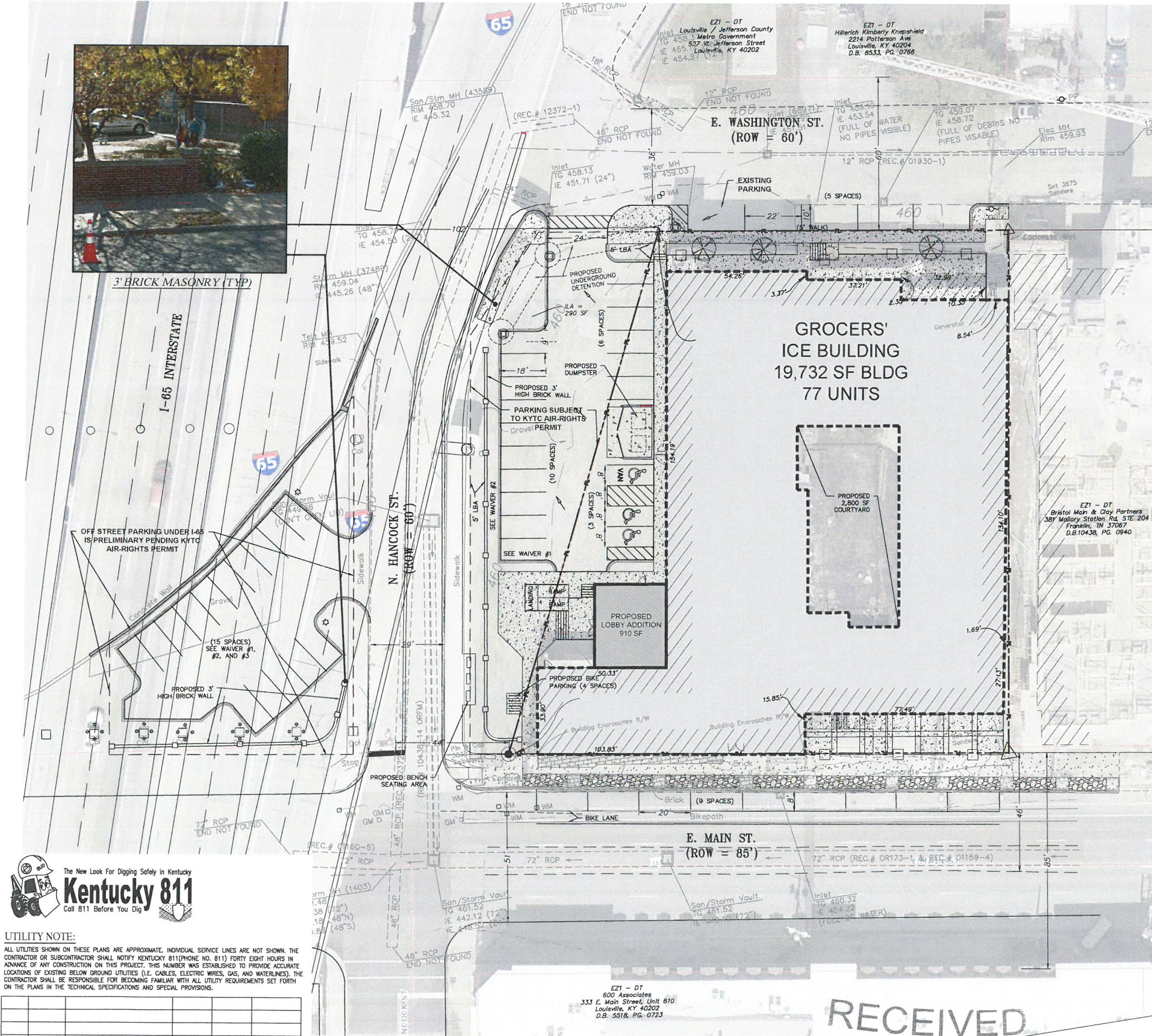




UTILITY NOTE:
ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY KENTUCKY 811 (PHONE NO. 811) FORTY EIGHT HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

Revision	Date	Description	Drawn by	Checked by	Approved by
1	9/10/18	AGENCY REVIEW COMMENTS	JDC	-	-

SITE DATA	
601 EAST MAIN STREET LOUISVILLE, KY 40202 D.B. 11193, PG. 565 TAX BLOCK 018E, LOT 0002	
OWNER	
DENTON FLOYD REAL ESTATE GROUP 1473 SOUTH 4TH STREET LOUISVILLE, KY 40208	
TOTAL SITE AREA	± 0.78 ACRES
FORM DISTRICT	DOWNTOWN
HISTORIC PRESERVATION DISTRICT	BUTCHERTOWN
EX. ZONING	EZ1
EX. LAND USE	VACANT
PR. LAND USE	MULTI FAMILY
F.A.R.	0.58
EX. BUILDING	19,732 SF
PR. BUILDING	19,732 SF
TOTAL BUILDING	20,642 SF
PERCENTAGE OF CHANGE	4.6%
PROPOSED NUMBER OF UNITS	77 TOTAL
D.U./ACRE	98.72 D.U./ACRE GROSS

