

SHEPHERD SPRINGS

A MULTI-FAMILY HOUSING DEVELOPMENT



CASE NO. 22-DDP-0001

REQUEST(S)

- Revised Detailed District Development Plan with Binding Elements
- Updated Building Elevations
- Alternate Plan for Access

SHEPHERD SPRINGS

**DEVELOPER:
DENTON FLOYD
REAL ESTATE GROUP
509 SPRING STREET
JEFFERSONVILLE, IN 47130**

**ENGINEERS:
HERITAGE ENGINEERING, LLC.
642 SOUTH 4TH STREET, SUITE 100
LOUISVILLE, KY 40202**

**ATTORNEY:
WYATT TARRANT & COMBS, LLP
500 WEST JEFFERSON STREET, SUITE 2800
LOUISVILLE, KY 40202**

**PLANNING COMMISSION PUBLIC HEARING
APRIL 21, 2022**

Denton Floyd Team

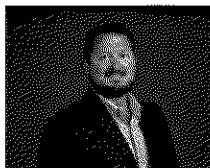
EXECUTIVE MANAGEMENT TEAM



BRANDON DENTON

Co-founder, Partner

A Louisville resident since 1998, Brandon studied Mechanical Engineering and Finance at the University of Louisville. With over two decades of financial industry experience, Brandon entered real estate in 2000. During the 2008 housing crisis, he honed his eye for identifying and rehabilitating distressed properties and began to build the foundation for Denton Floyd Real Estate Group. The growth of the company has allowed Brandon to pursue his dream of revitalizing distressed communities and improving residents' quality of life. Brandon has a passion for volunteer work and contributes to the betterment of the communities around him through his commitment to the DiGiuro Foundation, Habitat for Humanity, and the Louisville Home Builders Association.



THOMAS FLOYD

Co-founder, Partner

Born and raised in Louisville, Tommy earned a BA in Finance and Risk Management from Eastern Kentucky University. After serving as an account executive for Johnson & Johnson for five years, he began his career in real estate with the purchase of a single-family home. From this experience evolved a dream to build a leading real estate firm in the city of Louisville to improve the lives of its residents. Tommy has fifteen years of real estate investing experience in both single/multifamily and commercial properties and a strong partnership with city officials who share his vision. Together with Brandon Denton, Tommy created Denton Floyd to pursue this dream. Tommy is the President and a Board Member of the Louisville Apartment Association and is also Chairman of the Board for the Louisville Apartment Association Political Action Committee (PAC). A dedicated, textbook family man, Tommy resides in Louisville with his wife and growing family.

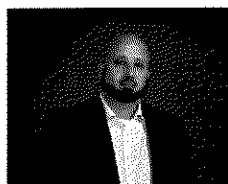


MITCHELL COLLINS

President, Partner

Mitch's background includes decades working in the capital markets, debt, convertible debt, and preferred and common equity. He also has including joint ventures, separate accounts, and full discretionary fund transactions of public companies. He has worked on acquisition, divestitures, and projects of more than \$10 billion combined, including single assets, public companies, and private equity. He received his Bachelor of Science in Accounting from Ole Miss and his Master of Business Administration from Vanderbilt University, graduating with honors from both schools. He is a Certified Public Accountant. Mitch has also created The Collins Accountants to help students in need of financial assistance.

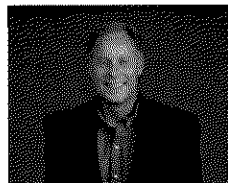
EXECUTIVE MANAGEMENT TEAM



ADAL YOUSEF, CPA

Chief Financial Officer, Partner

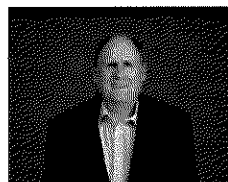
As the Chief Financial Officer, Adal oversees the financial management of Denton Floyd Real Estate Group. Adal is a well-seasoned veteran in large and complex real estate transactions, having worked for several large regional public accounting firms. During his work tenure, Adal has served more than 250 clients, with a significant amount of this time being involved in complex real estate and construction transactions. He also has owned several of his own businesses along the way. Through his thorough real estate accounting and entrepreneurial experience, he brings a wealth of knowledge and expertise to the Denton Floyd team. Adal serves on several committees around Louisville including the March of Dimes Commercial Real Estate Achievement Award Committee and the KYCPA taxation Committee. Adal received his Bachelor of Science in Accounting from the University of Kentucky and his Masters of Accountancy from the University of Louisville, graduating with honors from both schools. He is a member of the American Institute of Certified Public Accountants and the Kentucky Society of CPA's.



CLAYTON PACE

President of Development, Partner

Clayton serves as President of Development for Denton Floyd Real Estate Group. He possesses over 25 years of experience in construction, construction management and development. Clayton has owned his own construction company, worked for several large regional construction companies, and joined Denton Floyd as a partner in early 2017. Clayton has directed over \$800 million in construction projects, including significant expertise in multifamily, commercial and assisted living. Clayton grew up in Southern Indiana and received his Bachelor of Science in Construction Management from Purdue University in West Lafayette, IN. Clayton is a licensed GC in Florida, Indiana, Kentucky and Tennessee.



DENNY FENN

President of Construction, Partner

Denny's background consists of working in the construction industry for decades across different markets (multifamily, hospitality, industrial, and many more) in more than 35 states throughout the US. During his career, he has held senior executive management positions in several large design-build general contracting firms as well as a senior VP executive position with one of the largest multifamily developers on the East Coast. He started working as a tradesman in the construction field while attending college and has worked at every major position typically within a general contracting firm up to the senior management level, - so he knows all aspects of the business from the ground up. His expertise in running both the day-to-day production operations as well as his skill in establishing and organizing a construction division for sustained and responsible growth makes him the ideal executive to lead the Denton Floyd Real Estate Group's construction division through its growth and expansion for years to come.

DENTON FLOYD

REAL ESTATE GROUP

Building Better Communities

Statement of Qualifications

January 2022

THE DENTON FLOYD DIFFERENCE

FOCUS ON CUSTOMERS

We are an A+ rated business with the BBB.

- Our “Tenants” are instead “Residents” and “Customers” and we focus our thinking of clients as an “\$120,000 Resident” versus a “\$1,000 Tenant.”
- We understand that Resident retention is the key to keeping turnover costs down and that starts with our Maintenance Technicians. We have a worker order completion “bonus incentive” for all of our Maintenance Technicians.
- We link all our advertising to dedicated cell phones which are maintained by each location’s Management Team, so that potential leads can be answered real time.
- We provide a dedicated Asset Manager to all our partners to be a liaison between the Property and the Owner Clients. Our Asset Managers have years of experience in the industry in leasing, compliance, budgeting, construction, and management.
- We understand that we are not just providing apartments, but rather homes for our Residents.
- We understand that we are not just providing quality management, but peace of mind for our Owner Clients.

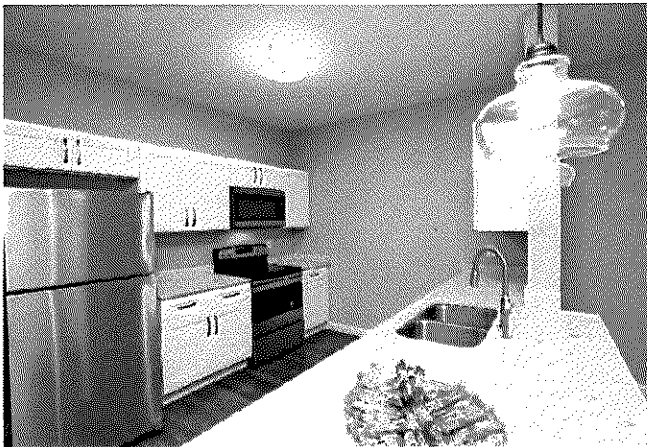
Signature Projects

Villas of Jeffersonville

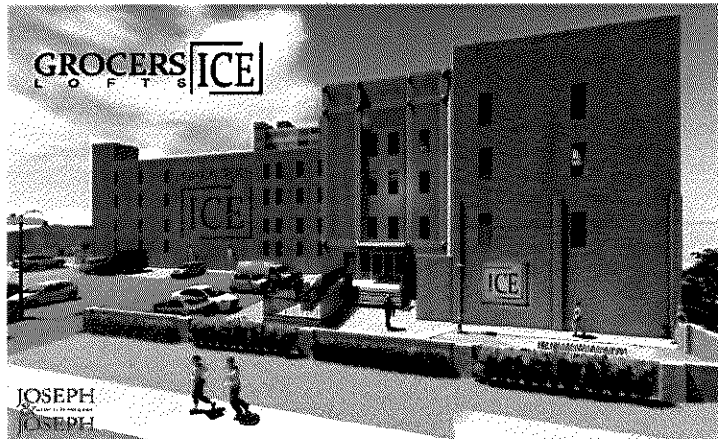


PROJECT OVERVIEW

ADDRESS:	3001 Peach Blossom Drive
CITY, STATE, ZIP:	Jeffersonville, IN 47130
MAJOR MSA:	Louisville, KY
PROPERTY TYPE:	Multifamily - Garden Style
UNITS:	264
COST:	\$35 Million
PROJECT STATUS:	Completed

