

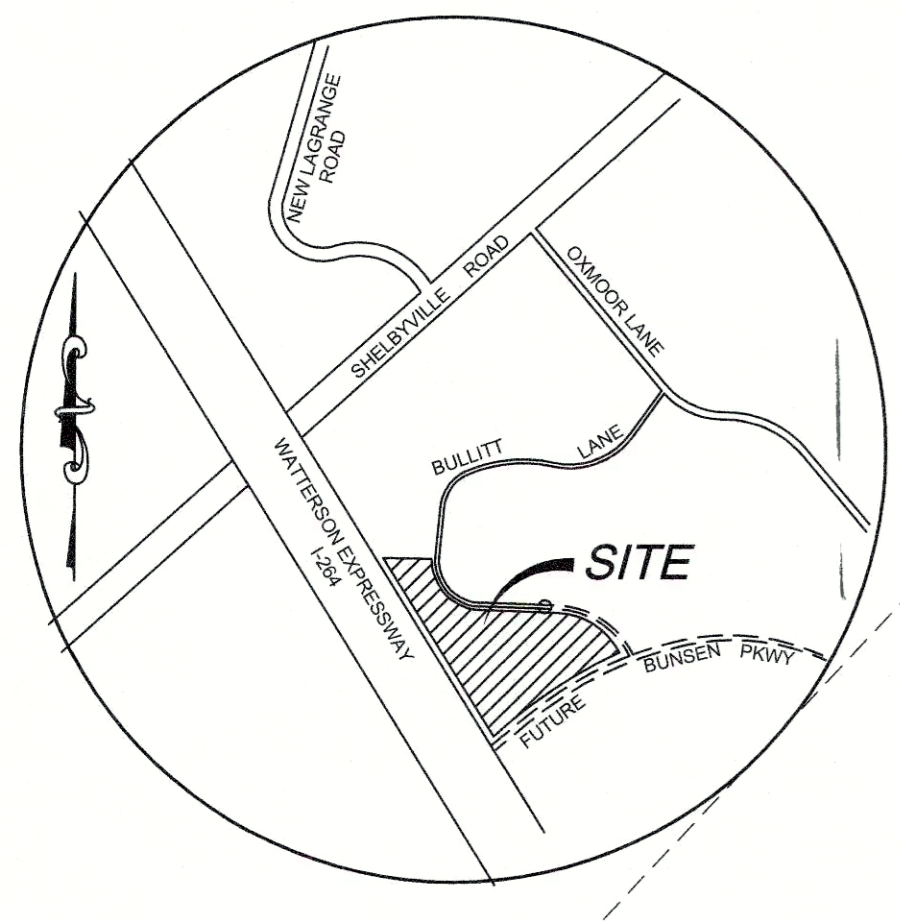
Case No. 17ZONE1048 Binding Elements

RESOLVED, the Louisville Metro Planning Commission does hereby **APPROVE** the requested Detailed District Development Plan, **SUBJECT** to the following binding elements:

