

14ZONE1041

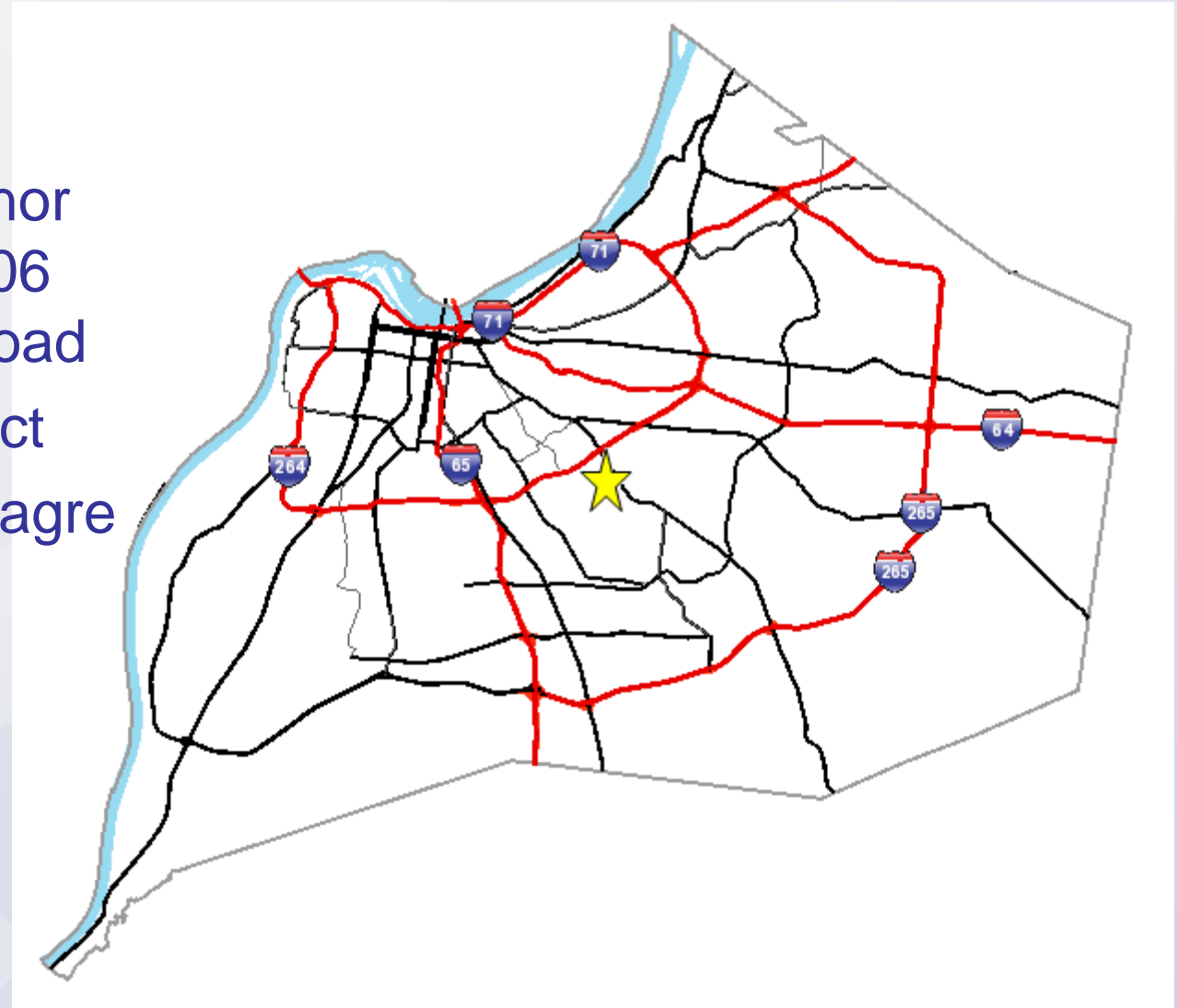
HAQS Medical Office



Planning/Zoning, Land Design & Development
April 21, 2015

Location

- 2125 & 2127
Bashford Manor
Drive and 3506
Bardstown Road
- Council District
10 – Steve Magre



Request(s)

- Change in zoning from R-5 to OR
- Variance from table 5.3.2 to permit the encroachment of the proposed building into the 30' setback where the site is adjacent to residential.
- Waiver from 10.2.4 to permit the encroachment of an existing building into the 15' LBA along the west property line.
- District Development plan

Zoning/Form Districts

- **Subject Property:**
 - Existing: R-5/Neighborhood
 - Proposed: OR/Neighborhood
- **Adjacent Properties:**
 - North: R-5 & OR-1 / N
 - South: C-2/SMC
 - East: R-5/N
 - West: R-5/N