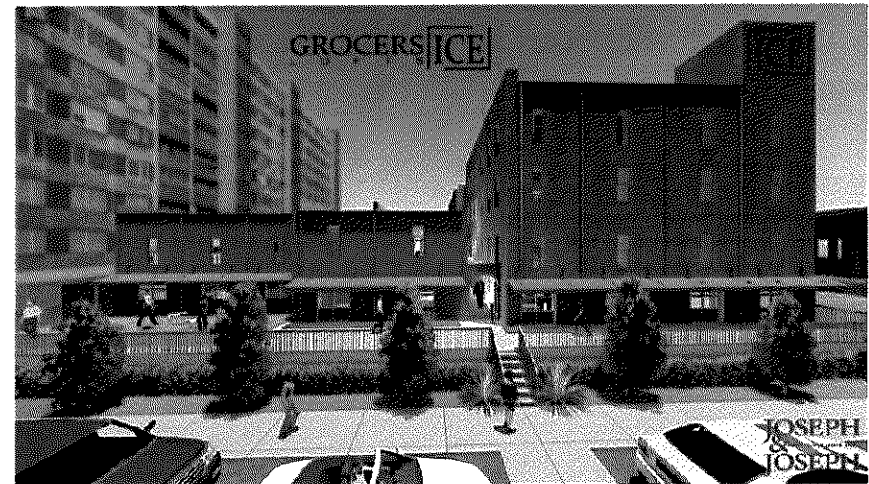


Grocers Ice

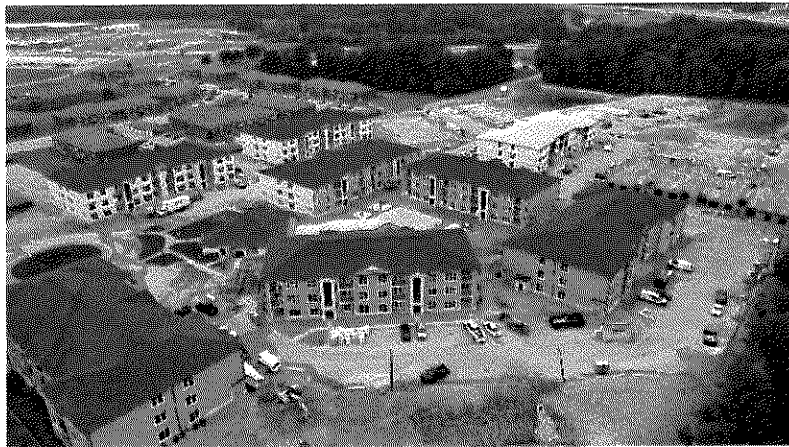


PROJECT OVERVIEW

ADDRESS:	609 East Main Street
CITY, STATE, ZIP:	Louisville, KY 40202
MAJOR MSA:	Louisville, KY
PROPERTY TYPE:	Multifamily - Adaptive Reuse
UNITS:	77
COST	\$15.8 Million
PROJECT STATUS:	Under Construction

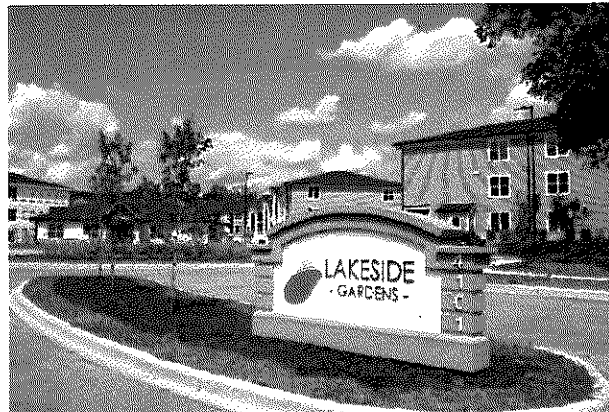


Lakeside Gardens



PROJECT OVERVIEW

ADDRESS:	4606 Helen Road
CITY, STATE, ZIP:	Jeffersonville, IN 47130
MAJOR MSA:	Louisville, KY
PROPERTY TYPE:	Multifamily - Garden Style
UNITS:	360
COST:	\$51.2 Million
PROJECT STATUS:	Under Construction



The Slate



PROJECT OVERVIEW

ADDRESS:	4903 Hamburg Pike
CITY, STATE, ZIP:	Jeffersonville, IN 47130
MAJOR MSA:	Louisville, KY
PROPERTY TYPE:	Multifamily - Garden Style
UNITS:	264
COST:	\$39 Million
PROJECT STATUS:	Under Construction



Future Development Pipeline

Arlington Farms



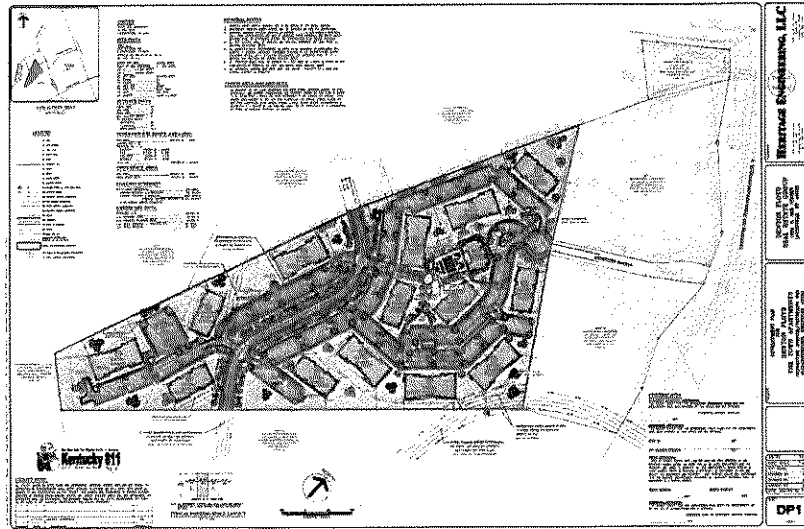
PROJECT OVERVIEW

ADDRESS:
CITY, STATE, ZIP:
MAJOR MSA:
PROPERTY TYPE:
UNITS:
COST:

6580 E County Line Road
Greenwood, IN 46143
Indianapolis, IN
Multifamily - Garden Style
408
\$70.5 Million



The Town



PROJECT OVERVIEW

ADDRESS:

CITY, STATE, ZIP:

MAJOR MSA:

PROPERTY TYPE:

UNITS:

COST:

Ring Rd & Veterans Pkwy

Elizabethtown, KY 42701

Louisville, KY

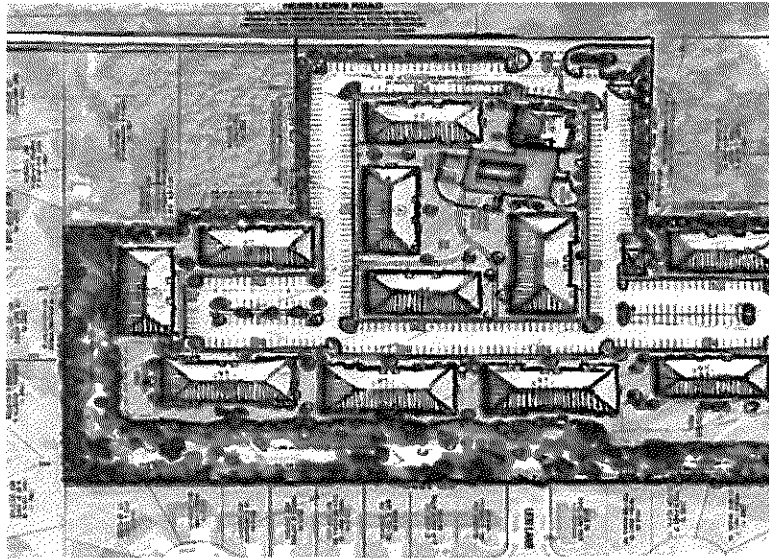
Multifamily - Garden Style

336

\$57.6 Million



Arbour Place



PROJECT OVERVIEW

ADDRESS:

4038 Herb Lewis Rd.

CITY, STATE, ZIP:

Jeffersonville, IN 47130

MAJOR MSA:

Louisville, KY

PROPERTY TYPE:

Multifamily - Garden Style

UNITS:

288

COST:

\$48.3 Million

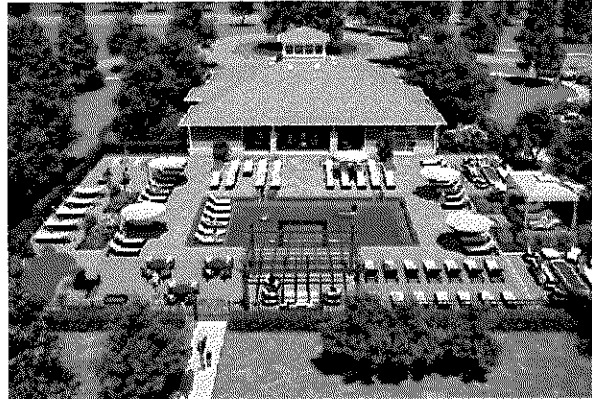
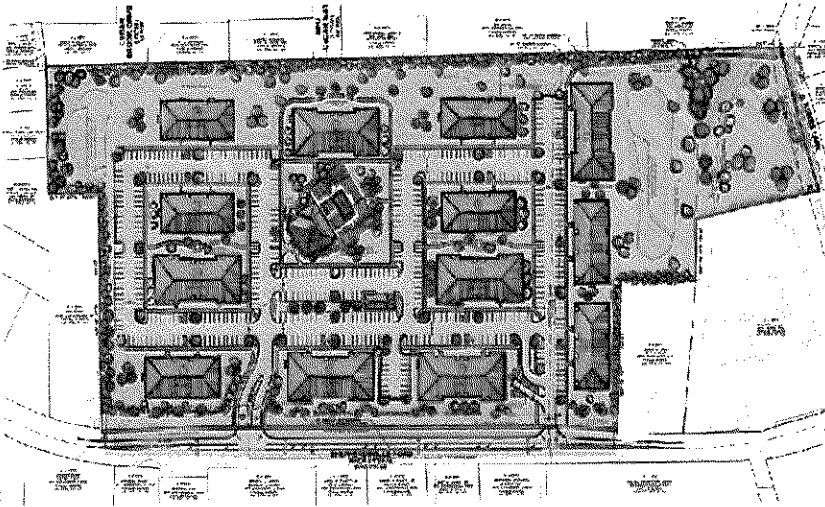


Shepherd Springs

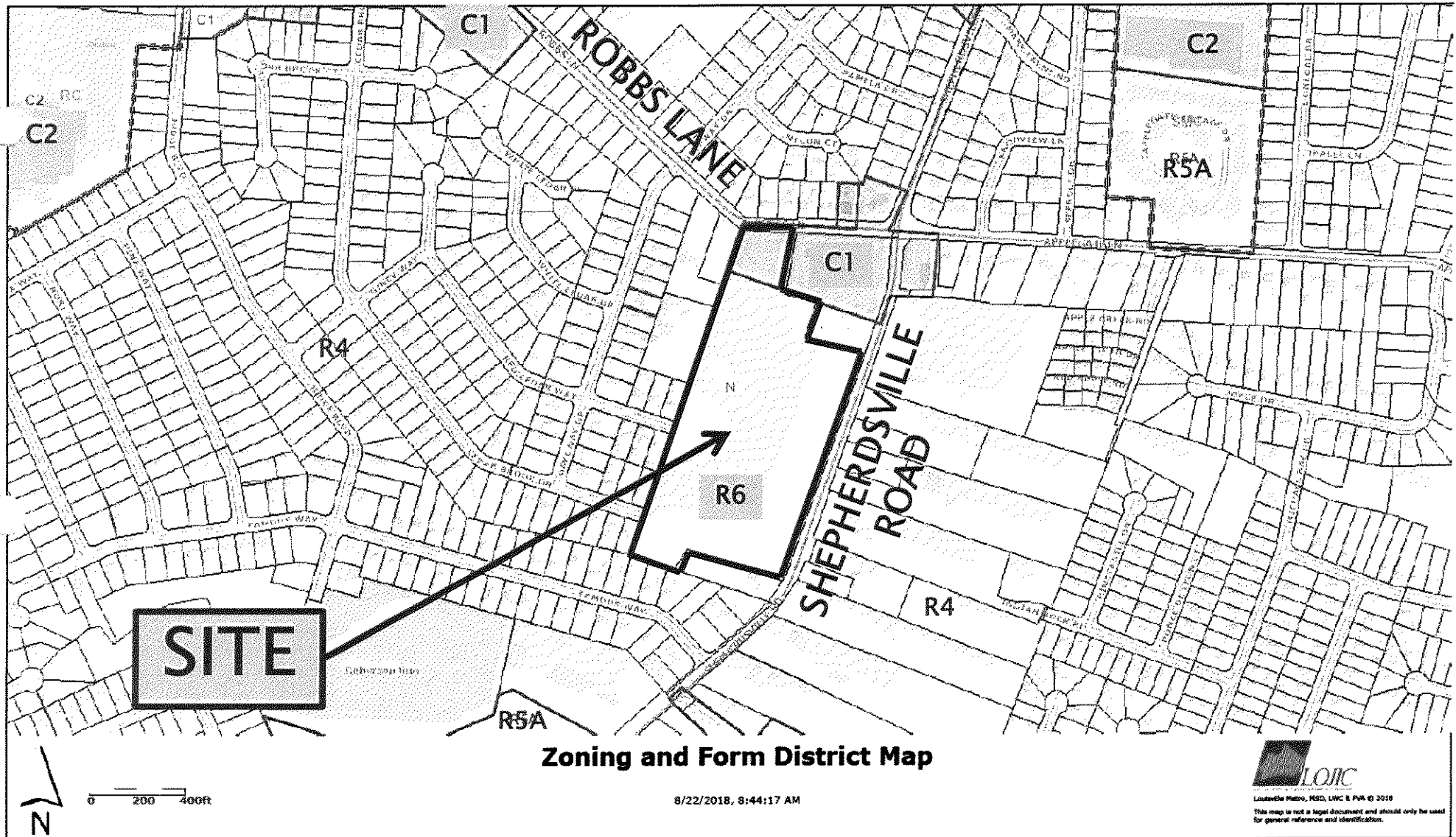
PROJECT OVERVIEW

ADDRESS:
CITY, STATE, ZIP:
MAJOR MSA:
PROPERTY TYPE:
UNITS:
COST:

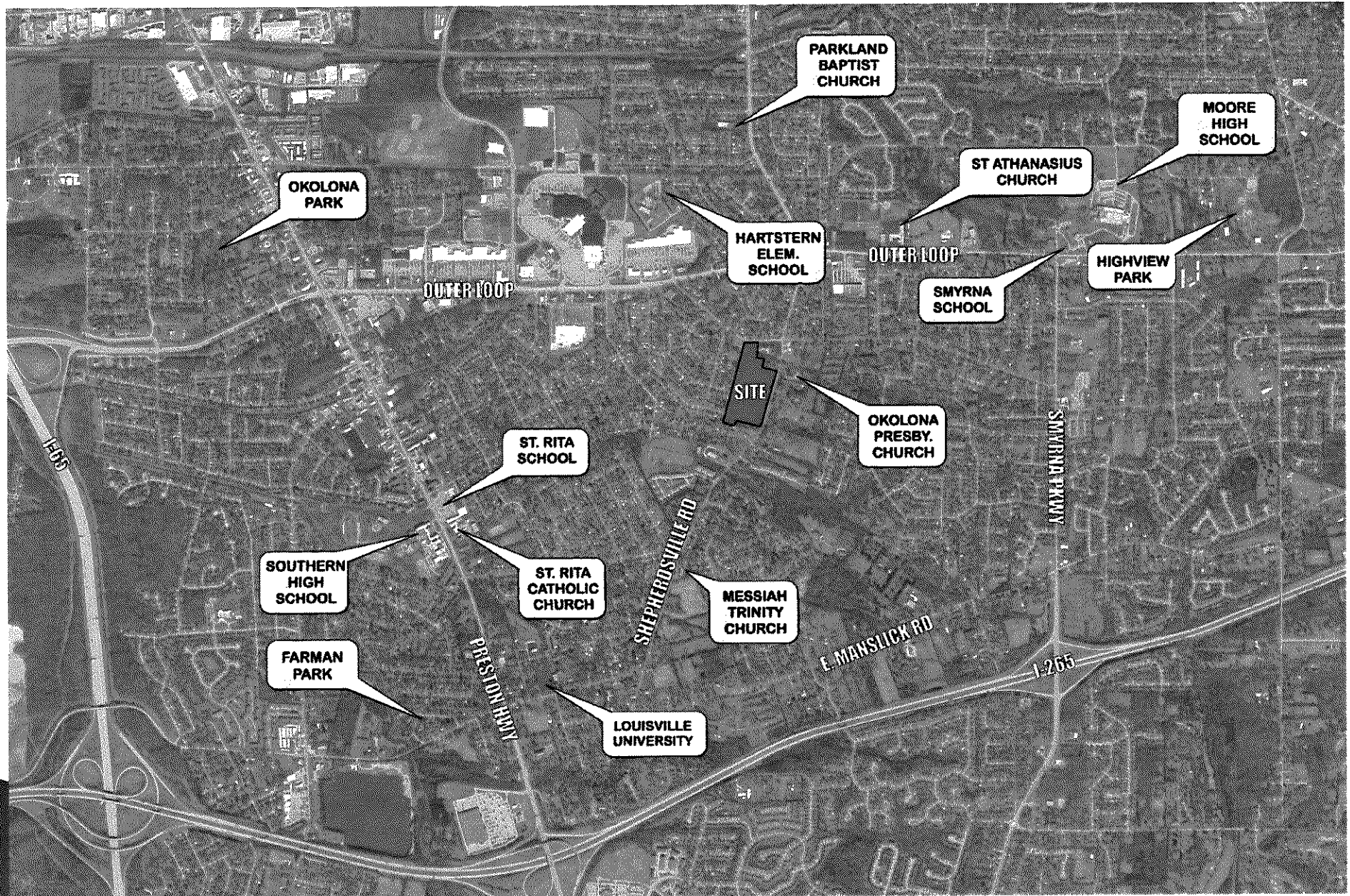
8016 Shepherdsville Rd.
Louisville, KY 40219
Louisville, KY
Multifamily - Garden Style
260
\$44.8 Million