SETBACK DATA	
MIN. FRONT YARD / STREET SIDE YARD	NONE
MAX. FRONT YARD	15' FROM RIGHT-OF-WAY
REAR YARD	NONE

TREE CANOPY CALCULATIONS	
GROSS SITE AREA	33,768 S.F.
CANOPY COVERAGE CLASS	CLASS A
AREA OF SITE WITH EX. TREE CANOPY	0 S.F.
TREE CANOPY REQUIRED	0 S.F. (0%)
TREE CANOPY PRESERVED	0 S.F. (0%)
TREE CANOPY PLANTED	0 S.F. (0%)
TOTAL TREE CANOPY PROVIDED	0 S.F. (0%)

LAND DEVELOPMENT CODE, CHAPTER 10, PART 1, SECTION 10.1.4.8.2.b STATES:
100 PERCENT REDUCTION IN TREE CANOPY FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENT IF THERE IS 22.01 D.U./ACRE AND GREATER IN THE DOWNTOWN FORM DISTRICT.

LANDSCAPE DATA	
EXISTING V.I.A.	0 S.F.
TOTAL V.I.A.	6,428 S.F.
I.L.A. REQUIRED (2.5%)	161 S.F.
I.L.A. PROVIDED	290 S.F.

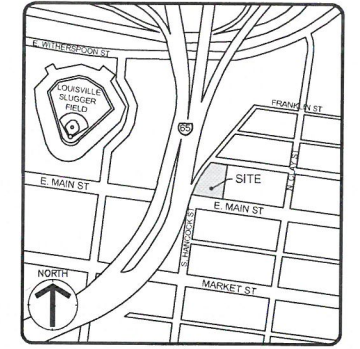
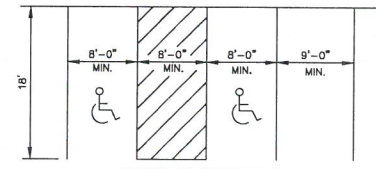
- NOTES**
- CONSTRUCTION PLANS AND DOCUMENTS SHALL COMPLY WITH LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT'S DESIGN MANUAL AND STANDARD SPECIFICATIONS AND OTHER LOCAL STATE AND FEDERAL ORDINANCES.
 - WASTEWATER:
SANITARY SEWER WILL BE PROVIDED BY EX. PROPERTY SERVICE CONNECTION. FLOW WILL BE TREATED AT THE MORRIS FOREMAN WASTEWATER TREATMENT PLANT. CAPACITY CHARGES AND CONNECTION FEES TO BE CALCULATED.
 - DOMESTIC WATER SUPPLY:
SUBJECT SITE TO BE SERVED BY THE LOUISVILLE WATER COMPANY. THE NECESSARY WATER SYSTEM IMPROVEMENTS REQUIRED TO SERVE THE DEVELOPMENT SHALL BE AT THE OWNER / DEVELOPER'S EXPENSE.
 - DRAINAGE:
DRAINAGE PATTERN DEPICTED BY ARROWS (---) IS FOR CONCEPT PURPOSES ONLY. FINAL CONFIGURATION AND SIZE OF DRAINAGE PIPES AND CHANNELS SHALL BE DETERMINED DURING THE CONSTRUCTION PLAN DESIGN PROCESS. DRAINAGE FACILITIES SHALL CONFORM TO MSD REQUIREMENTS. USE OF EX. DRAINAGE CONNECTIONS & STORM WATER REQUIREMENTS SHALL BE COORDINATED WITH MSD.
 - THE DEVELOPMENT LIES IN THE LOUISVILLE #2 FIRE DISTRICT.
 - NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN A FLOOD HAZARD AREA PER FEMA'S FIRM MAPPING, (2111100028E REV. DECEMBER 5, 2006).
 - ALL SITE LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD AND AWAY FROM ALL ADJUTING RESIDENTIAL AREAS AND MEET LDC REQUIREMENTS.
 - ALL DUMPSTER PADS, TRANSFORMERS, AC UNITS TO BE SCREENED IN COMPLIANCE WITH LDC CHAPTER 10.
 - PRIOR TO ANY CONSTRUCTION ACTIVITY, AN EPSC PLAN WILL BE SUBMITTED TO MSD FOR APPROVAL.
 - CONSTRUCTION PLANS, BOND AND ENCROACHMENT PERMIT WILL BE REQUIRED BY METRO PUBLIC WORKS FOR ALL WORK WITHIN THE PUBLIC RIGHT OF WAY PRIOR TO CONSTRUCTION APPROVAL.
 - MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE PARTICULATE EMISSIONS FROM REACHING EXISTING ROADS AND NEIGHBORING PROPERTIES.
 - THIS PROJECT IS SUBJECT TO MS4 WATER QUALITY REGULATIONS ONCE THE INCIDENTAL AREA OF DISTURBANCE EQUALS TO OR GREATER THAN 1 ACRE OF DISTURBANCE. PER THIS PRELIMINARY DEVELOPMENT PLAN, THE AREA OF DISTURBANCE IS 22,100 S.F. (± 0.51 AC).
 - SITE DISCHARGES INTO THE COMBINED SANITARY SEWER SYSTEM AND SHALL LIMIT THE 100 YEAR POST-DEVELOPED DISCHARGE TO THE 10 YEAR PRE-DEVELOPED DISCHARGE PER SECTION 10.3.1.2 OF THE MSD DESIGN MANUAL.
 - THERE MUST BE A LICENSING AGREEMENT IN PLACE WITH BOTH KYTC AND LOUISVILLE METRO PUBLIC WORKS FOR THE PARKING AND WALL IN THE I-65/ HANCOCK STREET RIGHT-OF-WAY BEFORE CONSTRUCTION PANS CAN BE STAMPED.