Aerial Photo/Land Use

- **Subject Property:**
 - Existing: Single Family Residential
 - Proposed: Office
- **Adjacent Properties:**
 - North: Single Family Residential/Office
 - South: Commercial
 - East: Single Family Residential
 - West: Single Family Residential

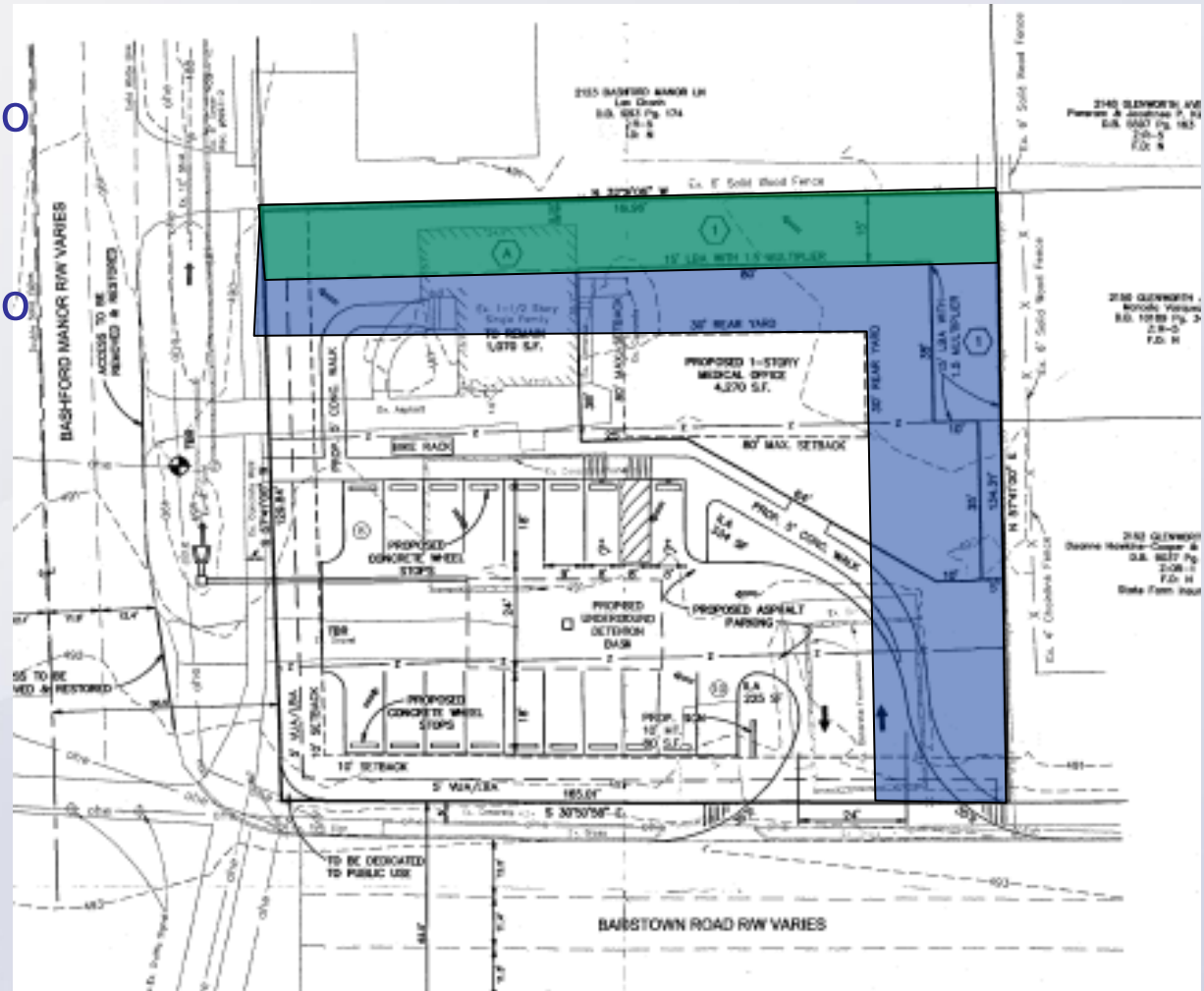


Site Photos-Subject Property



Waivers & Variances Exhibit

- Variance: encroachment into the 30' setback
- Waiver: encroachment into the 15' LBA



PC Recommendation

- Public Hearing was held on 3/19/2015
 - No one spoke in opposition to the proposal at the public hearing.
- The Commission made sufficient findings that the proposal complies with the Comprehensive Plan-Cornerstone 2020
- The Commission unanimously recommended approval of the change in zoning from R-5 to OR to Louisville Metro Council (6 members voted)