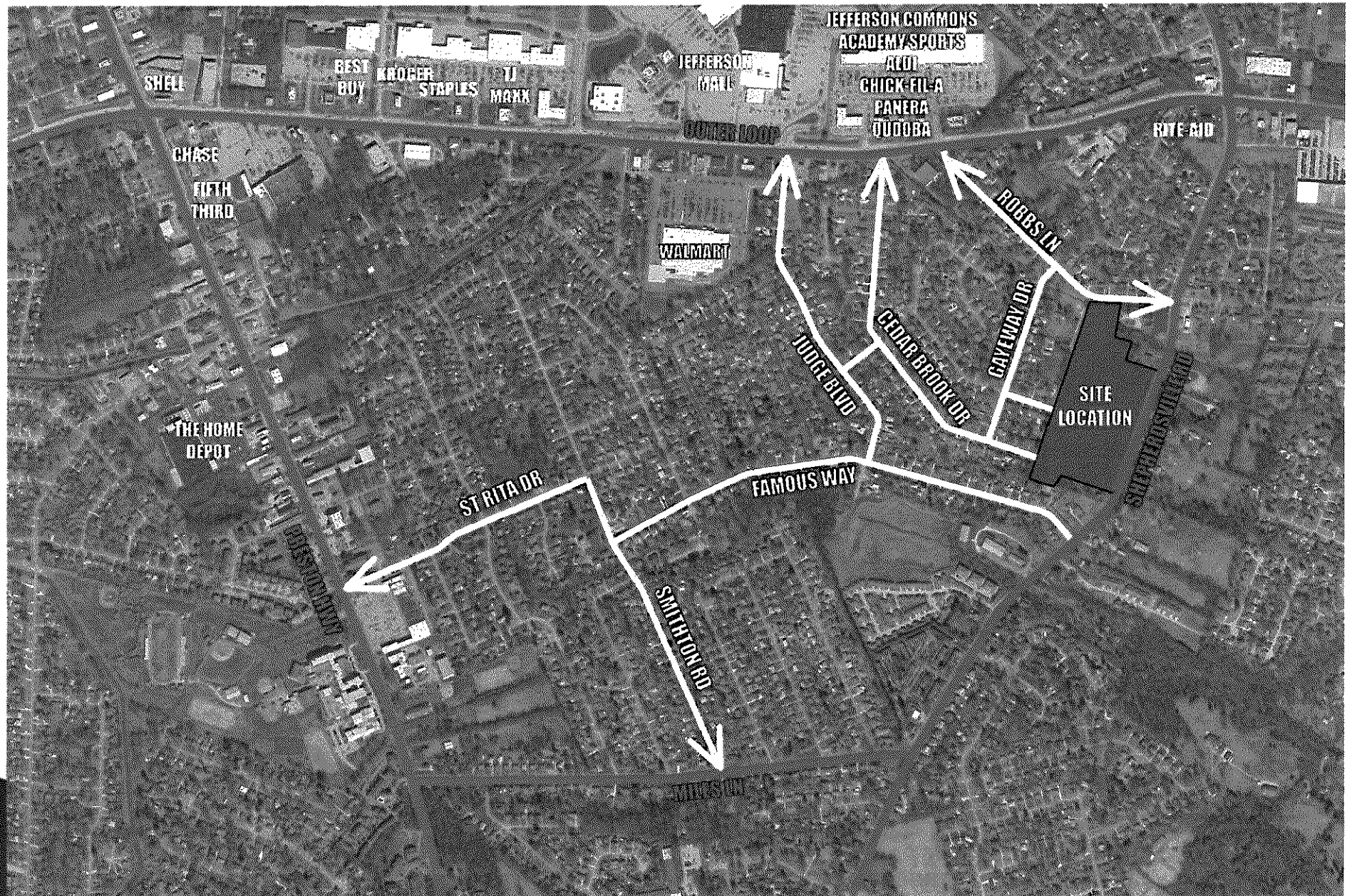
ZONING MAP



SCHOOLS, CHURCHES & PARKS



GOODS AND SERVICES



AREA CONTEXT

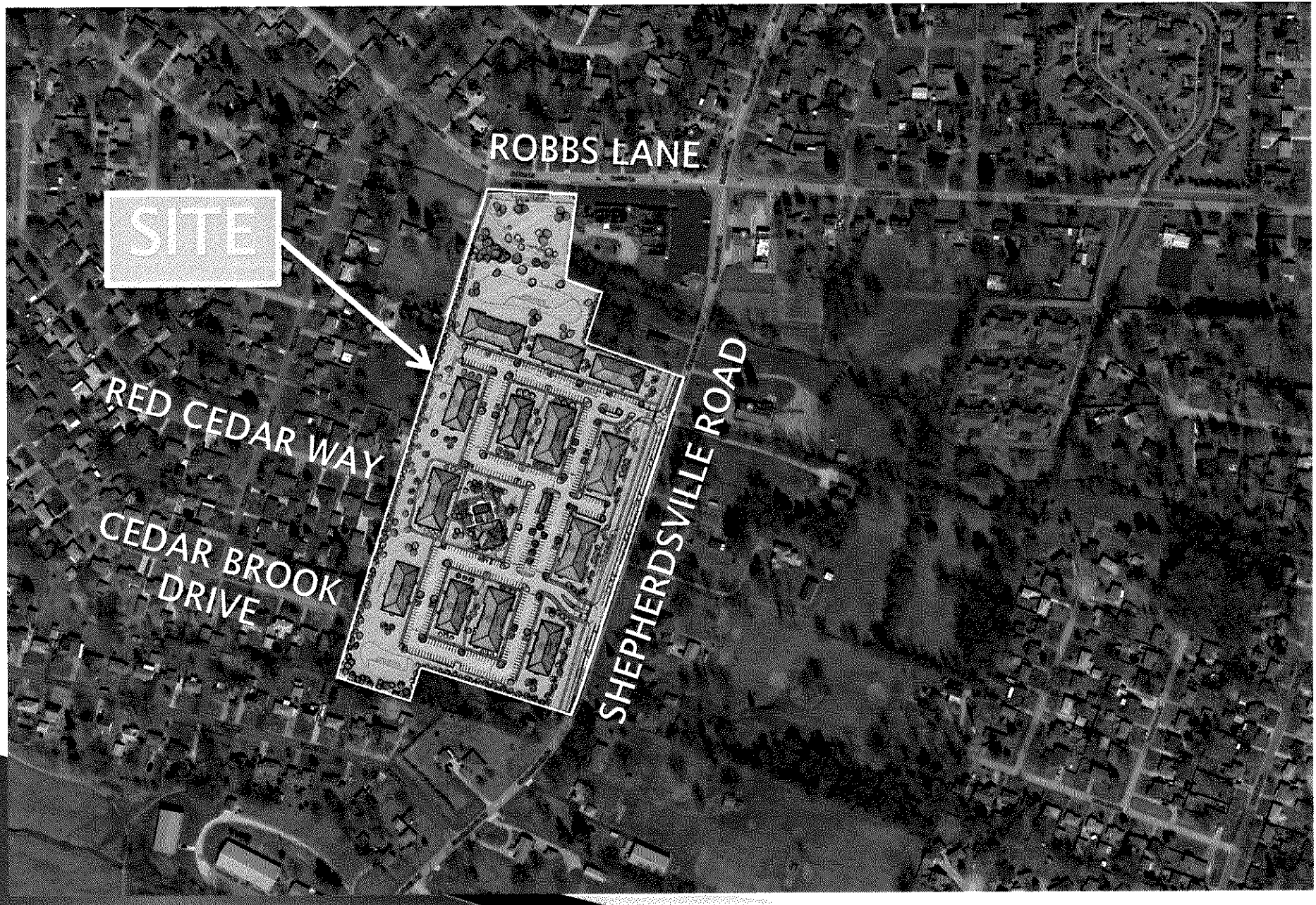
Jefferson Mall

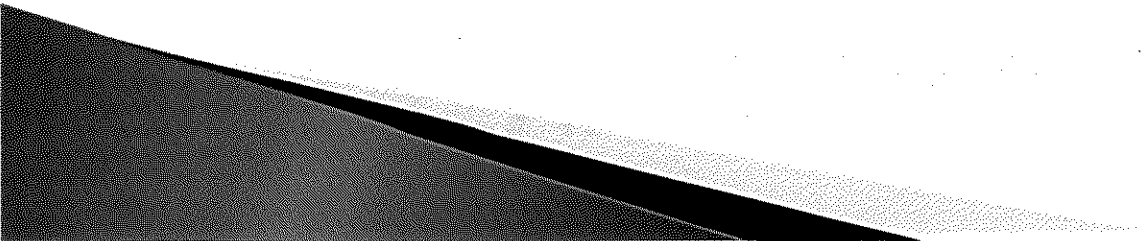


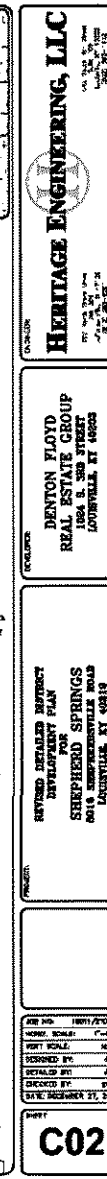
SITE LOCATION

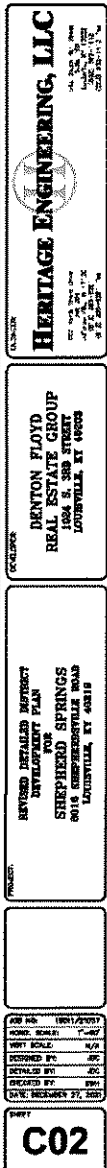


NEIGHBORHOOD CONTEXT

