



Landmarks Certificate of Appropriateness & Overlay District Permit

Louisville Metro Planning & Design Services

Case No.: 17COA1285 Intake Staff: MC

Date: 12/29/2017 Fee: X

Instructions:

For detailed definitions of *Certificate of Appropriateness* and *Overlay District Permit*, please see page 4 of this application. Applications for *Signage* are no longer submitted to Planning & Design Services. Applications for Signage are to be made directly to the Construction Review Division.

Project Information:

Certificate of Appropriateness: Butchertown Clifton Cherokee Triangle Individual Landmark
 Limerick Old Louisville Parkland Business West Main Street

Overlay Permit: Bardstown/Baxter Ave Overlay (BRO) Downtown Development Review Overlay (DDRO)
 Nulu Review Overlay District (NROD)

Project Name: Vertrees Garage replacement

Project Address / Parcel ID: 1006 Cherokee Road, 40204 Parcel 075C00720000

Deed Book(s) / Page Numbers²: 7687-0662

Total Acres: _____

Project Cost: \$68,000 PVA Assessed Value: _____

Existing Square Feet: _____ New Construction Square Feet: _____ Height (ft.): _____ Stories: _____

Project Description (use additional sheets if needed):

This Project is to replace an existing 3 car garage on the alley side of the parcel that has failed over time, and has been recently demolished. The original garage structure had 3 "person doors" facing the property and 3 alley facing "vehicle doors" for egress in to the alley. Our residents have experienced issues with exiting the garage with single doors in recent years due to commercial construction in the area. Since the once abandoned Miracle Cleaners parcel (now the Mellow Mushroom Restaurant) across the alley from the garage was developed high above its original grade, pulling a vehicle out through the single doors has become a significantly more difficult, as pulling straight out is no longer an option. Egress to the alley must be done at an angle to avoid the elevated concrete wall, curb, and green space built up nearly 3 feet above ground, and our residents have had difficulty doing so without striking the pillars between the single doors. Allowing the use of a double garage door will ease this hindrance to using the alley, and will match the garage left on the property built by the developer of our condominiums in 2002. We have adjusted the number of "person doors" from 3 to 2 in our design as well, mirroring the 2002 garage.

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Contact Information:

Owner: Check if primary contact

Applicant: Check if primary contact

Name: Leslie Butler, Treasurer

Name: Stan Snyder

Company: Vertrees Condominiums Council

Company: Vertrees Condominiums Council Inc

Address: 1000 Cherokee Rd. Unit 4

Address: 1006 Cherokee Road Unit 5

City: Louisville State: KY Zip: 40204

City: Louisville State: KY Zip: 40204

Primary Phone: 502-553-1048

Primary Phone: 502-419-5963

Alternate Phone: n/a

Alternate Phone: 312-380-6306

Email: Lesliebutler81@gmail.com

Email: Stan.Snyder@gmail.com

Owner Signature (required): _____

Attorney: Check if primary contact

Plan prepared by: Check if primary contact

Name: _____

Name: _____

Company: _____

Company: _____

Address: _____

Address: _____

City: _____ State: _____ Zip: _____

City: _____ State: _____ Zip: _____

Primary Phone: _____

Primary Phone: _____

Alternate Phone: _____

Alternate Phone: _____

Email: _____

Email: _____

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Certification Statement: A certification statement **must be submitted** with any application in which the owner(s) of the subject property is (are) a limited liability company, corporation, partnership, association, trustee, etc., or if someone other than the owner(s) of record sign(s) the application.

I, Stan Snyder, in my capacity as authorized applicant, hereby *representative/authorized agent/other*

certify that Vertrees Condominiums Council Inc is (are) the owner(s) of the property which *name of LLC / corporation / partnership / association / etc.*

is the subject of this application and that I am authorized to sign this application on behalf of the owner(s).

Signature: _____ Date: _____

I understand that knowingly providing false information on this application may result in any action taken hereon being declared null and void. I further understand that pursuant to KRS 523.010, et seq. knowingly making a material false statement, or otherwise providing false information with the intent to mislead a public servant in the performance of his/her duty is punishable as a Class B misdemeanor.

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Please submit the completed application along with the following items:

Project information

- Land Development Report¹
- X Current photographs showing building front, specific project area, and surrounding buildings
- Pictures, samples, brochures, or other technical data describing materials, such as windows, doors, roofing, fencing, etc. to be used in the renovation or replacement
- One map of the project area and surrounding properties (may be obtained from <http://www.lojic.org/> using the *LOJIC Online Map*)

Site plan (see site plan example on next page)

- Two sets of site plans drawn to scale with dimensions, as applies to the project, indicating property lines, structures, landscaping, fencing, and parking
- Two copies of floor plans drawn to scale with dimensions and each room labeled
- Two copies of elevation drawings (a drawing showing exterior walls) drawn to scale with dimensions. For fencing, only photos/drawings of the proposed fence are required.

Committee Review Only

Committee reviews may be required due to the complexity of the case. The necessity of these items will be determined by staff upon review. Projects requiring committee level review include construction of new buildings, demolition, and projects that vary widely from design guidelines.

- Two sets of 11"x17" format site plans drawn to scale with dimensions
- Two sets of 11"x17" elevation drawings to scale with dimensions
- Two sets of 11"x17" landscaping drawings to scale with dimensions
- One set of mailing label sheets for: 1st tier Adjoining Property Owners (APOs)³, owners, applicants, contacts, and Case Manager. Applicant is responsible for mailing.
- One copy of the mailing label sheets

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Resources:

1. Detailed instructions to obtain a Land Development Report are available online at: <http://ags2.lojic.org/lojiconline/>
2. Deeds and plats can be found at the Jefferson County Clerk's Office, located at the 2nd floor of Metro Hall (527 West Jefferson Street, telephone: 502-574-6220). Many deeds, plats and other records are available online at: <http://www.landrecords.jcc.ky.gov/records/S0Search.html>
3. Adjoining property ownership information can be found at the Property Valuation Administrator (PVA) office at 531 Court Place, Suite 504 or via their website: <https://jeffersonpva.ky.gov/>
4. View agency comments at: <http://portal.louisvilleky.gov/codesandregs/mainsearch>. Enter your case number in the 'Permit/Case/Docket Number' search bar and then select your case under the 'Application Number' tab.

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Submittal Instructions:

Applications are due on Fridays at 5:00 p.m. Once complete, please bring the application and supporting documentation to: Planning and Design Services, located at 444 South 5th Street, Suite 300. For more information, call (502) 574-6230 or visit <http://www.louisvilleky.gov/PlanningDesign>.

Definitions:

Certificate of Appropriateness: A project involving physical changes to the exterior of a building, structure, or property designated as a local landmark or located within a local preservation district shall require prior approval in the form of a Certificate of Appropriateness. An approval requires substantial conformance to design guidelines established for each landmark and district. The design guidelines, along with other information regarding local preservation districts, may be found at the website of the Landmarks and Preservation Districts Commission:

<http://www.louisvilleky.gov/PlanningDesign/Historic+Landmarks+and+Preservation+Districts+Commission.htm>

Overlay District Permit: A project involving physical changes to the exterior of a building, structure, or property within an overlay district shall require prior approval in the form of an Overlay Permit. An approval requires substantial conformance to design guidelines established for each overlay district. The design guidelines, along with other information regarding overlay districts, may be found at the following website:

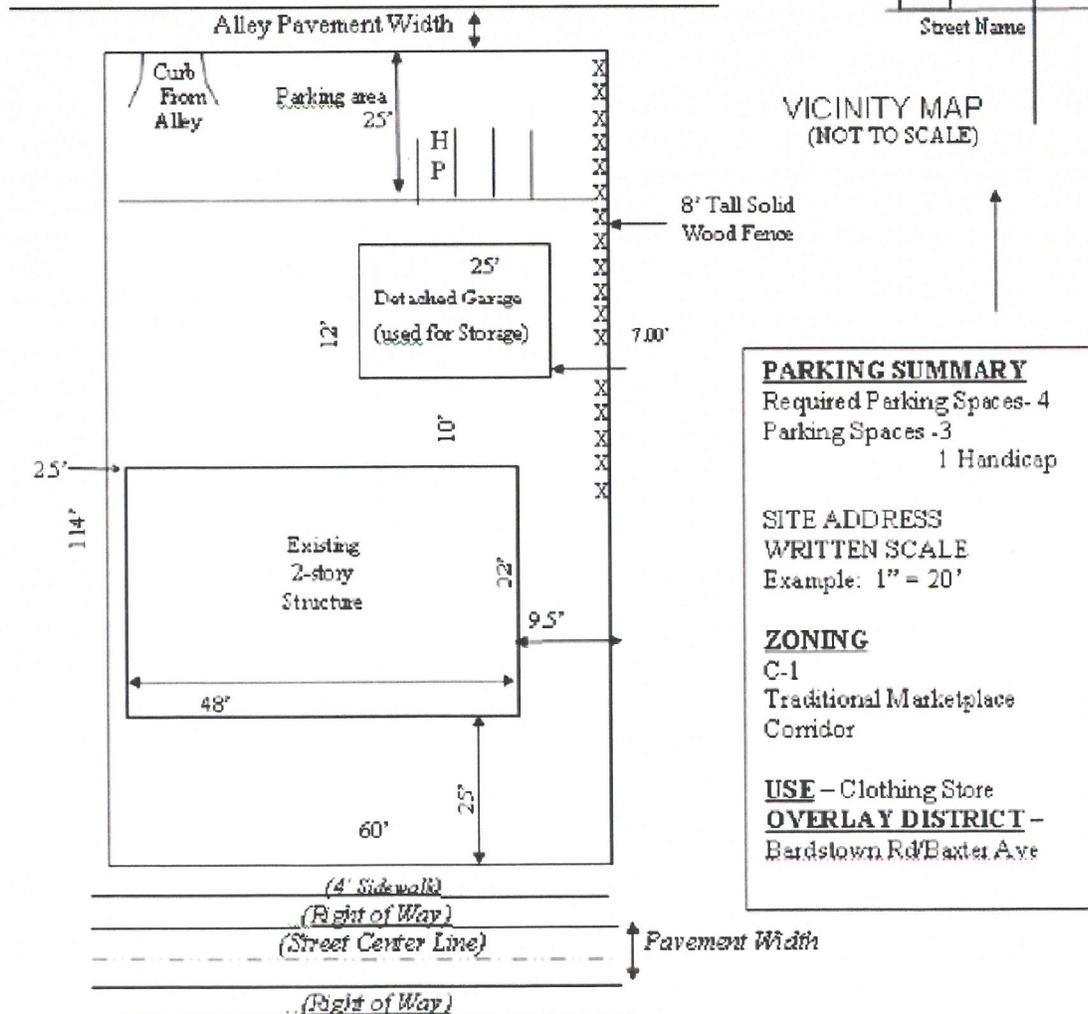
<http://www.louisvilleky.gov/PlanningDesign/Overlay+Districts.htm>