LIGHTING NOTE
ANY STREET LIGHTING WILL CONFORM TO PUBLIC WORKS STANDARDS OR A MASTER STREETSCAPE PLAN.

SIGNAGE NOTE
ANY PROPOSED SIGNAGE SHALL COMPLY WITH CHAPTER 8 OF THE LAND DEVELOPMENT CODE.

STREET FURNISHINGS NOTE
THE DESIGN OF STREET FURNISHINGS INCLUDING BENCHES, NEWS RACKS, POSTAL / SHIPPING DROP-OFF BOXES, TELEPHONE BOOTHS, AND TRASH RECEPTACLES, ETC. SHALL CONFORM TO WORKS DEPARTMENT STANDARDS. STREET FURNISHINGS ARE NOT PERMITTED AT ANY LOCATION WHERE THE SIDEWALK IS LESS THAN 84" WIDE AND THE PEDESTRIAN ZONE IS LESS THAN 48" WIDE

- WAIVER REQUEST**
- A WAIVER IS REQUESTED FROM CHAPTER 5, PART 5, SECTION 5.5.1.8.1.a & 5.5.1.8.1.b OF THE LAND DEVELOPMENT CODE TO ALL THE PROPOSED PARKING TO BE CONSTRUCTED ALONG E. MAIN STREET AND N. HANCOCK STREET.
 - A WAIVER IS REQUESTED FROM CHAPTER 10, PART 2, SECTION 10.2.10.8 TO ALLOW THE VEHICLE USE AREA LANDSCAPE BUFFER AREA TO BE LOCATED WITHIN THE RIGHT-OF-WAY AND FOR SHRUBS TO NOT BE PROVIDED FOR ANY AREAS DIRECTLY UNDER THE INTERSTATE-65 OVERPASS.
 - A WAIVER IS REQUESTED FROM CHAPTER 10, PART 2, SECTION 10.2.12 AND 10.2.13 OF THE LAND DEVELOPMENT CODE TO WAIVE INTERIOR LANDSCAPE AREA AND TREE PLANTING REQUIREMENTS FOR THE PROPOSED 15 SPACE PARKING LOT TO BE LOCATED DIRECTLY UNDER INTERSTATE-65 OVERPASS.



LEGEND	
	EX. TREE
	EX. FIRE HYDRANT
	EX. LIGHT POLE
	EX. UTILITY POLE
	EX. SIGN
	EX. PROPERTY LINE
	EX. FENCE
	EX. WATER LINE
	EX. GAS LINE
	EX. OVERHEAD ELECTRIC
	EX. UNDERGROUND ELECTRIC
	EX. STORM SEWER
	EX. SANITARY SEWER
	EX. CONCRETE
	EX. EDGE OF PAVEMENT
	PR. STORM SEWER W/ EPSC ROCK CHOCK
	PR. SANITARY SEWER
	PR. PROPERTY SERVICE CONNECTION
	PR. ELECTRIC W/ TRANSFORMER
	PR. WATER LINE
	PR. GAS LINE
	PR. STORM SEWER
	PR. CONCRETE
	PR. EDGE OF PAVEMENT
	PR. FENCE
	PR. SILT FENCE
	PR. FIRE HYDRANT
	PR. LIGHT POLE
	PR. SIGN
	LIMITS OF EXISTING BUILDING
	LIMITS OF PROPOSED LOBBY ADDITION

PARKING SUMMARY	
EXISTING PARKING	0 SPACES
PROPOSED PARKING	56 SPACES
TOTAL PARKING REQUIRED	0 SPACES
TOTAL PARKING PROVIDED	56 SPACES
INCLUDING 3 ADA SPACES	

IMPERVIOUS AREA	
PRE	30,412 S.F.
POST	39,843 S.F.
PERCENTAGE OF CHANGE	0.76%

DISTURBANCE AREA	
TOTAL DISTURBANCE	22,100 S.F.