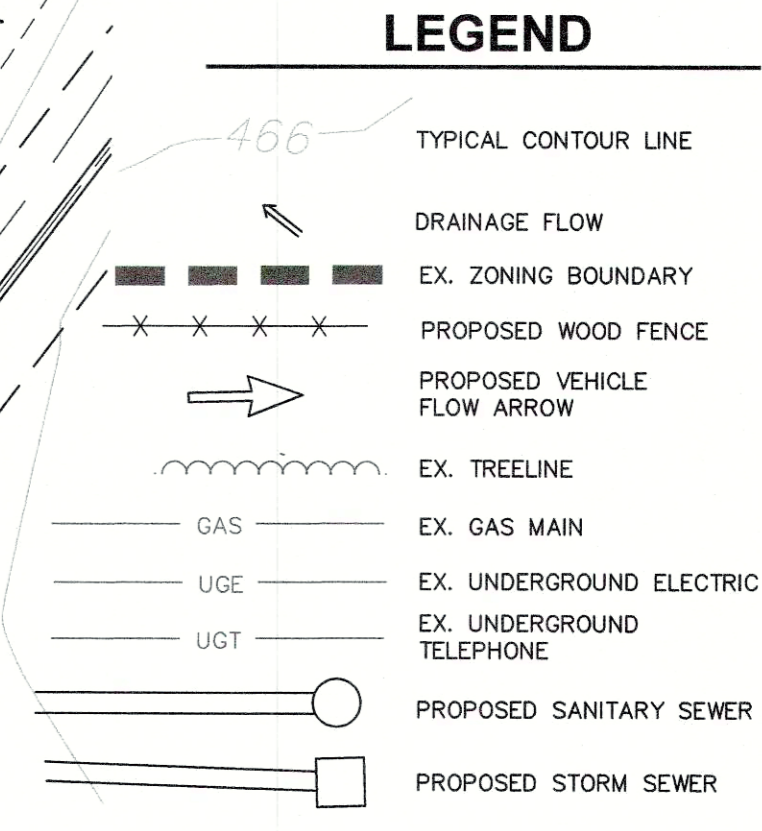
1. The development shall be in accordance with the approved district development plan, all applicable sections of the Land Development Code (LDC) and agreed upon binding elements unless amended pursuant to the Land Development Code. Any changes/additions/alterations of any binding element(s) shall be submitted to the Planning Commission or the Planning Commission's designee for review and approval; any changes/additions/alterations not so referred shall not be valid.
2. No outdoor advertising signs, small freestanding signs, pennants, balloons, or banners shall be permitted on the site.
3. Construction fencing shall be erected when off-site trees or tree canopy exists within 3' of a common property line. Fencing shall be in place prior to any grading or construction to protect the existing root systems from compaction. The fencing shall enclose the entire area beneath the tree canopy and shall remain in place until all construction is completed. No parking, material storage or construction activities are permitted within the protected area. Construction Fencing shall also be provided along the Limits of Disturbance as shown on the approved district development plan.
4. Before any permit (including but not limited to building, parking lot, change of use, site disturbance, alteration permit or demolition permit) is requested:
 - a. The development plan must receive full construction approval from Louisville Metro Department of Codes and Regulations Construction Permits and Transportation Planning Review and the Metropolitan Sewer District.
 - b. Encroachment permits must be obtained from the Kentucky Department of Transportation, Bureau of Highways for any work within the state right-of-way.
 - c. The property owner/developer must obtain approval of a detailed plan for screening (buffering/landscaping) as described in Chapter 10 prior to requesting a building permit. Such plan shall be implemented prior to occupancy of the site and shall be maintained thereafter
 - d. A Tree Preservation Plan in accordance with Chapter 10 of the LDC shall be reviewed and approved prior to obtaining approval for site disturbance.
5. A certificate of occupancy must be received from the appropriate code enforcement department prior to occupancy of the structure or land for the proposed use. All binding elements requiring action and approval must be implemented prior to requesting issuance of the certificate of occupancy, unless specifically waived by the Planning Commission.
6. The applicant shall work with Urban Design/Historic Preservation Staff and the Kentucky heritage Council to determine if a qualified professional archaeologist is to be hired to examine the project area and make recommendations regarding the need for any additional investigations prior to site/ground disturbance.
7. Construction of sidewalks along the property frontage up to Bunsen Pkwy shall be triggered at such time that Bullitt Lane is extended to Bunsen Pkwy. The owner shall

construct the sidewalk or pay a contribution in the amount equal to said construction as determined by the Director of Public Works.

8. The property owner is responsible for funding \$79,000 toward improvements to Bullitt Lane. The funding shall be provided to Metro Public Works when funding is approved for Bunsen Parkway within "The Park at Oxmoor", as recorded in Plat Book page 44, Page 5 in the office of the County Clerk's Office of Jefferson County. A signed contract/agreement, approved by the County Attorney's office, shall be provided to Metro Planning & Design Services and Metro Public Works.
9. The design and appearance of the proposed structures shall be substantially the same as depicted at the June 7, 2018 Planning Commission public hearing.