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Sample Site Plan



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JEFFERSON COUNTY PVA

1006 CHEROKEE RD

Mailing Address 1706 BARDSTOWN RD FL 2, LOUISVILLE, KY 40205-1212

Owner ICON PROPERTIES CHEROKEE LLC

Parcel ID 075C00720000

Land Value \$0

Improvements Value \$0

Assessed Value \$0

Approximate Acreage 0.3803

Property Class 656 Res Condo Master Lot

Deed Book/Page 7687 0662

District Number 100023

Old District 10

Fire District City of Louisville

School District Jefferson County

Neighborhood 20 / COM BUTCHERTOWN/GERMANTOWN

Satellite City Urban Service District

Sheriff's Tax Info View Tax Information

County Clerk Delinquent Taxes



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Area Type	Gross Area	Finished Area
Main Unit	-	0
Basement	0	-
Attic	-	-
Attached Garage	-	n/a
Detached Garage	-	n/a

All measurements in square feet.

Sales History

Deed Book/Page Price Date Previous Owner

11/30/2017

Property Details | Jefferson County PVA - Part 8201609

Deed Book/Page	Price	Date	Previous Owner
7687 0662	\$315,000	07/17/2001	PATRICIA HOLLINGSWORTH OGDEN TRUST %
7687 0665	\$315,000	07/17/2001	PATRICIA HOLLINGSWORTH OGDEN TRUST
7198 0794	\$202,200	02/26/1999	OGDEN JOHN C

Property is assessed per KRS 132.20 on January 1st of each year. The current year assessments are updated and posted on the website in mid April. Information deemed reliable but not guaranteed. Data last updated: 11/29/2017.

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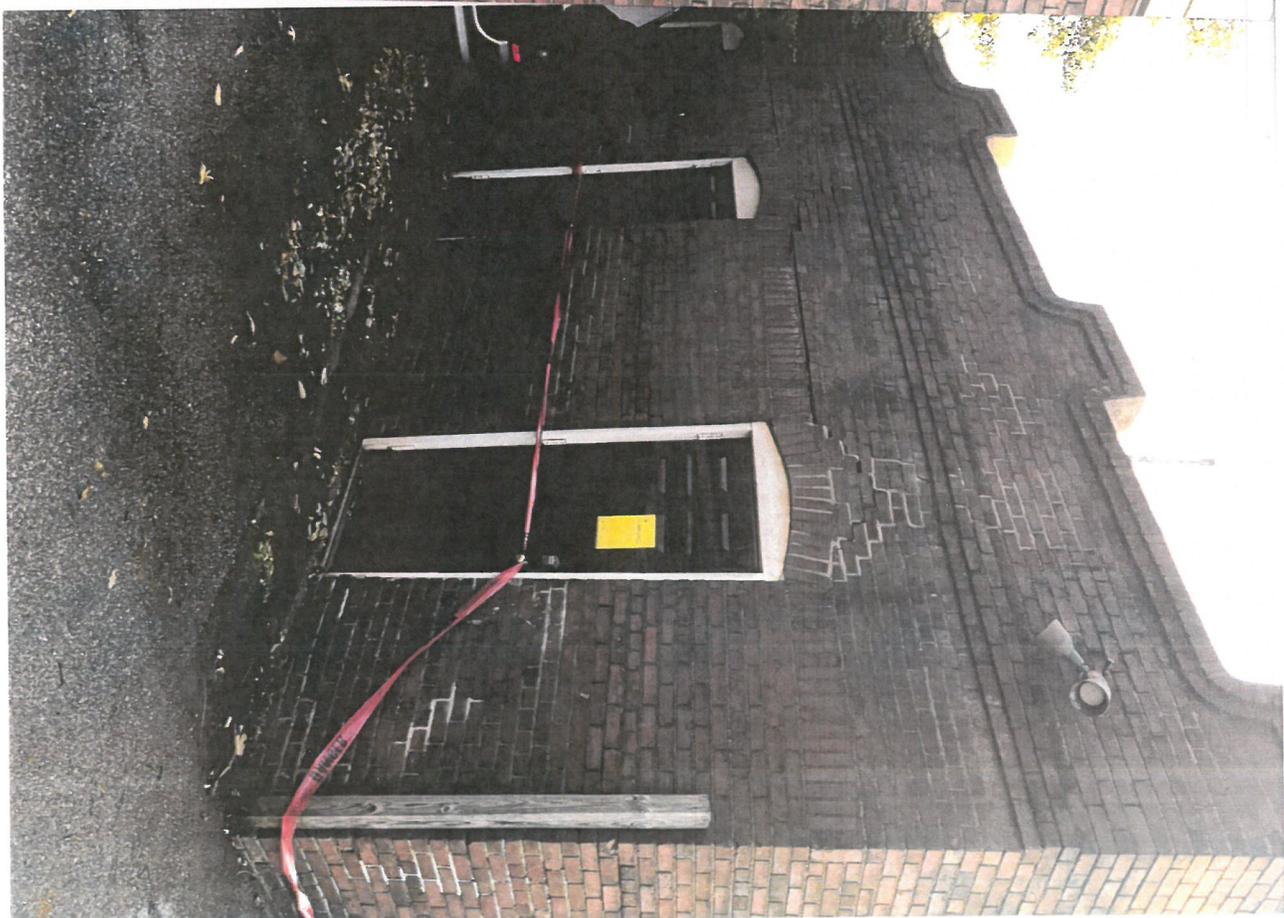
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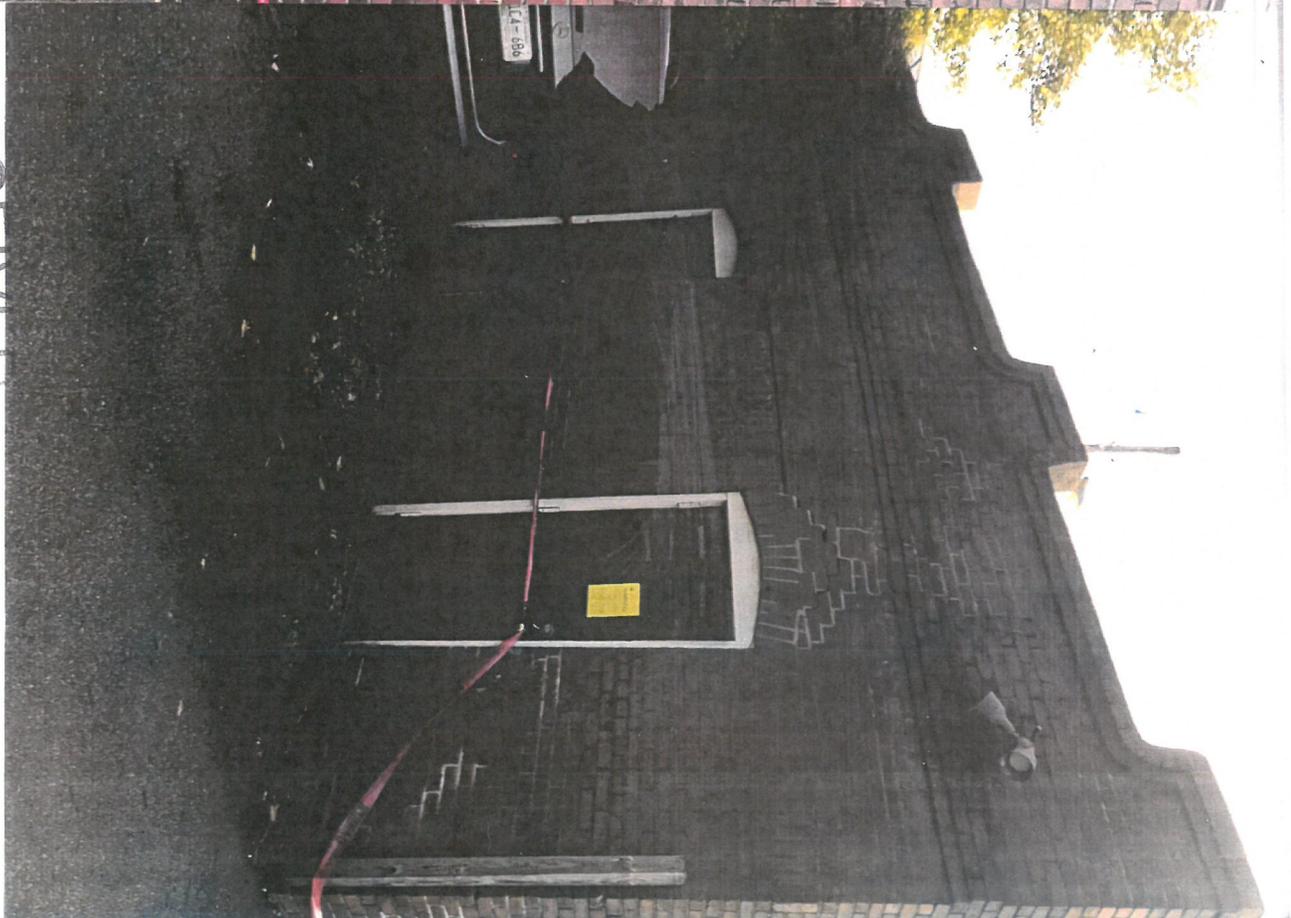