OPEN SPACE DATA	
TOTAL SITE AREA	0.78 ACRES
OPEN SPACE REQUIRED	200 SF (1% OF BLDG FOOTPRINT)
OPEN SPACE PROVIDED	2,800 SF

BICYCLE SUMMARY	
SHORT / LONG TERM PROVIDED WITHIN RESIDENCE	PER UNIT
ADDITIONAL SHORT TERM PARKING PROVIDED	4 SPACES

ENGINEER:

HERITAGE ENGINEERING, LLC

603 North Shore Drive
Unit 204
Jeffersonville, IN 47130
(502) 562-1412
(502) 562-1413 Fax

DEVELOPER:

**DENTON FLOYD
REAL ESTATE GROUP**

1473 SOUTH 4TH STREET
LOUISVILLE, KY 40208
PHONE: 502-339-0611

PROJECT:

**CATEGORY 2B PLAN
FOR
GROCERS' ICE & COLD
STORAGE COMPANY BUILDING**

601 EAST MAIN STREET
LOUISVILLE, KY 40202

JOB NO: 17073

HORIZ. SCALE: 1"=20'

VERT. SCALE: N/A

DESIGNED BY: CGH

DETAILED BY: CGH

CHECKED BY: SWH

DATE: JUNE 13, 2018

SHEET

C05

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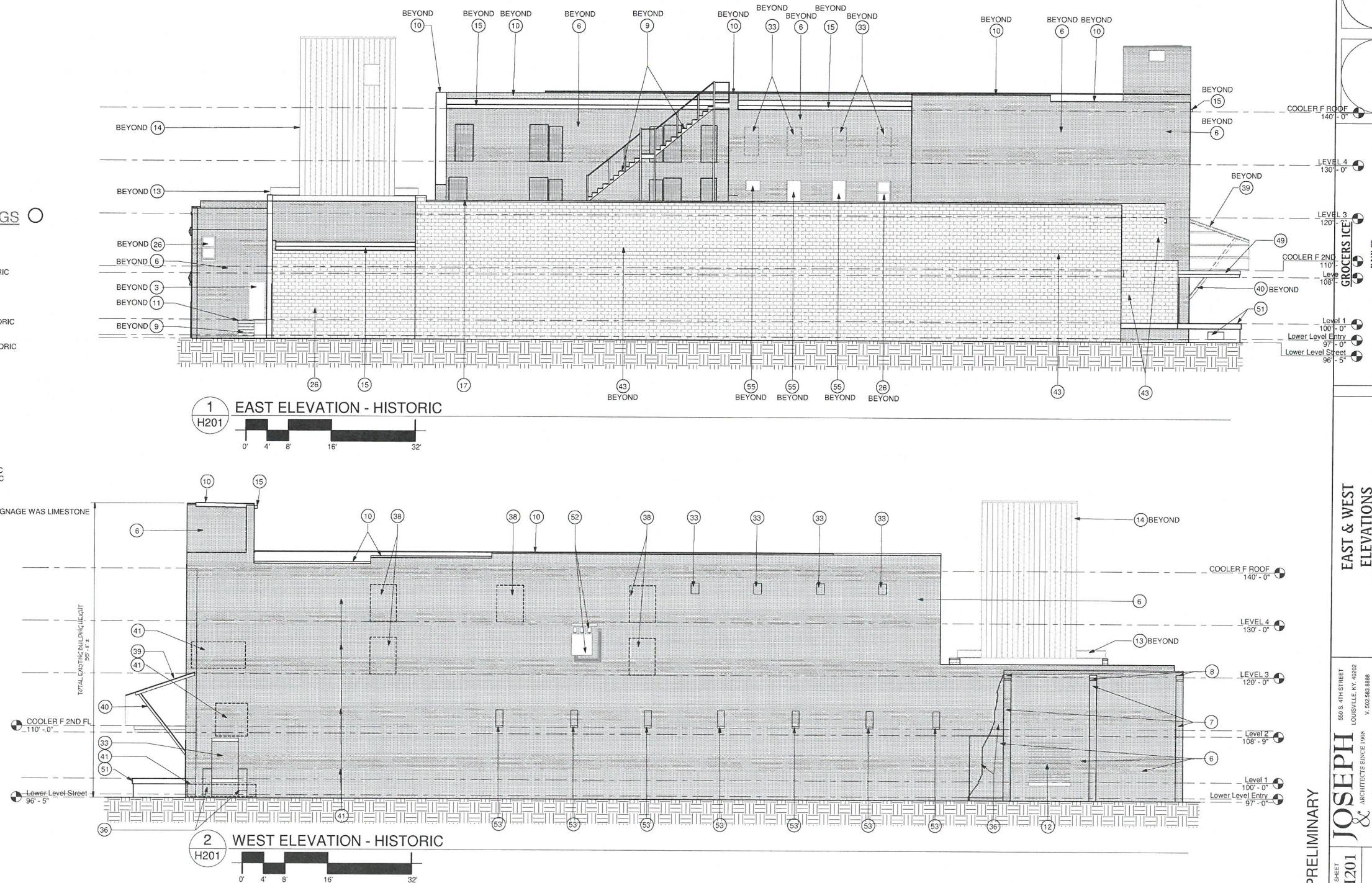
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COMMITTEE	DRAWN	IN HSE	DATE
A7430	M.W.O.	M.L.Y.	03/19/18