PRELIMINARY APPROVAL
 Condition of Approval:
 Development Review
 Louisville & Jefferson County
 Metropolitan Sewer District

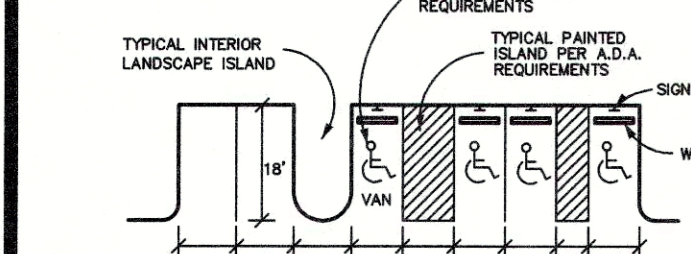


VICINITY MAP
 Not to Scale

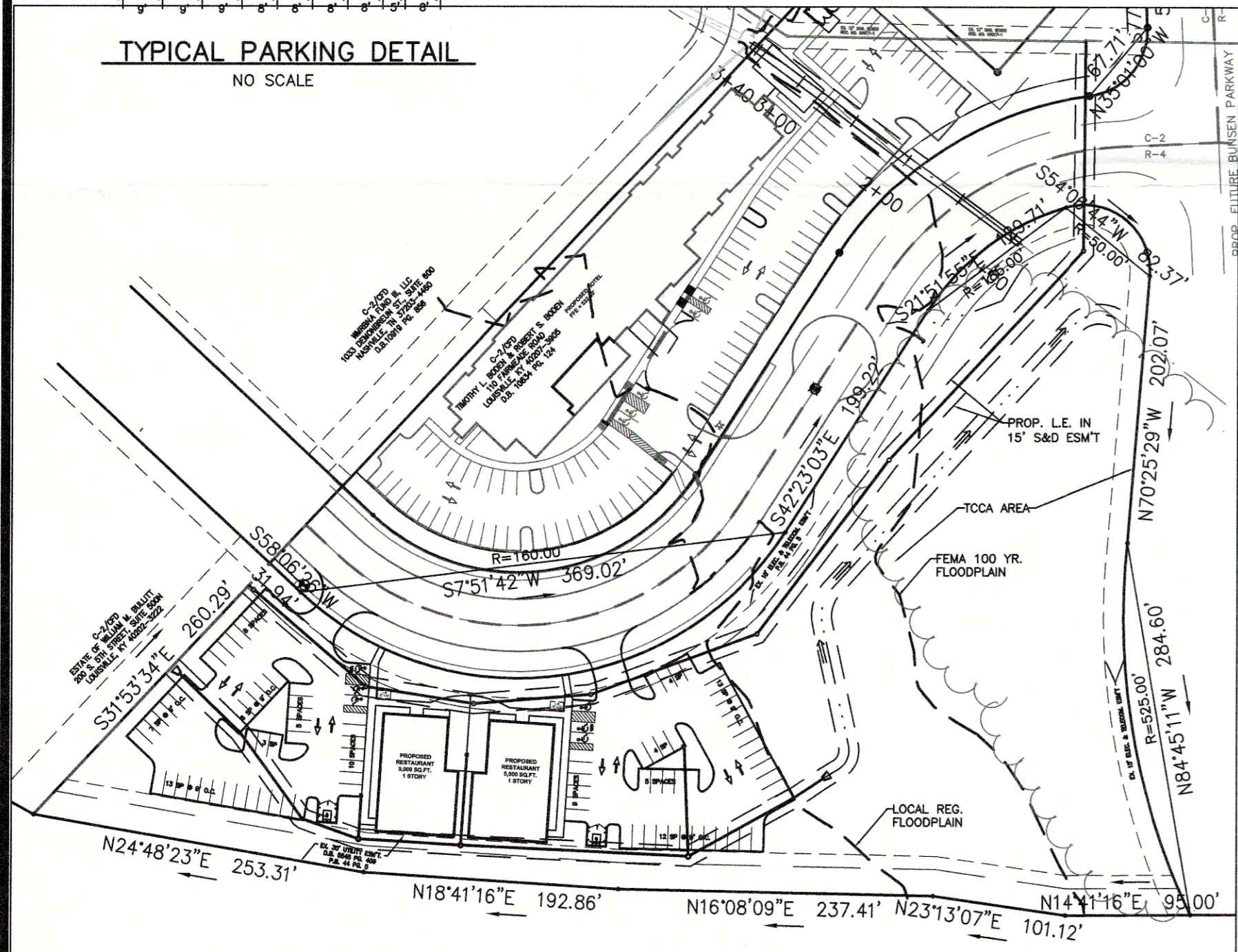
C-2 / C-3
 ESTATE OF WILLIAM M. BULLITT
 200 S. 4TH STREET, SUITE 500N
 LOUISVILLE, KENTUCKY 40202-3222