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COR

MARK A. THOMPSON
LIVING TRUST
940 Cherokee Road
Louisville, KY 40204

ADDY WORLD, LLC
1023 Bardstown Rd.
Louisville, KY 40204

S&H LOUISVILLE, LLC
400 West Main Street
Suite 1800
Louisville, KY 40206

MARK A. THOMPSON
LIVING TRUST
940 Cherokee Road
Louisville, KY 40204

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ADDY WORLD, LLC
1023 Bardstown Rd.
Louisville, KY 40204

ATTORNEY MARK G. HALL, LLC
119 South Seventh Street
Louisville, KY 40202

MARK A. THOMPSON
LIVING TRUST
940 Cherokee Road
Louisville, KY 40204

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LJC PROPERTIES, LLC
1015 Bardstown Rd.
Louisville, KY 40204

ATTORNEY MARK G. HALL, LLC
119 South Seventh Street
Louisville, KY 40202

DAVID J. FINN
1012 Cherokee Road
Louisville, KY 40204

LJC PROPERTIES, LLC
1015 Bardstown Rd.
Louisville, KY 40204

ATTORNEY MARK G. HALL, LLC
119 South Seventh Street
Louisville, KY 40202

DAVID J. FINN
1012 Cherokee Road
Louisville, KY 40204

LJC PROPERTIES, LLC
1015 Bardstown Rd.
Louisville, KY 40204

Sanoah LLC
PO Box 827
Pewee Valley, KY 40056

DAVID J. FINN
1012 Cherokee Road
Louisville, KY 40204

HIGHLAND PRESBYTERIAN CHURCH
Attn: Cynthia Campbell
1011 Cherokee Road
Louisville, KY 40204

Levon Elmore Properties
1811 Princeton Dr.
Louisville, KY 40205

LEVON ELMORE PROPERTIES, INC.
1021 Bardstown Road
Louisville, KY 40204

HIGHLAND PRESBYTERIAN CHURCH
Attn: Cynthia Campbell
1011 Cherokee Road
Louisville, KY 40204

ADDY WORLD LLC
1201 Stony Ave. Ste. 100
Louisville, KY 40206

LEVON ELMORE PROPERTIES, INC.
1021 Bardstown Road
Louisville, KY 40204

HIGHLAND PRESBYTERIAN CHURCH
Attn: Cynthia Campbell
1011 Cherokee Road
Louisville, KY 40204

Thomas E. Thompson
1012 Cherokee Rd.
Louisville, KY 40204

LEVON ELMORE PROPERTIES, INC.
1021 Bardstown Road
Louisville, KY 40204

S&H LOUISVILLE, LLC
400 West Main Street
Suite 1800
Louisville, KY 40206

Vertrees Condo Assoc.
1006 Cherokee Rd.
Unit 4
Louisville, KY 40204

ADDY WORLD, LLC
1023 Bardstown Rd.
Louisville, KY 40204

S&H LOUISVILLE, LLC
400 West Main Street
Suite 1800
Louisville, KY 40206

Savannah Darr
PDS
444 S. 5th St. Ste 300
Louisville, KY 40202

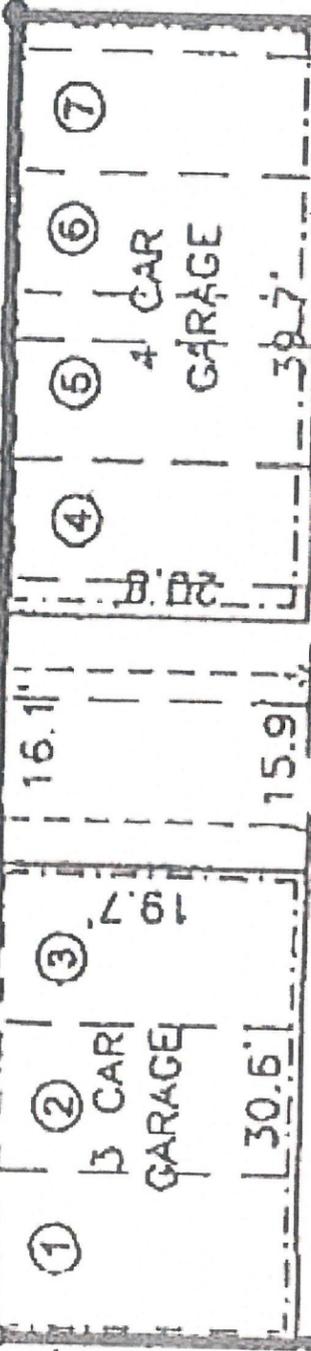
ALLEY

2' 4" SET PK NAIL

88.33'

180.0'

180.0'



3 CAR GARAGE

4 CAR GARAGE

PAVED AREA

PROPOSED PARKING

DECK & STAIRWELL

DECK & STAIRWELL

6-PLEX BUILDING
1006 CHEROKEE ROAD

LPORCH
LPORCH

SIDEWALK

RETAINING WALL

SIDEWALK

88.33'

47.2'