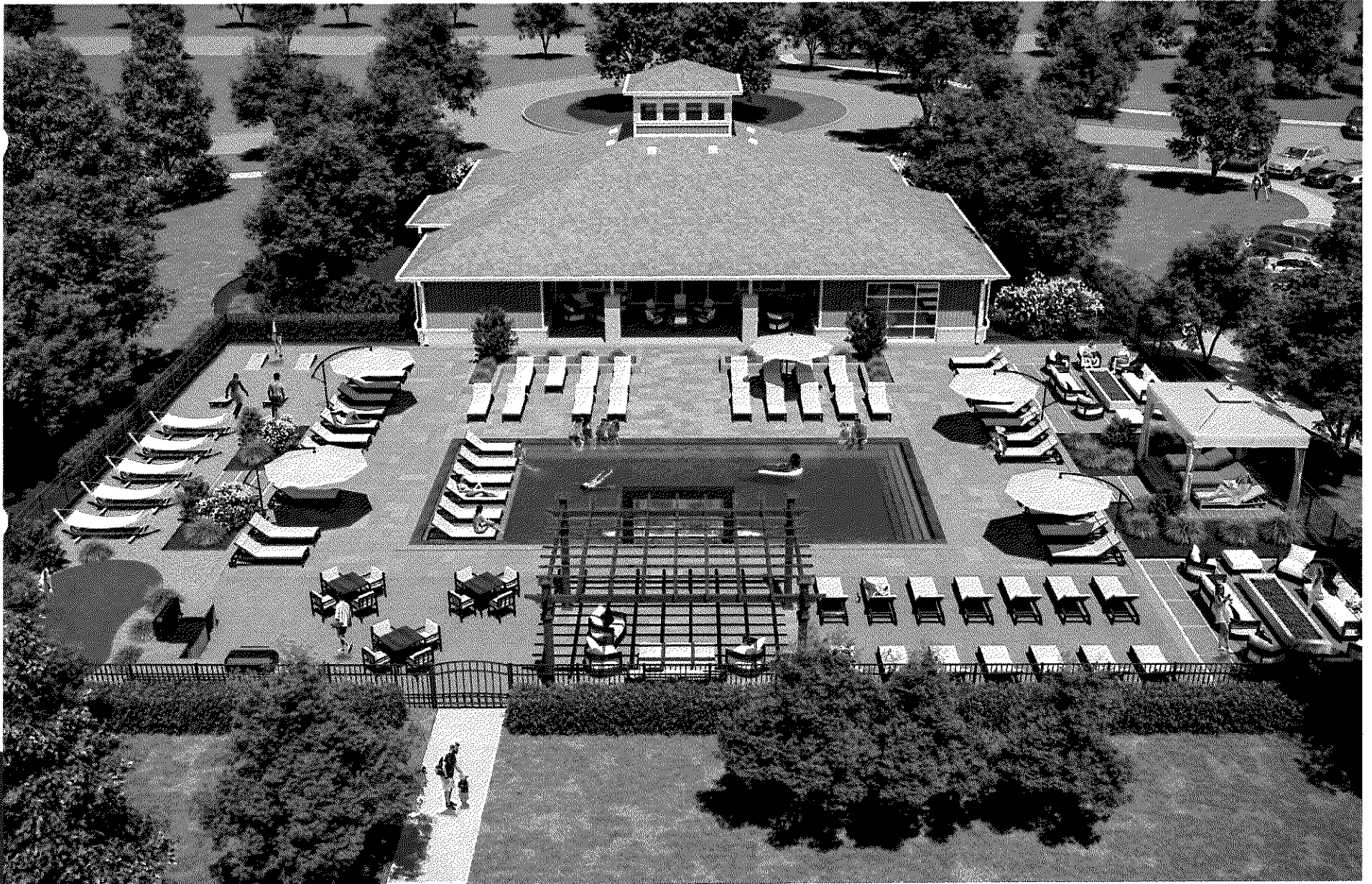




$$dV/dt = \frac{dV}{d\tau} \frac{d\tau}{dt} = N_0 \frac{dV}{d\tau} \frac{1}{1 + \frac{1}{2} \frac{dV}{d\tau}} \approx N_0 \frac{dV}{d\tau} \quad \text{for } \frac{dV}{d\tau} \ll 2$$


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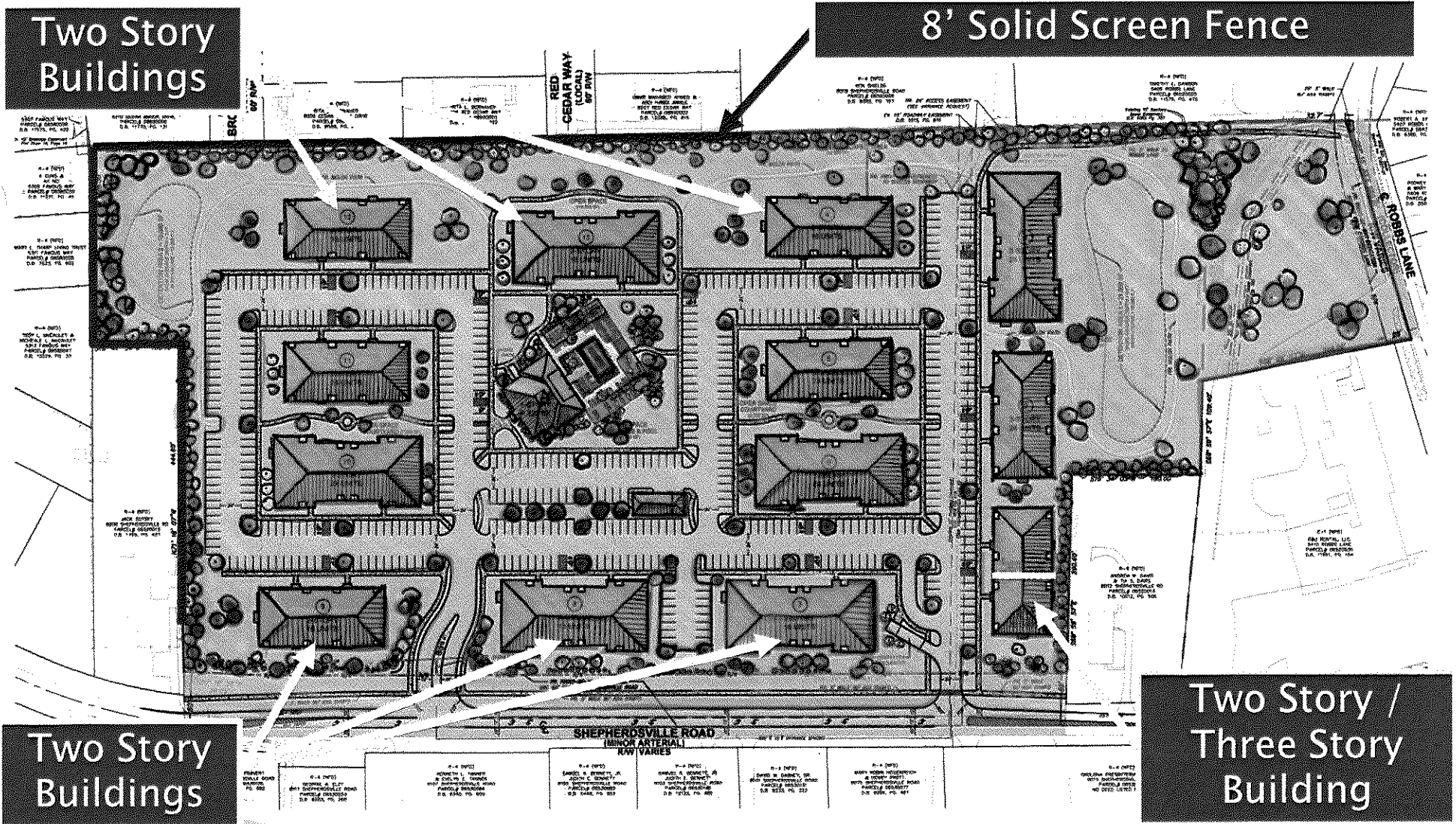
AMENITIES