APPROVED DISTRICT DEVELOPMENT PLAN
 DOCKET NO. 17 Zone 1048
 APPROVAL DATE: June 7, 2018
 EXPIRATION DATE:
 SIGNATURE OF PLANNING COMMISSION
 [Signature]

NOTICE
 PERMITS SHALL BE ISSUED
 ONLY IN CONFORMANCE
 WITH THE BINDING ELEMENTS
 OF THIS DISTRICT
 DEVELOPMENT PLAN.



TYPICAL PARKING DETAIL
 NO SCALE



OVERALL SITE
 0 50' 100' 200'
 SCALE: 1" = 100'

GENERAL NOTES

- CONSTRUCTION PLANS AND DOCUMENTS SHALL COMPLY WITH LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT'S DESIGN MANUAL AND STANDARD SPECIFICATIONS.
- DRAINAGE PATTERN DEPICTED BY ARROWS IS FOR CONCEPT PURPOSES ONLY. FINAL CONFIGURATION AND DESIGN OF DRAINAGE PIPES AND CHANNELS SHALL BE DETERMINED DURING THE CONSTRUCTION PLAN DESIGN PROCESS. DRAINAGE FACILITIES SHALL CONFORM TO MSD REQUIREMENTS.
- AN APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATION TO THE APPROVED EPC PLAN MUST BE REVIEWED AND APPROVED BY MSD'S PRIVATE DEVELOPMENT REVIEW OFFICE. EPC BMP'S SHALL BE INSTALLED PER THE PLAN AND MSD STANDARDS.
- DETENTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PERFORM AS SEDIMENT BASINS DURING CONSTRUCTION UNTIL THE CONTRIBUTING DRAINAGE AREAS ARE SEEDED AND STABILIZED.
- ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.
- SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES AND CATCH BASINS. STOCKPILES SHALL BE SEEDED, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE.
- WHERE CONSTRUCTION OR LAND DISTURBANCE ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF THE SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICAL, BUT NO LATER THAN 14 CALENDAR DAYS AFTER THE ACTIVITY HAS CEASED.
- THERE SHALL BE NO INCREASE IN DRAINAGE RUN-OFF TO THE RIGHT-OF-WAY.
- THERE SHALL BE NO COMMERCIAL SIGNS IN THE RIGHT-OF-WAY.
- THERE SHOULD BE NO LANDSCAPING IN THE RIGHT-OF-WAY WITHOUT AN ENCROACHMENT PERMIT.
- CONSTRUCTION PLANS, ENCROACHMENT PERMIT AND BOND WILL BE REQUIRED BY METRO PUBLIC WORKS FOR ALL WORK DONE WITHIN STREET RIGHT-OF-WAY.
- NO INCREASE IN VELOCITY AT POINT OF DISCHARGE AT PROPERTY LINE.
- VERGE AREAS WITHIN PUBLIC RIGHT-OF-WAY TO BE PROVIDED PER METRO PUBLIC WORKS.