BUILDING ON PROPERTY LINE

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Abbreviations

AB	ANCHOR BOLT	HT	HEIGHT	R	RADIUS
AC	AIR CONDITIONING	HFB	HOLE BIBB	RB	RIBSE
ACCUST	ACOUSTICAL	HC	HOLLOW CORE	RC	RUNNER CHANNEL
ADJ	ADJUSTABLE	HDM	HOLLOW METAL	RCIP	REINFORCED CONCRETE PIPE
ADJNT	ADJUNCT	HDRZ	HORIZONTAL	RD	ROOF DRAIN
AFP	ABOUT FINISH FLOOR	HDT	HIGH DENT	RECP	RECEPTACLE
AFU	AIR HANDLING UNIT	HHP	HIGH POINT	REF	REFRIGERATE
ALP	ALUMINUM LATH PANEL	HHR	HARDWARE	REFR	REFRIGERATOR
AL	ALTERNATE	HJ	HOLE	REIN	REINFORCING
AL ALUM	ALUMINUM	HMC	HANDRAIL	REQD	REQUIRED
AND	AND	HNS	HOT STRENGTHENED	REVS	REVERSE
ANUN	ANNUNCIATOR	HTAC	HEATING VENTILATING AIR CONDITIONING	REVN	REVISION
AP	ACCESS PANEL	ID	INSIDE DIAMETER	RH	RIGHT HAND
APR	APPROPRIATE	ID	INVERT ELEVATION	RHD	ROUND HEAD
APPRX	APPROXIMATELY	IPD	INSIDE PIPE DIAMETER	RC	RACK
ARCT	ARCHITECTURAL	IS	INSULATION	RM	ROUGH OPENING
AT	ARCHITECTURAL TILE	ISUL	INSULATION	RL	ROOF LADDER
B	BATH	IT	INVERT	RSV	RESIDENT SHEET VINYL
BATH	BATHROOM	JAN	JANITOR	SDKN	SCREEN
BC	BROOM FINISH CONCRETE	JT	JOINT	SAD	SOUND ATTENUATION BLANKET
BD	BUILDING	SCRD	SCHEDULE	SCHD	SCHEDULE
BM	BEAM	KIP	KICK PLATE	SDW	SOLID CORE WOOD
BTM	BOTTOM	KSP	KNEE SPACE	SD	SOAP DISPENSER
BUR	BURST UP ROOFING	KOW	KICK OUT	SDAL	SEALANT
C	CABINET	L	LADDER	SEC	SECTION
CAB	CABINET	LEN	LENGTH	SH	SHIELD
CH	CHANNEL	ANG	ANGLE	SHT	SHELVING
CPD	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	LAB	LABORATORY	SIM	SIMILAR
CS	CATCH BASIN	LAM	LAMINATE	SM	SHEET METAL
CS	CORNER GUARD	LANS	LAVATORY	SMS	SHEET METAL SCREW
CI	CAST IRON	LK	LOCKER	SP	SPACE
CL	CONTROL JOINT	LF	LEAK FOOT	SPB	SPECIMEN PASS-THRU BOX
CL CLR	CEILING	LL	LEAD LINING	SPCS	SPECIFICATIONS
CLD	CLEAR	LLC	LEAD POINT	STOR	STORAGE
CLD	CLOSET	LP	LOW POINT	STRCT	STRUCTURAL
CO	CONCRETE MASONRY UNIT	LT	LIGHT	SUB	SUBSTRATE
CO	CASED OPENING	LT WT	LIGHT WEIGHT	STC	STAINLESS STEEL
COL	COLUMN	MAC	MACHINE	STAC	SUPERFLEX ACOUSTICAL CEILING
COM	COMMON	MAB	MASONRY	T	TOILET
CONC	CONCRETE	MAL	MATERIAL	TA	TABLE
CONST	CONSTRUCTION	MAM	MATERIAL	TG	TONGUE AND GROOVE
CR	CERAMIC TILE	MBS	MACHINE BOLT	TS	TOWEL RACK
CTR	COUNTER	MCD	METAL CASD OPENING	TC	TOILET COMPARTMENT
DEPT	DEPARTMENT	MCH	MECHANICAL	TE	TELEPHONE
DET	DETAIL	MIS	MISCELLANEOUS	TEMP	TEMPERED
DF	DRINKING FOUNTAIN	MK	MASKING	TR	TEMPERATURE
DI	DIAMETER	MO	MASONRY OPENING	TH	THICK
DIA	DIACTIONAL	MOR	MOVABLE PARTITION	TRES	THRESHOLD
DM	DIMENSION	MOR	MORTAR RESISTANT	TS	TOP OF STEEL
DSP	DISPENSER	MS	METAL STUD	TD	TOILET PAPER DISPENSER
DN	DOWN	MT	METAL STAIR	TP	TOILET PAPER HOLDER
DR	DOOR	MTR	METAL THRESHOLD	TREAT	TREATMENT
DWG	DRAWINGS	MTO	MOUNTED	TRE	TREATMENT
EB	EXPANSION BOLT	MWR	MASONRY WALL REINFORCING	TRG	TRENCH
EF	EXHAUST FAN	MP	MASONRY	TRH	TREATMENT
EFS	EXTERIOR INSULATED FINISH SYSTEM	MUL	MULLION	TRM	TRENCH
EJ	EXPANSION JOINT	MV	MASONRY VANE	TRT	TYPICAL
EL	ELEVATION	NC	NOT IN CONTRACT	UC	UNDERCUT
ELEC	ELECTRICAL	NOM	NOMINAL	UNK	UNKNOWN
ELEV	ELEVATION	NTS	NOT TO SCALE	UTL	UTILITY
EP	ELECTRIC PANEL	DA	DIVERSAL	V	VINYL
EQ	EQUAL	DFU	DIVERSAL	VB	VINYL BASE
EQV	EQUIVALENT	DFI	DIVERSAL	VT	VINYL COMPOSITION TILE
ES	EXPOSED STRUCTURE	CC	CONTRACTOR	VT	VERTICAL
ETR	EXISTING TO REMAIN	CC	CONTRACTOR	VE	VERTICAL
EFT	EXISTING	CD	CONTRACTOR	VE	VERTICAL
EXT	EXTERIOR	CD	CONTRACTOR	VF	VERIFY IN FIELD
FA	FIRE ALARM	CH	CHANGING	VTD	VINYL TRANSITION STRIP
FC	FLOOR CHANNEL	OPN	OPENING	VWC	VINYL WALL COVERING
FD	FLOOR DRAIN	OPP	OPPOSITE	W	WIDTH
FE	FIRE EXTINGUISHER	PT	PART	W	WITH
FE	FIRE EXTINGUISHER CABINET	PRT	PARTITION	WC	WATER CLOSET
FFE	FINISH FLOOR ELEVATION	PAS	PASSAGE	WC	WHEELCHAIR
FM	FIRE HOSE CABINET	PH	PAN HEAD	WD	WOOD
FHP	FULL HEIGHT PARTITION	PL	PLATE	WD	WOOD DOOR
FL	FLOOR	PL	PLASTER LINE	WD	WOOD WINDOW DIMENSION
FLGR	FLOORING	PLA	PLASTER	WR	WROUGHT IRON
FLGR	FLOORING	PLA	PLASTER	WR	WATERPROOFING
FR	FIRE RATED	PLA	PLASTER	WR	WATER RESISTANT
FS	FLOOR SINK	PLA	PLASTER	WS	WEATHER STRIP
FT	FOOT	PLA	PLASTER	WO	WELDED SHEET VINYL
FTS	FLOORING	PLA	PLASTER	WO	WELDED SHEET VINYL
FUR	FURRING	PLA	PLASTER	WO	WELDED SHEET VINYL
FUT	FUTURE	PLA	PLASTER	WO	WELDED SHEET VINYL
FV	FLOOR VENT	PLA	PLASTER	WO	WELDED SHEET VINYL
GA	GALVANIZED	PLA	PLASTER	WO	WELDED SHEET VINYL
GALV	GALVANIZED	PLA	PLASTER	WO	WELDED SHEET VINYL
GB	GYPSONUM WALLBOARD	PLA	PLASTER	WO	WELDED SHEET VINYL
GC	GENERAL CONTRACTOR	PLA	PLASTER	WO	WELDED SHEET VINYL
G	GLASS	PLA	PLASTER	WO	WELDED SHEET VINYL
GALV	GALVANIZED METAL	PLA	PLASTER	WO	WELDED SHEET VINYL
GALV	GALVANIZED METAL LATH	PLA	PLASTER	WO	WELDED SHEET VINYL
GALV	GALVANIZED METAL STUD	PLA	PLASTER	WO	WELDED SHEET VINYL
GR	GRADE	PLA	PLASTER	WO	WELDED SHEET VINYL
GS	GYPSONUM SHEATHING	PLA	PLASTER	WO	WELDED SHEET VINYL
GWB	GYPSONUM WALLBOARD	PLA	PLASTER	WO	WELDED SHEET VINYL
GYP	GYPSONUM	PLA	PLASTER	WO	WELDED SHEET VINYL

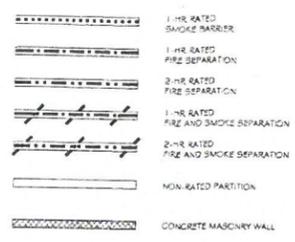
Code Criteria

PROJECT INFORMATION
OWNER: 1006 CHEROKEE ROAD GARAGE
PROJECT NO.: 15014

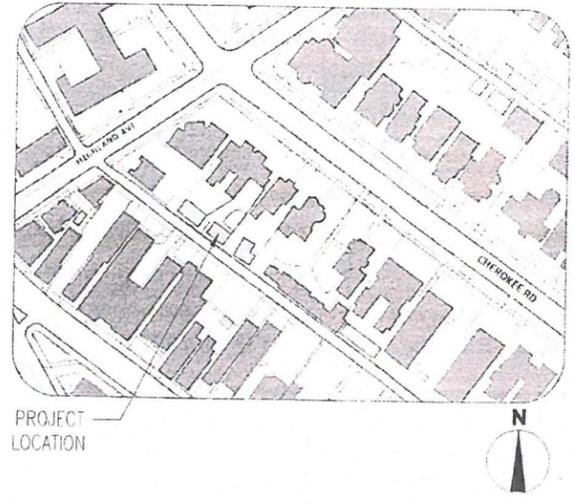
PROJECT DESCRIPTION:
REPLACE AN UNSAFE EXISTING GARAGE WITH A NEW WOOD FRAMED, BRICK VENEERED STRUCTURE.

APPLICABLE CODES AND REGULATIONS
2013 KY BUILDING CODE

Partition Legend



Vicinity Map



Sheet Index

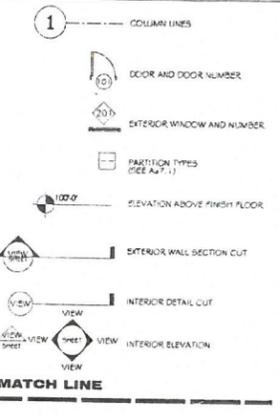
- CV1 Cover
- PR1 Project Reference
- C1 Site Plan
- AP1 Floor Plan
- A2 Elevations
- A3 Sections and Details

BASE BID:
GARAGE
ADD ALTERNATE:
TRENCH DRAINAGE SYSTEM
DEDUCT ALTERNATE:
REUSE EXISTING GARAGE OVERHEAD DOORS AND TRACKS;
MODIFY OPENINGS AS NECESSARY FOR PROPER WEATHERTIGHT INSTALLATION AND OPERATION.