NOT FOR CONSTRUCTION

KEYNOTES - EXISTING BUILDINGS ○

1. PAINTED 8 x 8 SCORED CMU - NON HISTORIC
2. PRECAST CONCRETE WALL CAP - NON HISTORIC
3. METAL DOCK DOOR
4. ANGLE IRON JAMB PROTECTION
5. DETEIORATED PAINTED 8 x 8 SCORED CMU - NON HISTORIC
6. PAINTED FACE BRICK WALL
7. PAINTED FACE BRICK PLASTER
8. LIMESTONE PLASTER CAP
9. DETEIORATING WOOD STEPS - NON HISTORIC
10. CLAY TILE WALL CAP
11. POURED IN PLACE CONCRETE LOADING DOCK - NON HISTORIC
12. METAL ROLL - UP DOCK DOOR - NON HISTORIC
13. STEEL BEAMS - NON HISTORIC
14. REFRIGERATION EQUIPMENT AND ENCLOSURE - NON HISTORIC
15. METAL GUTTER
16. VINYL DOWNSPOUT - NON HISTORIC
17. PAINTED LIMESTONE WALL CAP
18. GLAZED PATTERNED BRICK
19. LIMESTONE PATTERNED CORNERS
20. GLASS BLOCK INFILL
21. GLAZED BRICK
22. LIMESTONE SILL
23. METAL (ALUMINUM) SLOPED ROOF - NON HISTORIC
24. SPLIT FACED CMU NON - HISTORIC
25. STEEL BEAM
26. ALUMINUM REPLACEMENT WINDOW FRAME AND GLASS
27. LIMESTONE KEY
28. GLAZED BRICK FAN
29. ALUMINUM REPLACEMENT WINDOW FRAME - NON HISTORIC
30. ALUMINUM DOOR AND FRAME (FULL GLASS) - NON HISTORIC
31. BRICK QUOIN PATTERN
32. BRICK WALL CAP - NON - HISTORIC
33. PAINTED FACE BRICK INFILL WALL - NON HISTORIC
34. METAL IDENTIFICATION SIGN - NON HISTORIC, ORIGINAL SIGNAGE
35. ROOFING MATERIAL - NON HISTORIC
36. PARTIALLY REMOVED BRICK WALL STRUCTURE
37. METAL WALL CAP - NON HISTORIC
38. CMU INFILL PARGED AND PAINTED - NON HISTORIC
39. METAL CANOPY FRAME
40. METAL CANOPY FRAME
41. AREAS OF FACE BRICK DETEIORATION
42. ANGLE IRON SURROUND PROTECTION
43. PAINTED CMU WALL - NON HISTORIC
44. PAINTED CMU WALL - DETEIORATED - NON HISTORIC
45. SLIDING METAL DOOR, SINGLE
46. SLIDING METAL DOOR, BI-PARTING
47. WOOD FRAME CANOPY - NON HISTORIC
48. BAT WINDOW - NON HISTORIC
49. CANTILEVERED CANOPY - NON HISTORIC
50. SUSPENDED METAL CANOPY - NON HISTORIC
51. CONCRETE LOADING DOCK WITH CRAWLWAY BELOW
52. ELECTRICAL PANELS - NON HISTORIC
53. STEEL BEAM HAUNCH
54. BRICK SILL - PAINTED
55. EXISTING MASONRY OPENING



PRELIMINARY

SHEET	I201	JOSEPH & JOSEPH ARCHITECTS SINCE 1908	500 S. 4TH STREET LOUISVILLE, KY 40202 V. 502.583.8888 F. 502.583.8414 www.josephandjoseph.net	SET
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ABUILDING "A"AL

EAST & WEST
ELEVATIONS

GROCCERS ICE

Level 1	
00' - 0"	
Level Entry	
97' - 0"	
Street	
96' - 5"	