PREVIOUSLY AGREED UPON SITE DESIGN COMMITMENTS

Two Story Buildings

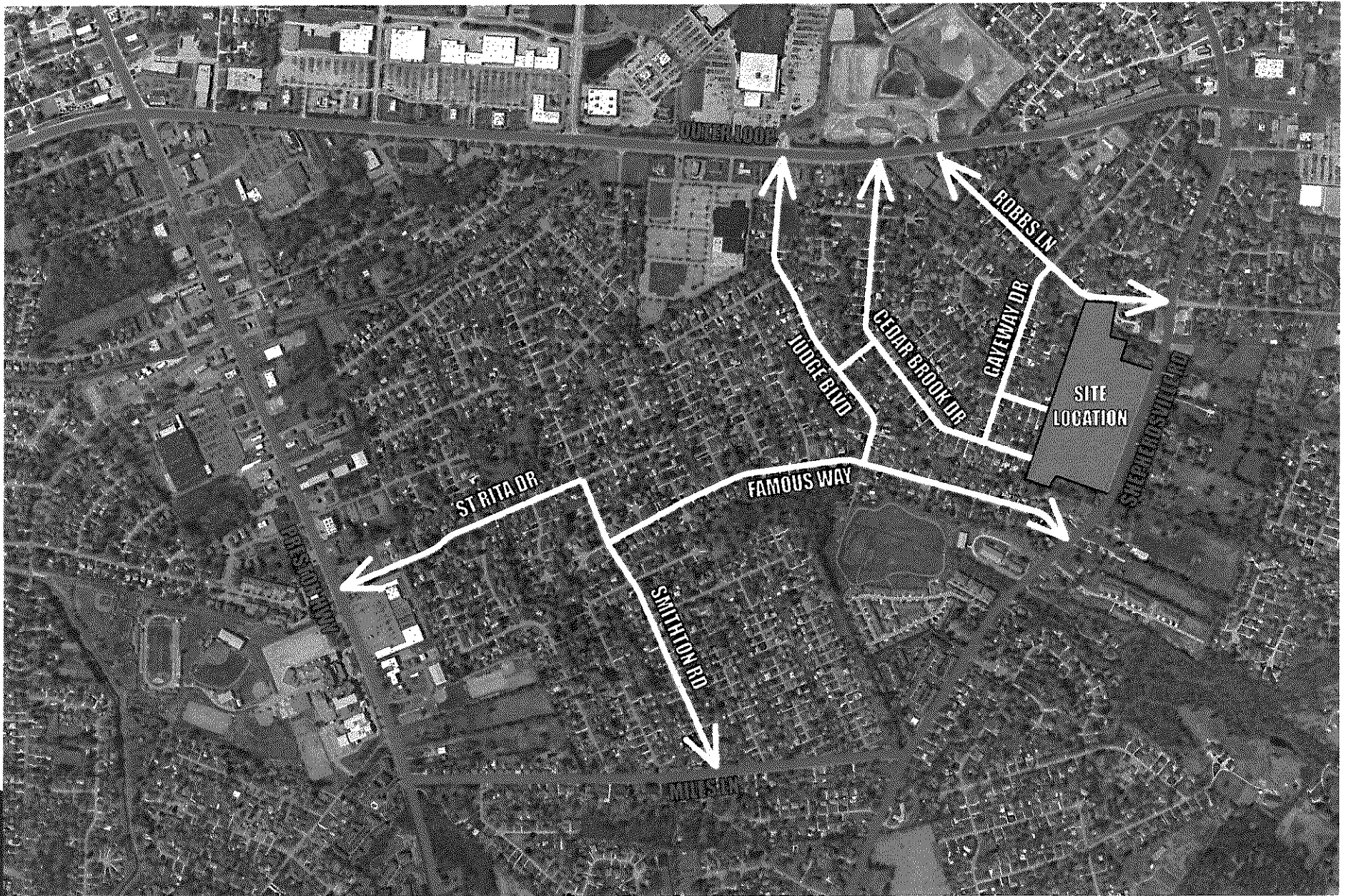
8' Solid Screen Fence



Two Story Buildings

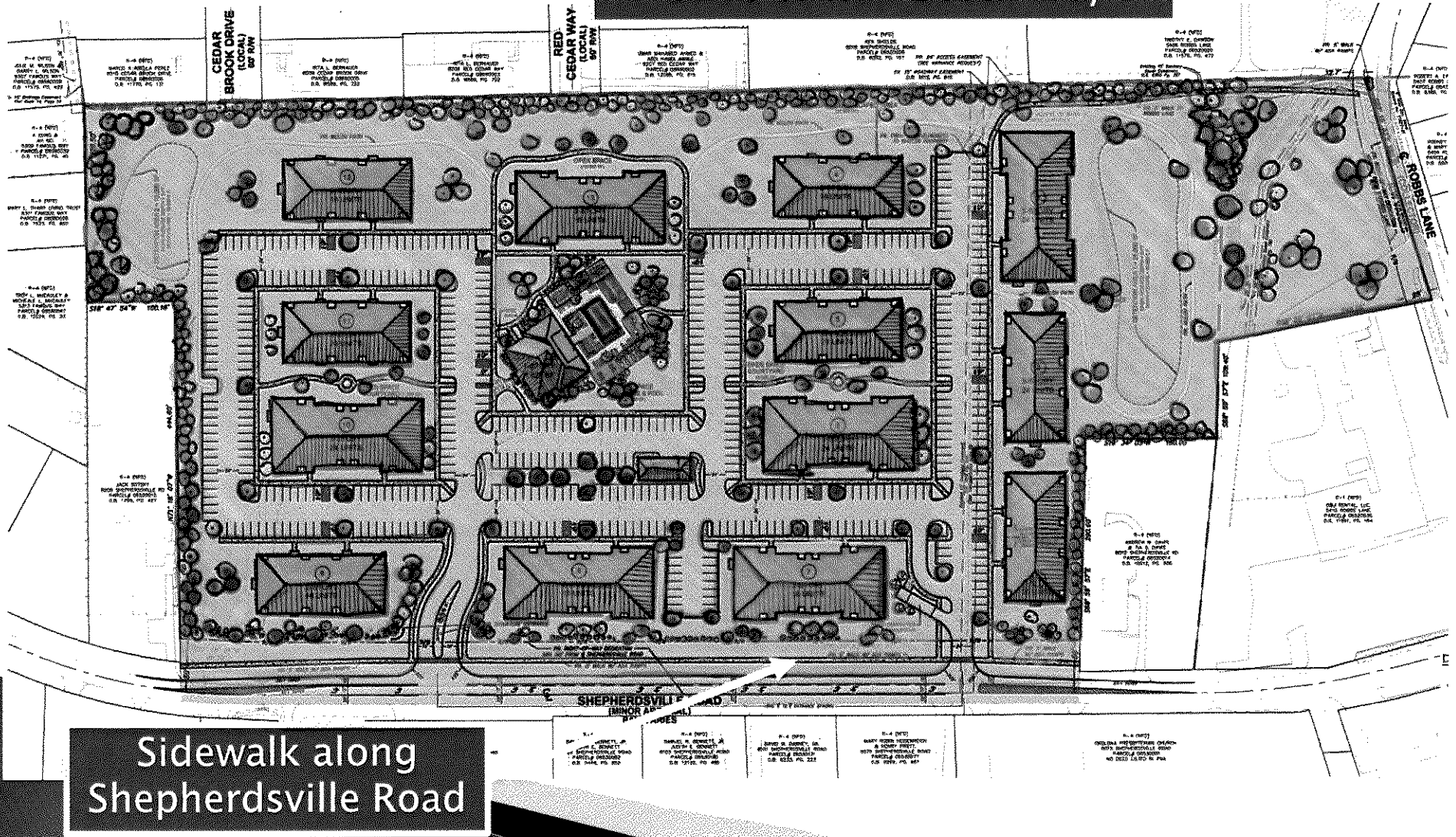
Two Story /
Three Story
Building

EXISTING NEIGHBORHOOD CONNECTIVITY

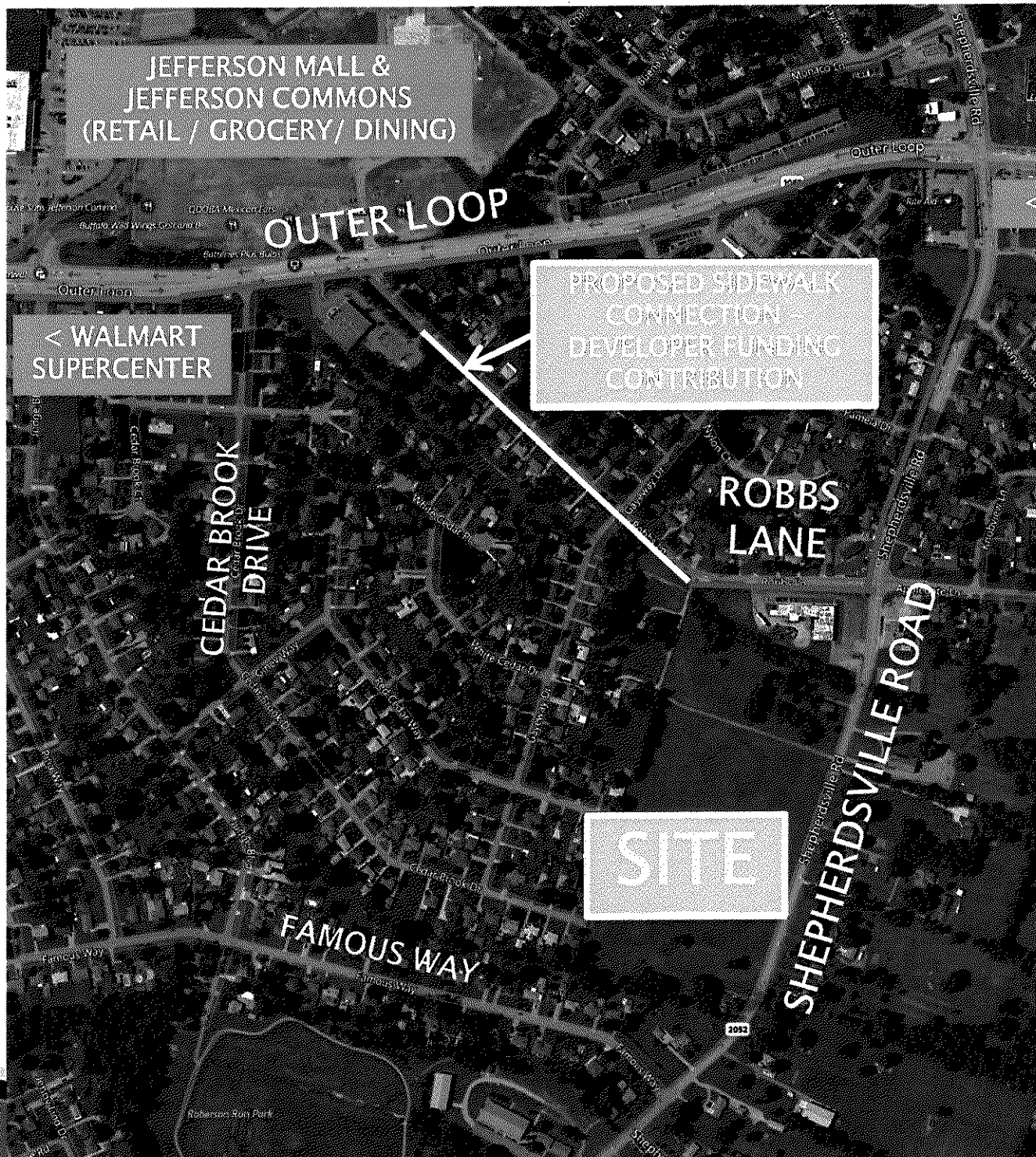


PEDESTRIAN CONNECTIVITY

Sidewalk to Outer Loop
OR
Sidewalk to Cedar Brook
Drive or Red Cedar Way

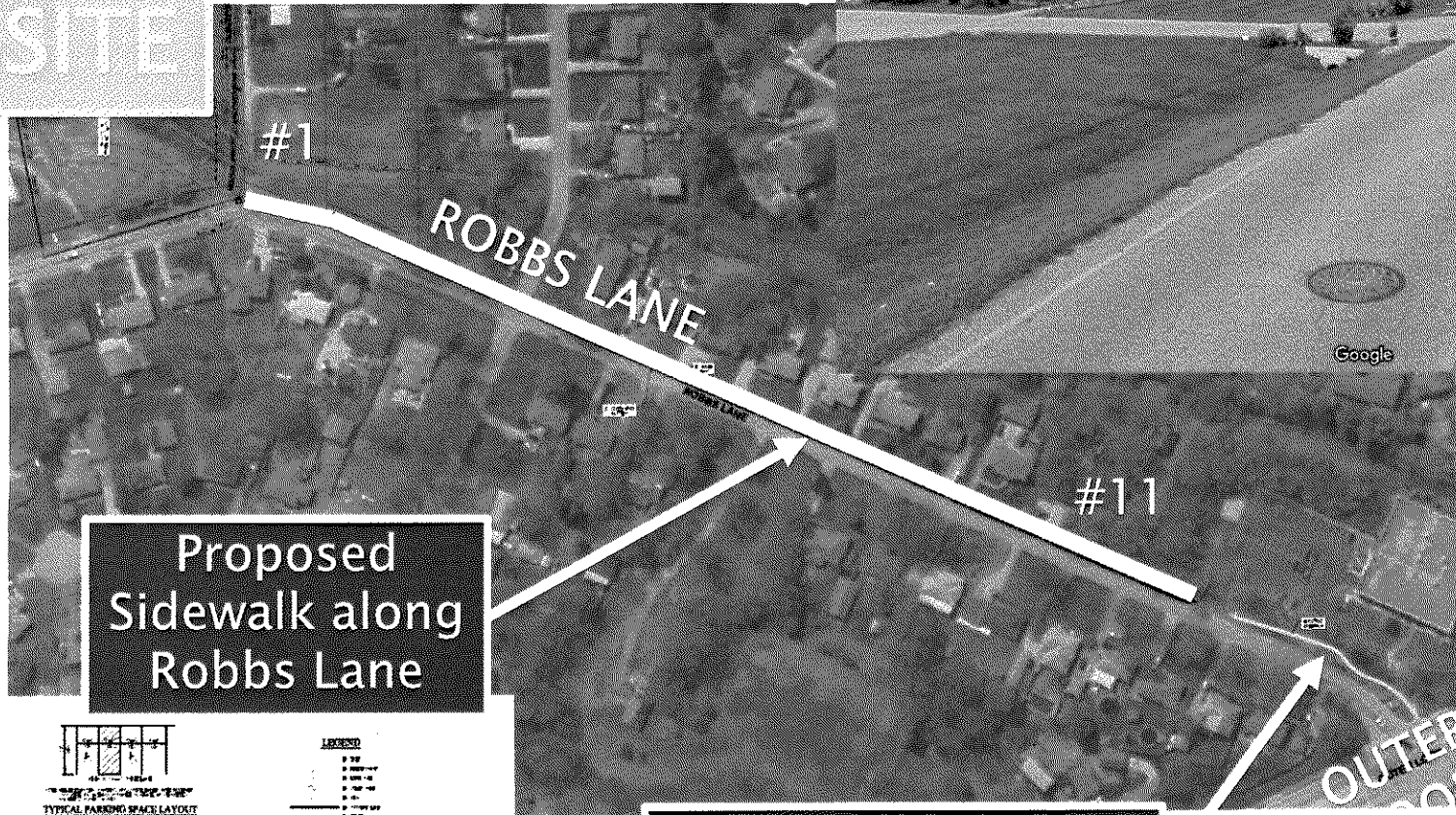


PEDESTRIAN CONNECTIVITY



PED CONNECTIVITY

Robbs Lane Sidewalk Feasibility Review



Proposed
Sidewalk along
Robbs Lane

Existing Sidewalk to
Outer Loop

TYPICAL PARKING SPACE LAYOUT

Kentucky 811

UTILITY NOTE

LEGEND

BENCHMARK

DESIGN BY
REALITY PARTNERS
JOSHUA S. BIRD
LOUISVILLE, KY

PROJECT NAME
UNITED PLACE APARTMENTS
5014 SHELBYVILLE ROAD
LOUISVILLE, KY 40208

DATE
08/21/2017

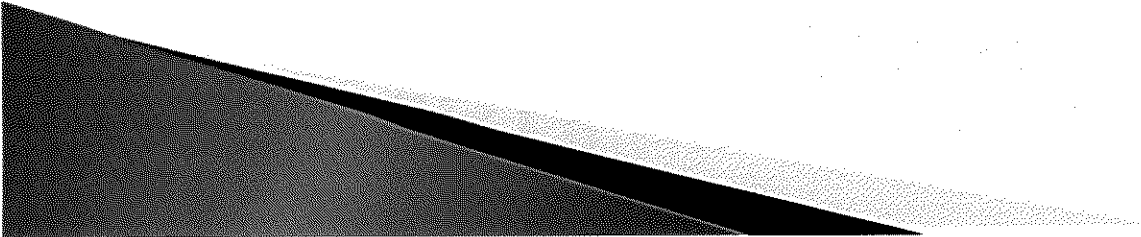
SCALE
1" = 20'

PROJECT NO.
X01.1

PROPOSED BINDING ELEMENT

Binding Element #11

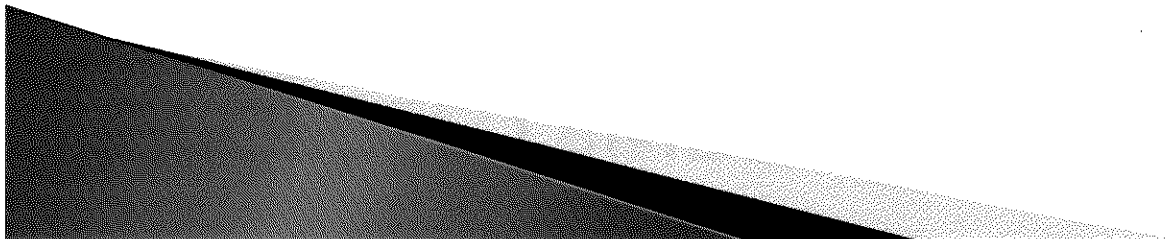