Sheet No. System

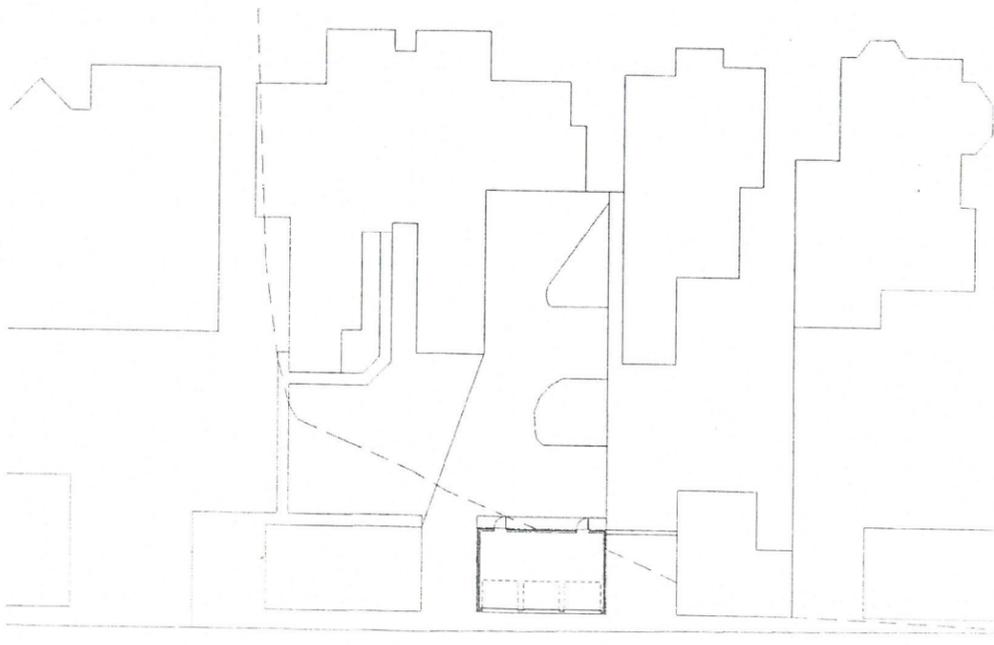
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AREA: []
SHEET: []

Symbols Legend

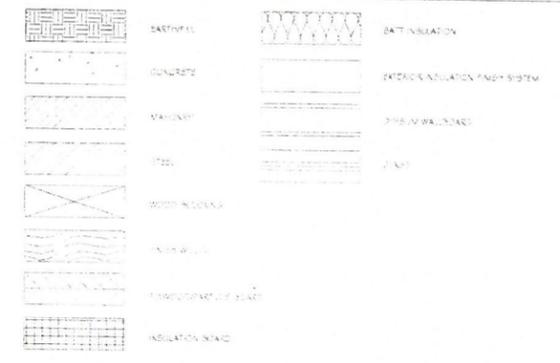


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Site Plan



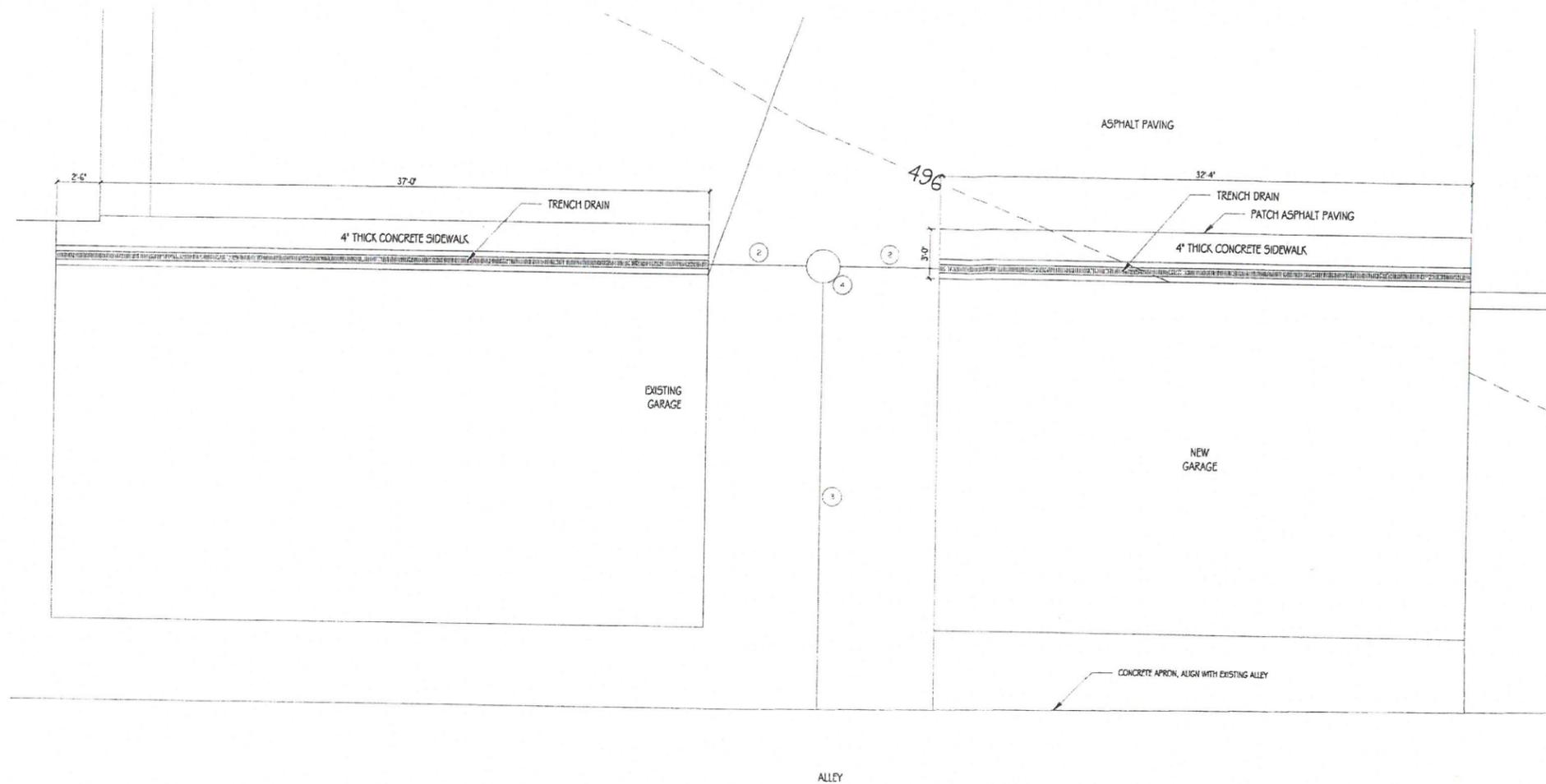
Materials Legend



LUCKETT & ASSOCIATES
ARCHITECTS AND ENGINEERS
119 SOUTH SHERIDAN AVENUE, SUITE 250
LOUISVILLE, KENTUCKY 40207-3237
502-584-6048; (FAX) 502-893-0154
Architect@Lockett.US

1006 CHEROKEE ROAD GARAGE

PROJECT NUMBER	15014
DRAWN BY	JLR
CHECKED BY	
DATE	6/13/2017
REVISION	
SHEET TITLE	PROJECT REFERENCE
PROJECT NUMBER	PR1



1 Site Plan
1/4" = 1'-0"

SITE NOTES:

1. EXTERIOR PIPING TO BE SDR21 PVC PIPE EXTRUDED FROM TYPE 1, GRADE 1 POLYVINYL CHLORIDE MATERIAL. PVC PIPE TO HAVE BELL TYPE FITTING ON ONE END. JOINTS TO BE SOLVENT CEMENT TYPE. SURROUND PIPE WITH 4" COMPACTED #8 CRUSHED STONE.
2. PIPE DIAMETER TO BE COMPATIBLE WITH TRENCH DRAIN END OUTLET. CONTINUE TRENCH DRAIN SLOPE TO DRYWELL.
3. 3" PIPE FOLLOWING SLOPE OF DRIVE. CONNECT TO DRYWELL AT UPPER END, WITH INVERT 7" BELOW SURFACE OF ASPHALT. CUT OFF AT ALLEY TO SLOPE OF GUTTER SIDE.
4. DRYWELL TO BE 2' DIAMETER, 3' DEEP POLYETHYLENE, PVC, OR CONCRETE PIPE FILLED WITH 1" TO 1 1/2" WASHED, CRUSHED STONE. BACKFILL PERIMETER OF PIPE WITH CONCRETE. TOP OF PIPE TO BE 5" BELOW SURFACE OF ASPHALT.
5. ESTIMATE REPAIR/REPLACEMENT OF PAVING AS 3" COMPACTED ASPHALT ON 4" COMPACT AGGREGATE BASE. AT COMMENCEMENT OF PROJECT, FIELD VERIFY CURRENT THICKNESS AND CONSULT WITH ARCHITECT FOR FINAL DISPOSITION.