1

WEST
TIONS

EAST & ELEVATION

0202
8

550 S. 4TH STREET
LOUISVILLE, KY. 40202
V. 502.583.8888

HPH

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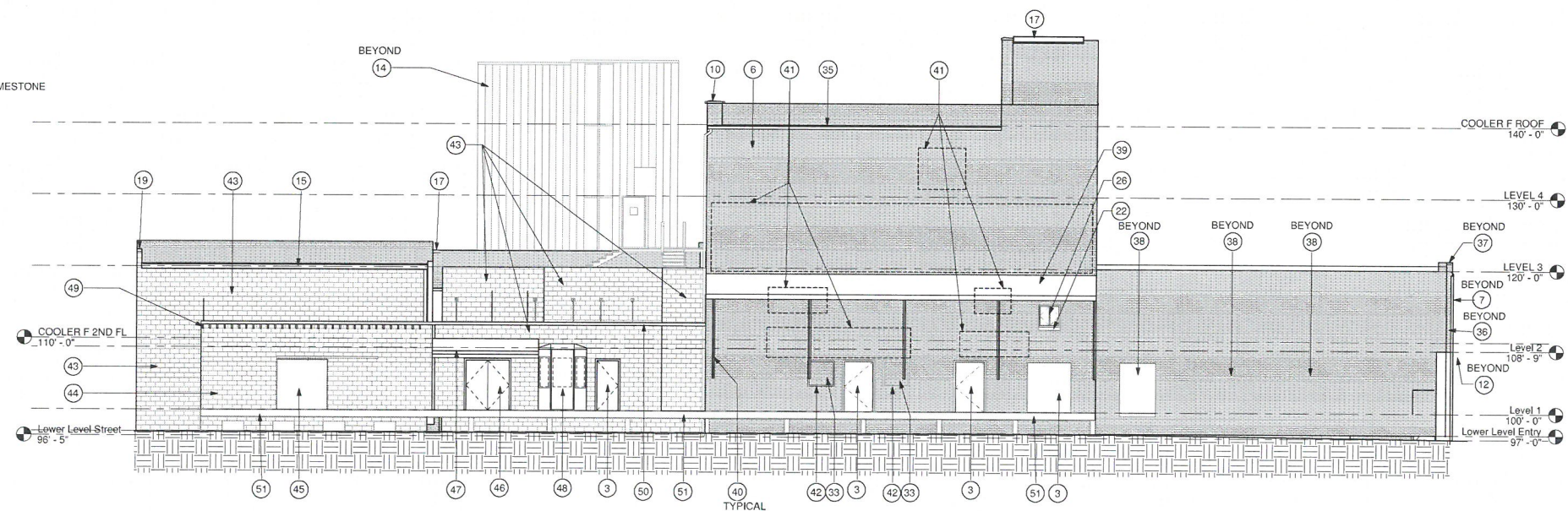
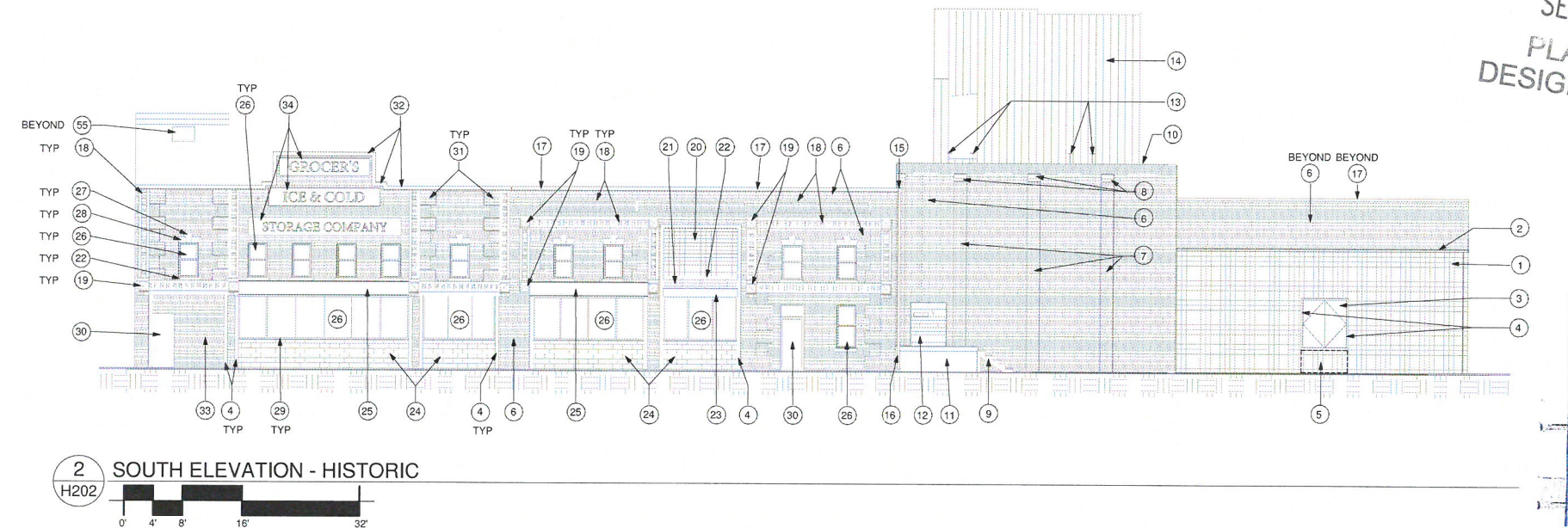
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55. EXISTING MASONRY OPENING