- COMPATIBLE UTILITY LINES (ELECTRIC, TELEPHONE, CABLE) SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPROPRIATED AGENCIES.
- MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING DEMOLITION AND CONSTRUCTION ACTIVITIES TO PREVENT FUGITIVE PARTICULATE EMISSIONS FROM REACHING EXISTING ROADS AND NEIGHBORING PROPERTIES.
- BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY BY BTM ENGINEERING, INC.
- SANITARY SEWERS TO BE PROVIDED BY LATERAL EXTENSION AND IS SUBJECT TO ANY APPLICABLE FEES OR CHARGES.
- SITE SUBJECT TO MSD DRAINAGE BOND PRIOR TO CONSTRUCTION PLAN APPROVAL.
- THE FINAL DESIGN OF THIS PROJECT MUST MEET ALL MS4 WATER QUALITY REGULATIONS ESTABLISHED BY MSD. SITE LAYOUT MAY CHANGE AT THE DESIGN PHASE DUE TO PROPER SIZING OF GREEN BEST MANAGEMENT PRACTICES.
- EACH RESTAURANT MUST HAVE INDIVIDUAL CONNECTIONS PRE MSD'S FATS, OIL AND GREASE POLICY.
- IF SITE HAS THRU DRAINAGE, AN EASEMENT PLAT WILL BE REQUIRED PRIOR TO MSD GRANTING CONSTRUCTION PLAN APPROVAL.
- ALL REQUIRED FILLING IN THE FLOODPLAIN SHALL BE COMPENSATED AT A RATIO OF 1.5:1 IN THE DESIGNATED LOCATION ON THE PLAN.
- ALL PROPOSED PARKING AREAS BELOW FLOODPLAIN TO HAVE SIGNS PER FLOODPLAIN ORDINANCE.
- KYTC APPROVAL REQUIRED FOR THE INCREASED RUN-OFF PRIOR TO MSD CONSTRUCTION PLAN APPROVAL.
- SITE IS SUBJECT TO REGIONAL FACILITY FEE.
- SIGNAGE SHALL MEET THE REQUIREMENTS OF CHAPTER 8 OF THE LAND DEVELOPMENT CODE.
- LOWEST FINISHED FLOOR ELEVATION TO BE AT OR ABOVE 530.8 AND MACHINERY TO BE AT OR ABOVE 531.8.
- KY DIVISION OF WATER APPROVAL REQUIRED PRIOR TO MSD CONSTRUCTION PLAN APPROVAL.
- IF THE PROPOSED LATERAL EXTENSION OR STORM SYSTEM REQUIRE WORK IN THE BANKS OF THE STREAM, ARMY CORPS OF ENGINEER APPROVAL REQUIRED PRIOR TO MSD CONSTRUCTION PLAN APPROVAL.

WATTERSON EXPRESSWAY
 I-264
 R/W VARIES



SITE DEVELOPMENT PLAN

GRAPHIC SCALE SUPERCEDES NUMERIC SCALE
 0 10' 20' 40'
 SCALE: 1" = 20'

WAIVER & VARIANCE REQUESTS:

- WAIVER OF CHAPTER 10.2.B TO ALLOW UTILITY EASEMENTS TO ENCRANCH MORE THAN 50% INTO THE REQUIRED LANDSCAPE BUFFER AREA.
- VARIANCE FROM CHAPTER 5.3.5.C.3.a TO ALLOW OFF-STREET PARKING TO ENCRANCH 10' INTO THE FRONT YARD SETBACK.