LUCKETT & ASSOCIATES
 ARCHITECTS AND ENGINEERS
 119 SOUTH SHERRIN AVENUE, SUITE 250
 LOUISVILLE, KENTUCKY 40207-3237
 502-584-6048; (FAX) 502-893-0154
 Architect@Lockett.US

1006 CHEROKEE ROAD GARAGE

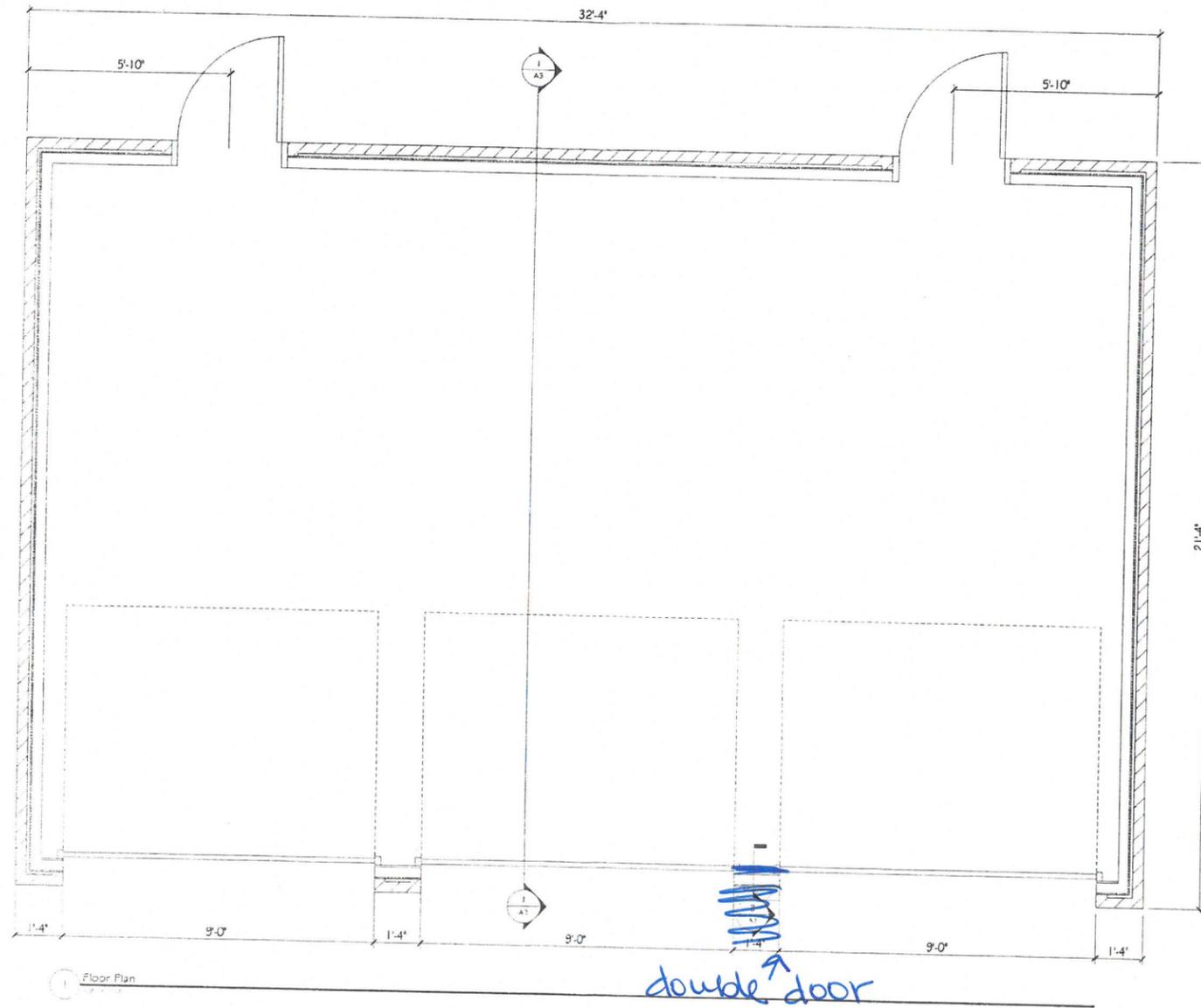
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DESIGN SERVICES

PROJECT NUMBER	15014
DRAWN BY	JLR
CHECKED BY	
DATE	6/13/2017
REVISIONS	
SHEET TITLE	SITE PLAN
GRAPHIC NUMBER	C1

17-COA 1285



1 Floor Plan

GENERAL NOTES:

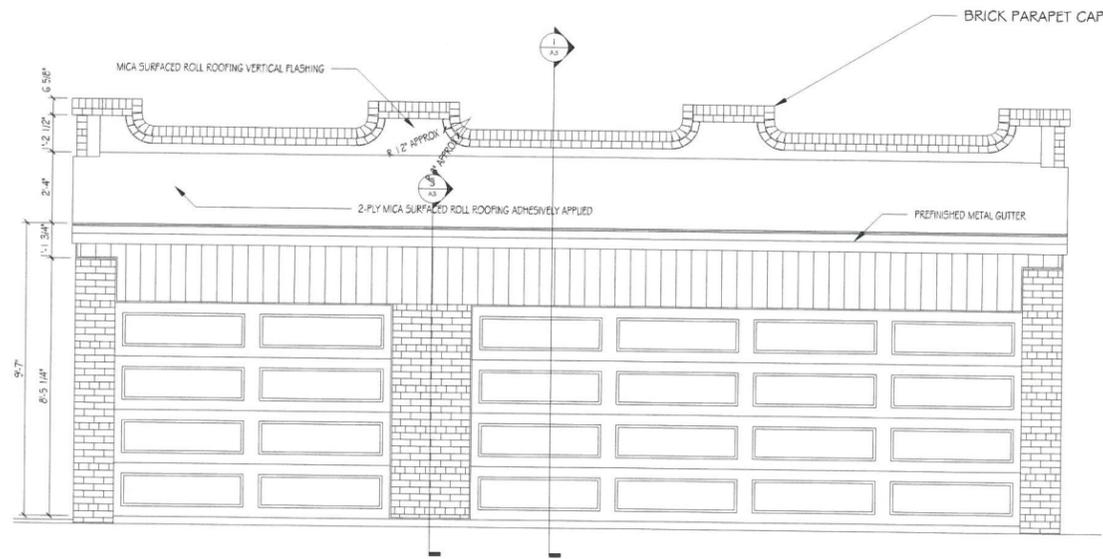
1. CONCRETE: 28 DAY COMPRESSIVE STRENGTH 4000 PSI, 5/8" AIR ENTRAINMENT, 6/6 #2, 14W2, 1 WELDED WIRE MESH, WOOD FLOAT FINISH, INSTALLED OVER 4" COMPACTED GRAVEL BASE AND 6 MIL POLYETHYLENE VAPOR RETARDER.
2. BRICK: ASTM C 21 G, GRADE SW, TYPE F25, 3-5/8" WIDE x 2-1/4" HIGH x 7-5/8" LONG, MATCH EXISTING BRICK OF ADJACENT GARAGE IN COLOR AND TEXTURE.
3. MORTAR: ASTM C 270, CEMENT MORTAR, TYPE S, COLOR TO MATCH ADJACENT GARAGE.
4. WOOD: FRAMING - SOUTHERN PINE, GRADE #2, SHEATHING (PS2) - WALL EXTERIOR, STRUCTURAL I, ROOF EXPOSURE I, STRUCTURAL I.
5. BUILDING WRAP: TYVEK HOUSE WRAP
6. VINYL SIDING: BRACKO VERTICAL SIDING, SHIP-LAPPED, 0.40" THICK, INCLUDE TRIM AND INSTALLATION FRAMING, AS REQUIRED.
7. ROOFING: UNDERLAYMENT - #15 ASPHALT SATURATED FELT, LAPPED 2" OVER THE PRECEDING SHEET; ROOF MEMBRANE - ASTM E 108, Class C UL 790, Class C, MINERAL CAP SURFACE FIBERGLASS MAT.
8. SWING DOORS: INTERIOR, FIBERGLASS, 4 PANEL SMOOTH FINISH
9. HARDWARE: 1-1/2" PAIR BUTT HINGES 4-1/2x4-1/2x1/2", 1 SCHLAGE TOUCHPAD PLYMOUTH SATIN CHROME LIGHT COMMERCIAL DEADBOLT HANDLE SET WITH SLAM PASSAGE LEVER, 1 ALUMINUM THRESHOLD
10. GARAGE DOORS: GLOFPAY 25-49 STEEL, NON-INSULATED, RAISED PANEL, WITH OPERATOR, REINFORCEMENT BRACKET, GARAGE DOOR OPENER - 3/4 hp, CHAIN DRIVE WITH 2 WIRELESS REMOTES PER DOOR, 1 WALL SWITCH, INCLUDE STEEL FRAMING FOR TRACKS AND GUIDES.

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1006 CHEROKEE ROAD GARAGE

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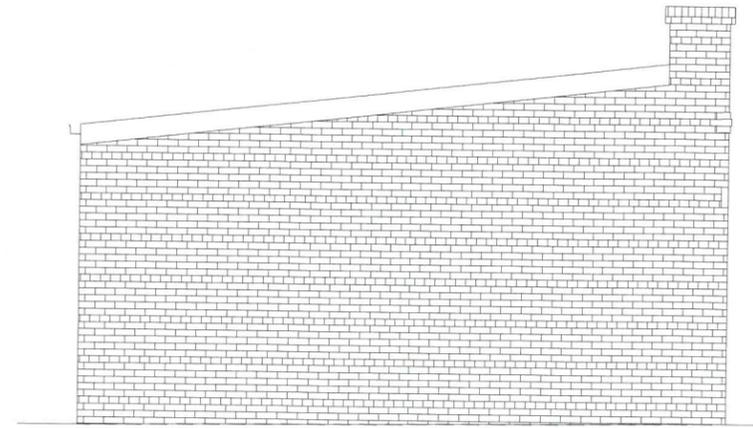
PROJECT NUMBER	15014
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DESIGNED BY	JLR
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DATE	
SCALE	
TITLE	FLOORPLAN
DATE	
REVISION NUMBER	A1