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MAIN ST
DE DEVELOPMENT LLC

NORTH & SOUTH
ELEVATIONS
HISTORIC
ABUILDING "A" 1

500 S. 4TH STREET
LOUISVILLE, KY 40202
ARCHITECTS SINCE 1908
V. 502.583.8888
F. 502.583.8414
www.josephandjoseph.net
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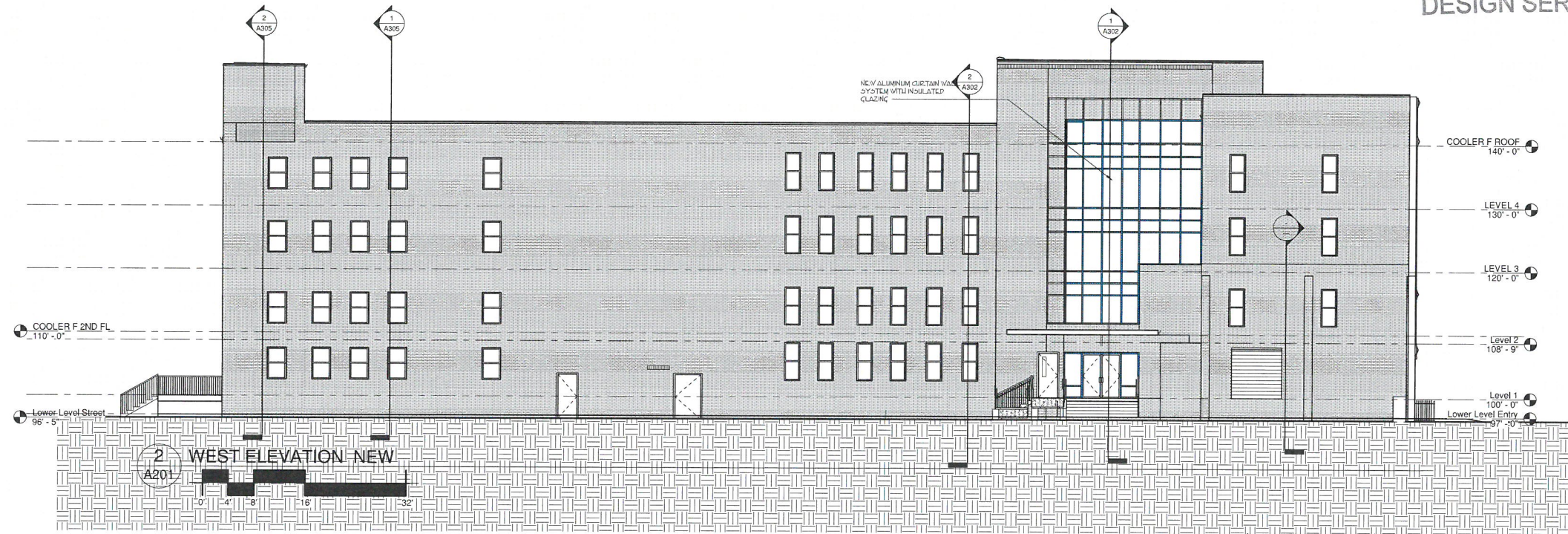
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GROCKERS ICE
MAIN ST
DEVELOPMENT LLC

