMUM EACH SIDE WID 10 FT.
 MINIMUM ROW SETBACK 35 FT.
 MINIMUM HEIGHT OF BUILDING 35 FT.

** For lots created prior to August 23, 2000, and preliminary plans approved prior to that date, the setback information is, in part, for lots created preliminary plans approved after that date, the date is 5' on each side.

Setbacks are not explicitly shown on the survey; subject to the interpretation of the appropriate city, enforcement, planning/zoning, building inspection, or

SETBACK NOTE

NOT ALL BUILDING SETBACK LINES ARE SHOWN HERE SUBJECT TO THE INTERPRETATION OF AN APPROPRIATE (I.E. BUILDING INSPECTION OR PLANNING/ZONING).

UTILITY OWNERS:

- | | |
|-----------------------------|------|
| TELEPHONE | NATL |
| AT&T | LOU |
| P.O. BOX 32410 | LOU |
| LOUISVILLE KENTUCKY 40232 | LOU |
| PHONE: (502) 557-8000 | PHD |
| ELECTRIC | STAT |
| LOUISVILLE GAS & ELECTRIC | TRN |
| 701 S 9TH STREET | DEP |
| LOUISVILLE, KY 40203-2084 | OST |
| PHONE: (502) 588-1444 | LOU |
| WATER | PHD |
| LOUISVILLE WATER COMPANY | |
| 550 SOUTH THIRD STREET | |
| LOUISVILLE, KY 40202 | |
| PHONE: (502) 588-3600 | |
| SANITARY SEWER | |
| METROPOLITAN SEWER DISTRICT | |
| 700 WEST LIBERTY STREET | |
| LOUISVILLE, KENTUCKY 40202 | |
| PHONE: (502) 540-6000 | |

UNDERGROUND UTIL

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR HAS UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITY SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATIONS DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSIC UNDERGROUND UTILITIES.

GRAPHIC SCALE



LAND SURVEYOR'S CERTIFI

I HEREBY DO CERTIFY THAT THIS SURVEY WAS PREPARED DIRECTOR; AND THAT, TO THE BEST OF MY KNOWLEDGE, LOCATIONS AND ELEVATIONS SHOWN ARE TRUE AND ACCURATE SURVEY UPON WHICH THIS MAP IS BASED WAS CONDUCTED



Kevin W. Phillips
 KEVIN W. PHILLIPS, PLS # 13300



Photo 1 – View of F-1 (looking north).



Photo 2 – View of F-2 (looking north).



Photo 3 – View of F-3 (looking west).



Photo 4 – View of the bush and F-3 of the site (looking west).



Photo 5 – View of F-4 (looking north).



Photo 6 – View F-1 with standing water (looking north).

Site Photos
ECS Project No. 61-1642



Massie Avenue Site - Karst Survey
3930, 3934 & 3936 Massie Avenue
Louisville, Jefferson County, Kentucky