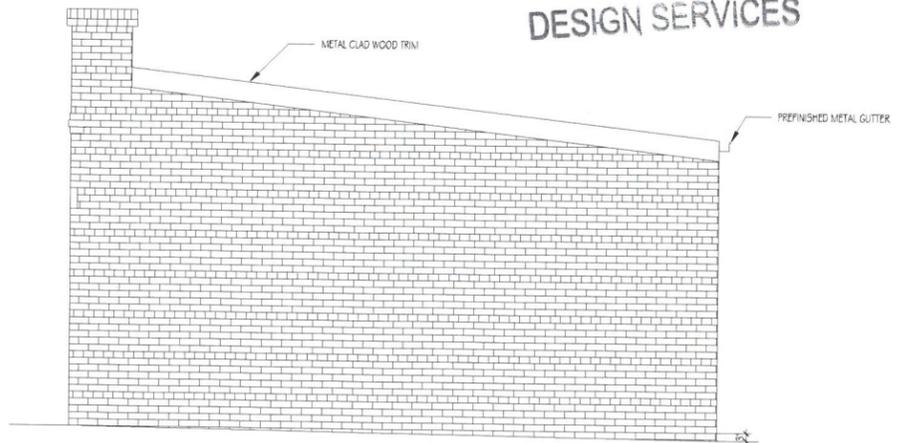
1 Southwest Elevation
3/8" = 1'-0"



3 Northeast Elevation
3/8" = 1'-0"



2 Southeast Elevation
3/8" = 1'-0"



4 Northwest Elevation
3/8" = 1'-0"

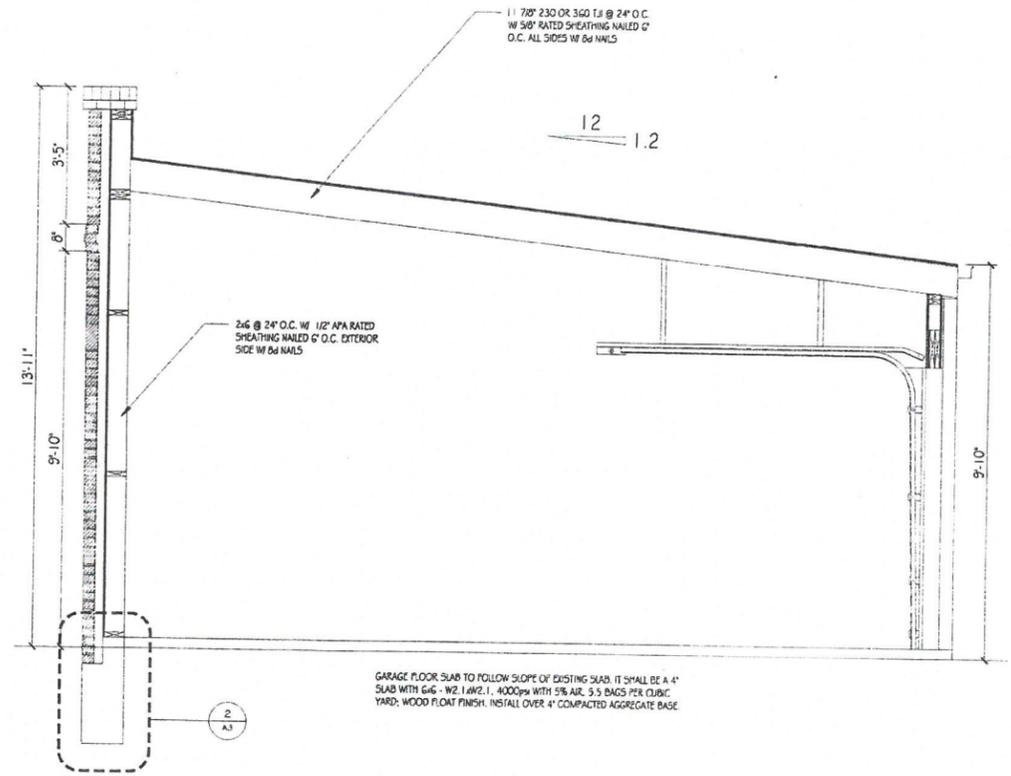
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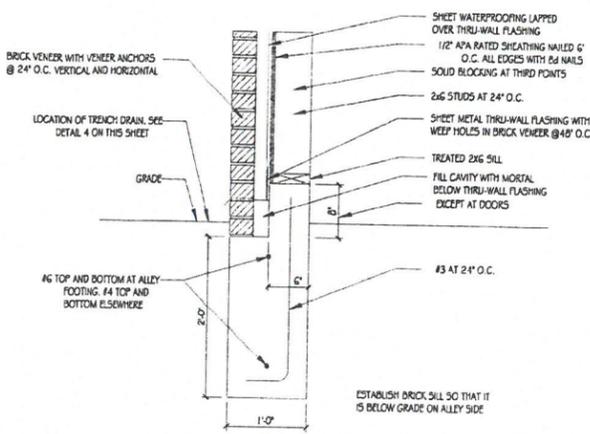
1006 CHEROKEE ROAD GARAGE

PROJECT NUMBER	15014
DRAWN BY / CHECKED BY	JLR /
DATE	12/28/2017
REVISED ON:	
SHEET TITLE	ELEVATIONS
DRAWING NUMBER	A2

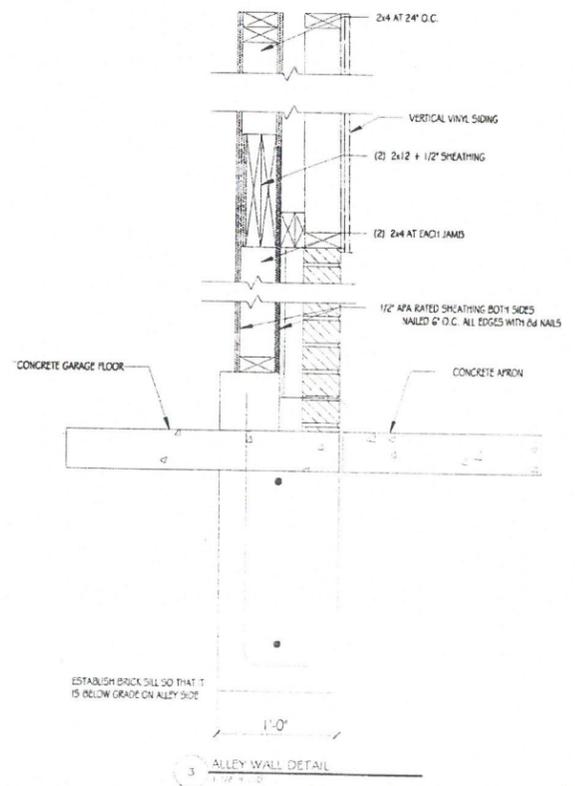


1 Section Looking Southeast
1/2" = 1'-0"

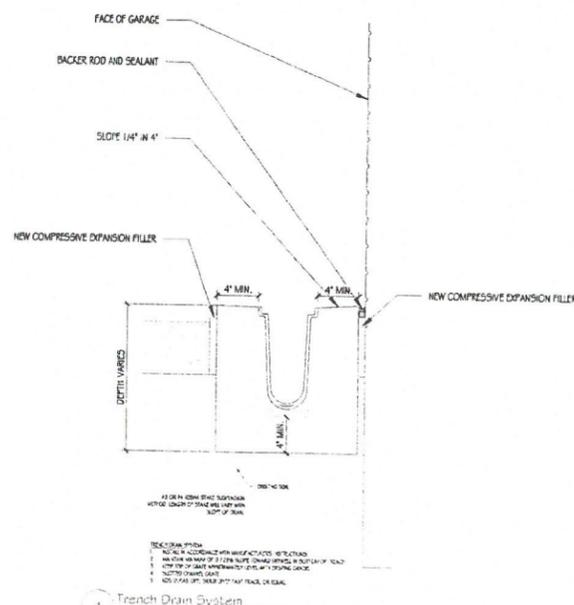
GARAGE FLOOR SLAB TO FOLLOW SLOPE OF EXISTING SLAB. IT SHALL BE A 4" SLAB WITH 6#6 - W2.1 #W2.1 - 4000psi WITH 5% AIR, 5.5 BAGS PER CUBIC YARD. WOOD FLOAT FINISH. INSTALL OVER 4" COMPACTED AGGREGATE BASE.