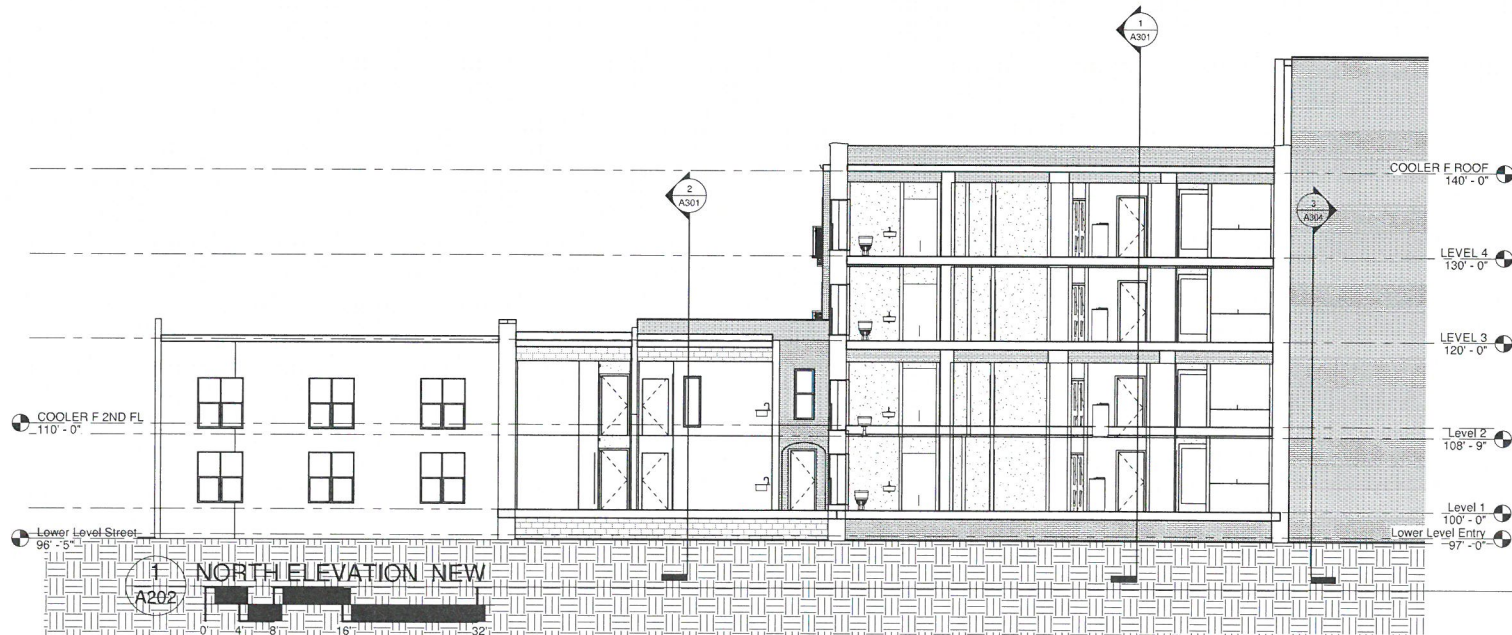
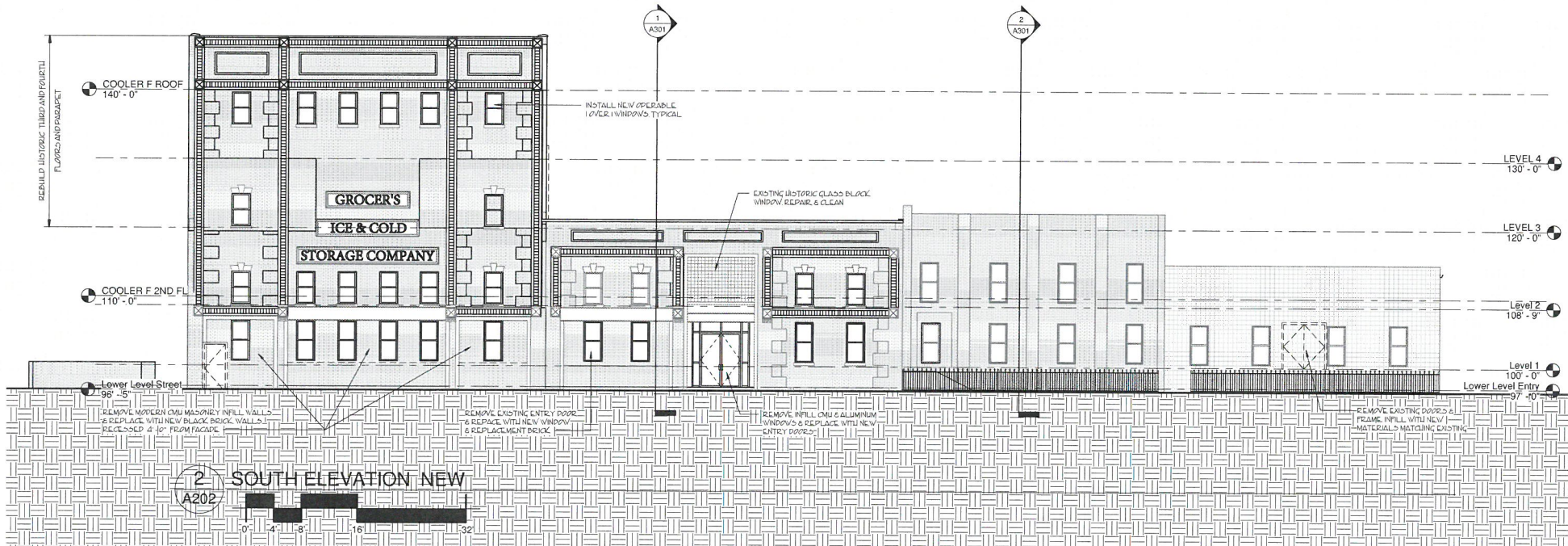
EAST & WEST
ELEVATIONS
ARCHITECTURAL

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