Construction plans, bond, and permit for a 5-foot sidewalk along either the East (between the C-1 zoned portion of the site and Outer Loop) or West (from Shepherdsville Road to Outer Loop) side of Robbs Ln shall be submitted prior to issuance of the first building permit. The ultimate location of the sidewalk will be determined in consultation with Public Works. Within ninety (90) calendar days from development plan approval, should the applicant sufficiently demonstrate to Public Works that construction of the sidewalk along Robbs Ln. is infeasible/impossible for reasons beyond the applicant's control, then the applicant may satisfy compliance of with Comprehensive Plan 2040 Policies applicable to providing sidewalk connectivity from/to the subject property either by A) providing the payment in lieu of sidewalk construction along Robbs Ln; or B) constructing a five-foot sidewalk connection on the subject property to the public right-of-way of either Cedar Brook Drive or Red Cedar Way, both which stub into the subject property.



PROPOSED BINDING ELEMENT

Binding Element #12

Turning lanes on Shepherdsville Rd. shall be installed and completed prior to issuance of certificate of occupancy. Also, prior to issuance of certificate of occupancy, the sidewalk along Robbs Ln. shall be installed and completed or, in accordance with Binding Element # 11, either the fee in lieu of construction of the Robbs Ln. sidewalk fully paid to Louisville Metro Public Works or the installation of a sidewalk connection on the subject property to the public right-of-way of Cedar Brook Drive or Red Cedar Way shall be completed. The amount of the fee in lieu of construction shall be calculated pursuant to Land Development Code Section 6.2.6.C.4.a.i.



PREVIOUSLY APPROVED ELEVATIONS



ELEVATIONS

Club House



2-Story Building



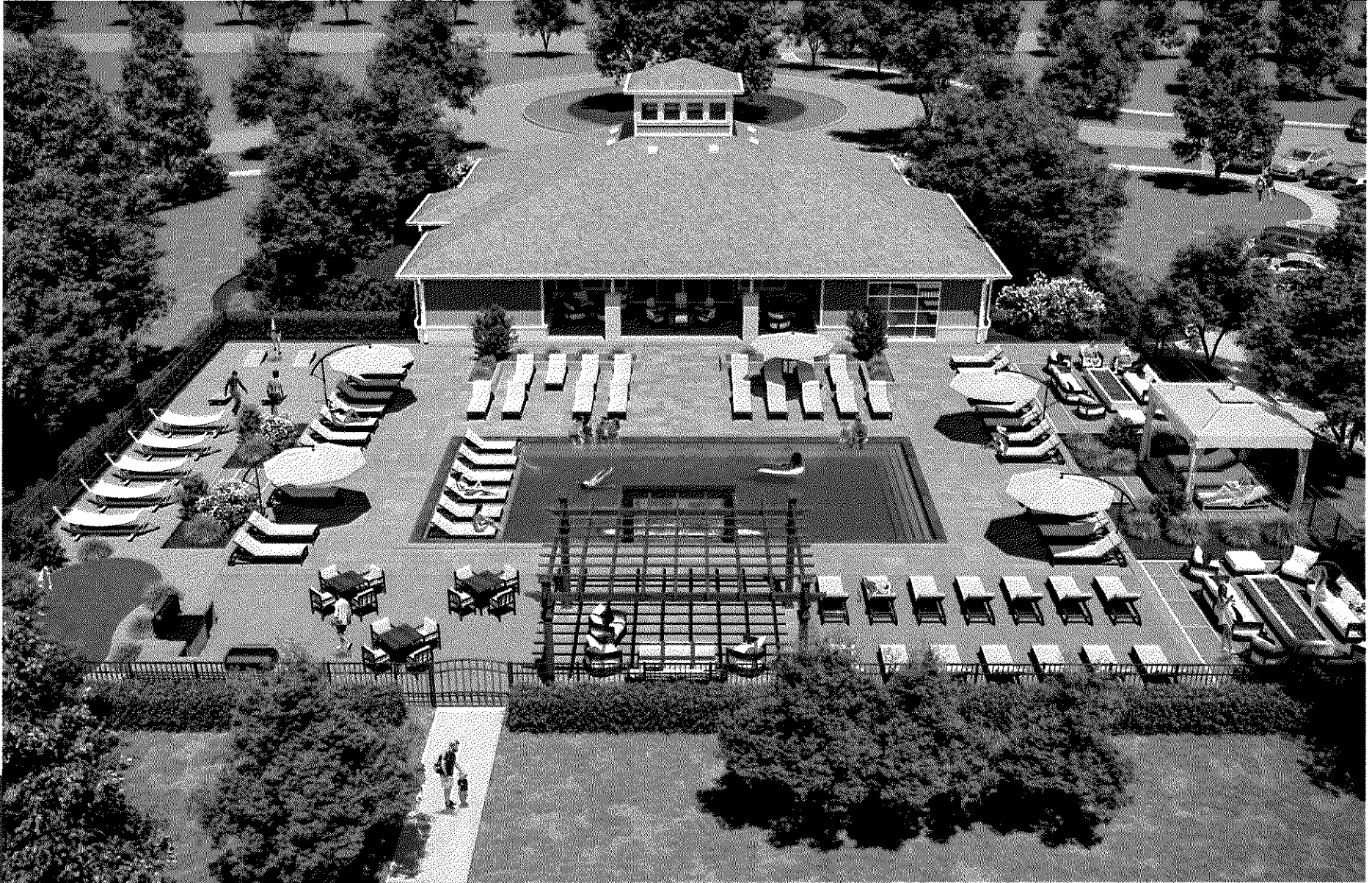
ELEVATIONS

**Combination
2-Story / 3-Story
Building**



3-Story Building

AMENITIES



THANK YOU

DENTON FLOYD
REAL ESTATE GROUP



Louisville | Lexington | Memphis | Nashville | New Albany | www.wyattfirm.com



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日期	1951/2/10
姓名	王德
性别	男
年龄	21
籍贯	山东
职业	学生
住址	山东

C02