2 Foundation/Buckledge Detail
1/2" = 1'-0"



3 ALLEY WALL DETAIL
1/2" = 1'-0"



4 Trench Drain System
1/2" = 1'-0"

- STRUCTURAL GENERAL NOTES:**
- ALL LUMBER FOR STUDS AND FRAMING SHALL BE NO. 2 KILN DRIED SOUTHERN YELLOW PINE OR BETTER WITH A MINIMUM ALLOWABLE BENDING STRESS OF 1,250 PSI.
 - WOOD SHEATHING
WALL AND ROOF SHEATHING SHALL BE 1/2" APA RATED SHEATHING NAILED 6" O.C., ALL SIDES WITH 8D NAILS. JOINTS IN ADJACENT ROOF SHEETS SHALL BE STAGGERED.
 - CONCRETE & REINFORCING
 - CONCRETE SHALL BE PLACED AND CURED IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 304, 305, 318 AND 605 SPECIFICATIONS.
 - READY-MIXED CONCRETE SHALL BE USED AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-94. CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI; A MAXIMUM SLUMP AT THE SITE OF 5"; AN ENTRAINED AIR CONTENT OF 4% +/- 1% AND A MINIMUM CEMENT CONTENT OF 5.5 BAGS PER CUBIC YARD.
 - CEMENT SHALL BE GRAY PORTLAND CEMENT, TYPE 1, CONFORMING TO ASTM C-150
 - COURSE AGGREGATE SHALL CONSIST OF CRUSHED LIMESTONE ASTM C-33.
 - FINE AGGREGATE SHALL CONSIST OF CLEAN RIVER SAND ASTM C-33
 - CONCRETE PROTECTION OF REINFORCING STEEL SHALL BE 1 1/2" MINIMUM FOR ALL WALLS, BEAMS AND PIERS. WHERE CONCRETE IS DEPOSITED DIRECTLY AGAINST THE GROUND, PROTECTION SHALL BE 3". CONCRETE MEMBERS EXPOSED TO THE WEATHER SHALL HAVE 2" OF PROTECTION. ALL MEMBERS ABOVE THE FOUNDATION SHALL BE ADEQUATELY FORMED.
 - REINFORCING STEEL SHALL BE HARD GRADE BILLET STEEL CONFORMING TO ASTM A-615, GRADE 60, WITH A MINIMUM YIELD STRENGTH OF 60,000PSI. ALL BARS SHALL BE DEFORMED IN ACCORDANCE WITH ASTM A-305. ALL REINFORCING SHALL BE SHOP FABRICATED USING STANDARD BENDS AS OUTLINED IN ACI-318 AND SHALL BE PLACED IN STRICT ACCORDANCE WITH ACI-318 SPECIFICATION.
 - WELDED WIRE FABRIC, WHERE SHOWN ON THE DRAWINGS, SHALL CONFORM TO THE REQUIREMENTS OF ASTM A-185 AND SHALL BE INSTALLED IN ACCORDANCE WITH ACI-318.
 - SPLICE ALL #4 BARS 18", #5 BARS 24" AND #6 BARS 30"
 - PROVIDE #4 BARS AT ALL CORNERS TO MATCH SPACING OF HORIZONTAL REINFORCING.
 - AFTER FINAL TROWELING, THE FLOOR SLABS SHALL RECEIVE A CURING COMPOUND APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 - CONTROL JOINTS WHERE SHOWN ON THE DRAWINGS SHALL BE SAW CUT 2" DEEP OR 1/3 OF THE SLAB DEPTH, WHICH EVER IS GREATER. JOINTS SHALL BE CUT AS SOON AS PRACTICAL BUT NO LONGER THAN (4) HOURS AFTER FINAL TROWELING.
 - DESIGN LOADS - THE STRUCTURAL DESIGN IS BASED ON THE REQUIREMENTS OF THE 2013 KENTUCKY BUILDING CODE AND THE FOLLOWING UNIFORMLY DISTRIBUTED LIVE LOADS. THE DEAD LOAD WEIGHT CONSISTING OF THE STRUCTURE SELF WEIGHT, CEILING, ROOFING, ETC., AS SHOWN ON THE DRAWINGS SHALL BE INCLUDED IN THE DESIGN OF MEMBERS.
 - ROOF FRAMING
 - LIVE LOAD: 20 PSF, 10 PSF DEAD LOAD
 - SNOW LOAD: PG = 15 PSF, PF = 12.6 PSF
 - CE = 1.0, I = 1.0
 - WIND LOAD
 - BASIC WIND SPEED FOR VERTICAL SURFACES; 115 MPH (3 SEC GUST)
 - EXPOSURE B; I = 1.0
 - SEISMIC LOADING
 - OCCUPANCY CATEGORY II
 - SS = 0.227, S1 = 0.114, S05 = 0.244, S01 = 0.17
 - SITE CLASS D; I = 1.0; R = 4; CS = 0.040
 - SEISMIC DESIGN CATEGORY B
 - EQUIVALENT LATERAL FORCE DESIGN PROCEDURE
 - VI. PLYWOOD SHEAR WALLS
 - FOUNDATIONS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING CAPACITY OF 2,000 PSF (TOTAL LOAD). FOUNDATIONS SHALL BEAR ON UNDISTURBED EARTH OR COMPACTED FILL. ALL FOUNDATION EXCAVATIONS SHALL BE INSPECTED BY THE GEOTECHNICAL CONSULTANT PRIOR TO PLACEMENT OF CONCRETE. ANY FILL MATERIAL DISCOVERED IN THE EXCAVATIONS SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE GEOTECHNICAL CONSULTANT OR THE FILL COMPACTED TO 95% OF THE MATERIALS STANDARD PROCTOR MAXIMUM DENSITY AS DETERMINED BY ASTM D-630.
 - SPECIAL INSPECTIONS
INSPECTIONS SHALL BE PERFORMED BY AN INDEPENDENT TESTING LABORATORY IN ACCORDANCE WITH SECTION 17 OF THE KBC FOR THE ITEMS LISTED BELOW. THE INSPECTOR SHALL COMPLETE DAILY REPORTS FOR THE WORK COMPLETED ON FORMS LISTED IN THE 2013 KBC AND SEAK REFERENCES.
 - FOUNDATIONS/CONCRETE
 - INSPECT PLACEMENT OF ALL REINFORCING FOR FOUNDATIONS PRIOR TO PLACEMENT OF CONCRETE.
 - INSPECT FOR QUANTITY OR SPACING ANY BOLTS SHOWN TO BE INSTALLED IN THE CONCRETE.
 - AT THE TIME OF PLACEMENT OF FRESH CONCRETE FOR EACH DAYS PLACEMENT OR FOR EVERY 100 YDS OF CONCRETE PLACED:
 - FABRICATE SAMPLES FOR STRENGTH TESTS
 - PERFORM SLUMP AND AIR CONTENT TESTS
 - DETERMINE TEMPERATURE OF THE CONCRETE

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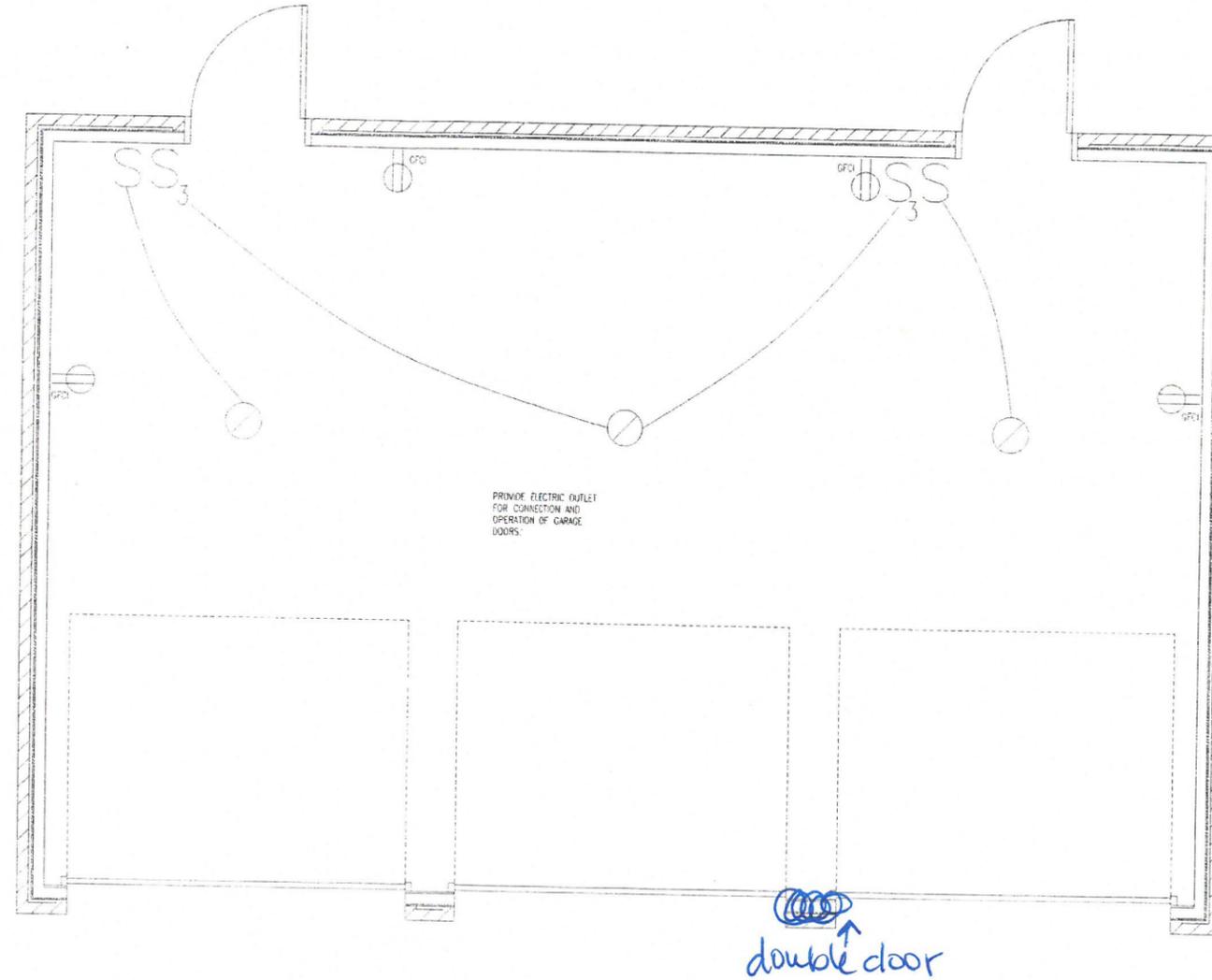
1006 CHEROKEE ROAD GARAGE

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SECTIONS AND DETAILS
DRAWING NUMBER: A3

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1 Floor Plan

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1006 CHEROKEE ROAD GARAGE

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SHEET TITLE	ELECTRICAL PLAN
DRAWING NUMBER	E1

17 COA 4285