TREE CANOPY CALCULATIONS

TREE CANOPY CATEGORY CLASS C	
TOTAL SITE AREA	211,266 S.F.
EX TREE CANOPY	63,361 S.F. (30%)
EX. TREE CANOPY TO BE PRESERVED	63,361 S.F. (30%)
TREE CANOPY REQUIRED	31,680 S.F. (15%)
(TOTAL SITE HAS 0-40% EX. CANOPY COVERAGE)	
ADDITIONAL TREE CANOPY REQUIRED	0 S.F. (0%)
ADDITIONAL TREE CANOPY TO BE PROVIDED (MIN.)	14,760 S.F.
13 TYPE "A" TREES @ 720 SF EACH	9,360 SF
6 TYPE "A" STREET TREES @ 900 SF EA.	5,400 SF
TOTAL TREE CANOPY PROVIDED	78,120 S.F. (36.9%)

SITE DATA

SITE AREA	4.85 ACRES (211,266 SQ.FT.)
EXISTING ZONING	R-4
EXISTING FORM DISTRICT	CFD
EXISTING USE	VACANT
PROPOSED ZONING	C-2
PROPOSED USE	RESTAURANTS
PROPOSED BUILDINGS	11,500 SQ.FT.
5,000 SQ.FT. + 750 S.F. OUTDOOR DINING / RESTAURANT	
FLOOR AREA RATIO (FAR)	0.05
PARKING CALCULATIONS	
MINIMUM PARKING REQUIRED (1 SP/125 SQ.FT.)	92 SPACES
MAXIMUM PARKING ALLOWED (1 SP/50 SQ.FT.)	230 SPACES
PARKING PROVIDED (INC. 6 HANDICAP SPACES)	99 SPACES
BICYCLE PARKING	
SHORT TERM PARKING (4/REST.)	8 SPACES
LONG TERM PARKING (WITHIN BUILDINGS)	4 SPACES

LANDSCAPE REQUIREMENTS

VEHICLE USE AREA	35,909 SQ.FT.
7.5% LANDSCAPE REQUIREMENT	2,693 SQ.FT.
INTERIOR LANDSCAPE AREA PROVIDED	5,922 SQ.FT.



As shown on the Kentucky Geologic Survey's online map, all but the extreme southeast portion of the subject property is in a "non-karst" area. In that southeast portion, and in the general area south of the subject property, Karst Potential is "high" however, this area is also situated in the floodplain, and there is no development proposed there. According to the Geologic Map of the Jefferson County Quadrangle (Moore, Keffeler, Peterson, 1972), the portion of the subject property where development is proposed is underlain by the lower portion of the New Albany Shale. On that map, the New Albany is described as a silty, grayish-black, massive, and dense shale. This low-permeability geologic unit restricts groundwater movement, and water wells advanced in it are generally dry. An on-site field inspection of the subject property was conducted on January 18, 2018, and no karst features were observed.

CASE # 17ZONE1048
MSD WM #11694

AREVISIONS		
CHK	DATE	DESCRIPTION
CHK	10/11/17	CRB
CHK	3/17/18	JMA
CHK	5/15/18	DHS

BTM Engineering, Inc.
 Consulting Engineers, Landscape Architects, Planners & Surveyors
 3001 Third Street, Louisville, Kentucky 40220
 (502) 459-8402 (502) 459-8427 Fax
 www.btmeng.com

SUBMITTALS	
NO.	DESCRIPTION

BULLITT LANE RESTAURANTS REZONING
 400 BULLITT LANE
 LOUISVILLE, KY 40222

BTM PROJECT NO.: 170237
 SITE INFORMATION:
 DEED BOOK 10854, PAGE 124
 TAX BLOCK 885, LOT 173

OWNER / DEVELOPER:
 TIMOTHY L. BODEN &
 ROBERT S. BODEN
 110 FAIRMADE ROAD
 LOUISVILLE, KY 40207-3905

DRAWING: 170237-DDP
 SCALE: 1" = 20'
 SHEET: 1.00