

Land Development & Transportation Committee – September 8, 2016

Neighborhood Meeting – March 31, 2016

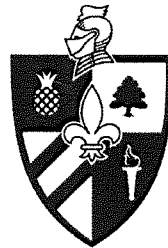
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SEP 08 2016

PLANNING &
DESIGN SERVICES

Docket No. 16ZONE1022

Proposed zone change from R-4, OR-3, M2 to C-2 to allow office, practice fields and related facilities, plus stadium for intercollegiate and non-intercollegiate athletics on property located at 3408, 3416, 3420 & 3430 Newburg Rd. & 4300 Champions Trace Ln



BELLARMINE
UNIVERSITY

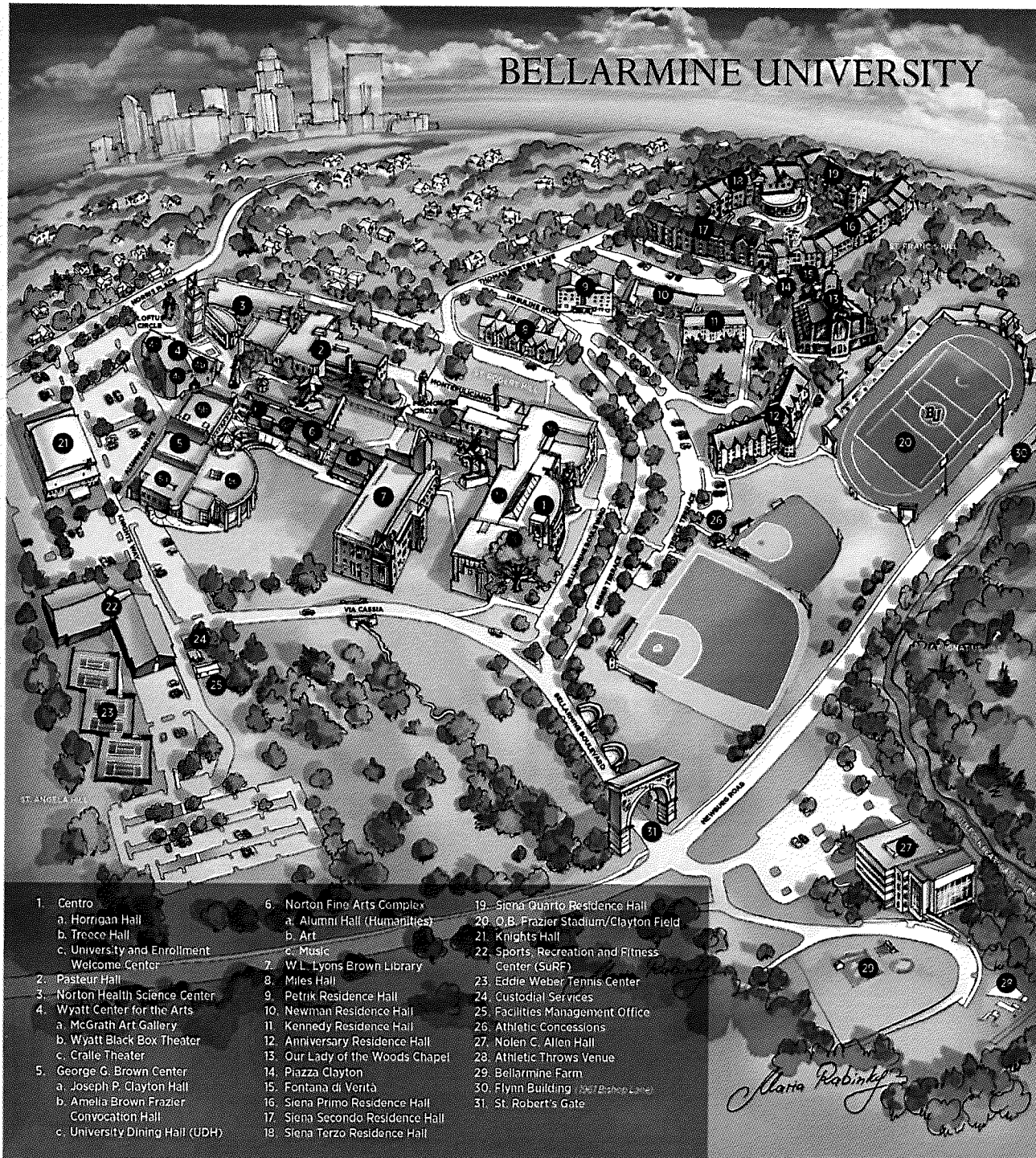
IN VERITATIS AMORE

University Administration: Bob Zimlich, VP for Administration and Finance;
Jeff Dean, Assistant VP for Facilities; Scott Wiegandt, Director of Athletics

Attorneys: Bardenwerper Talbott & Roberts, PLLC

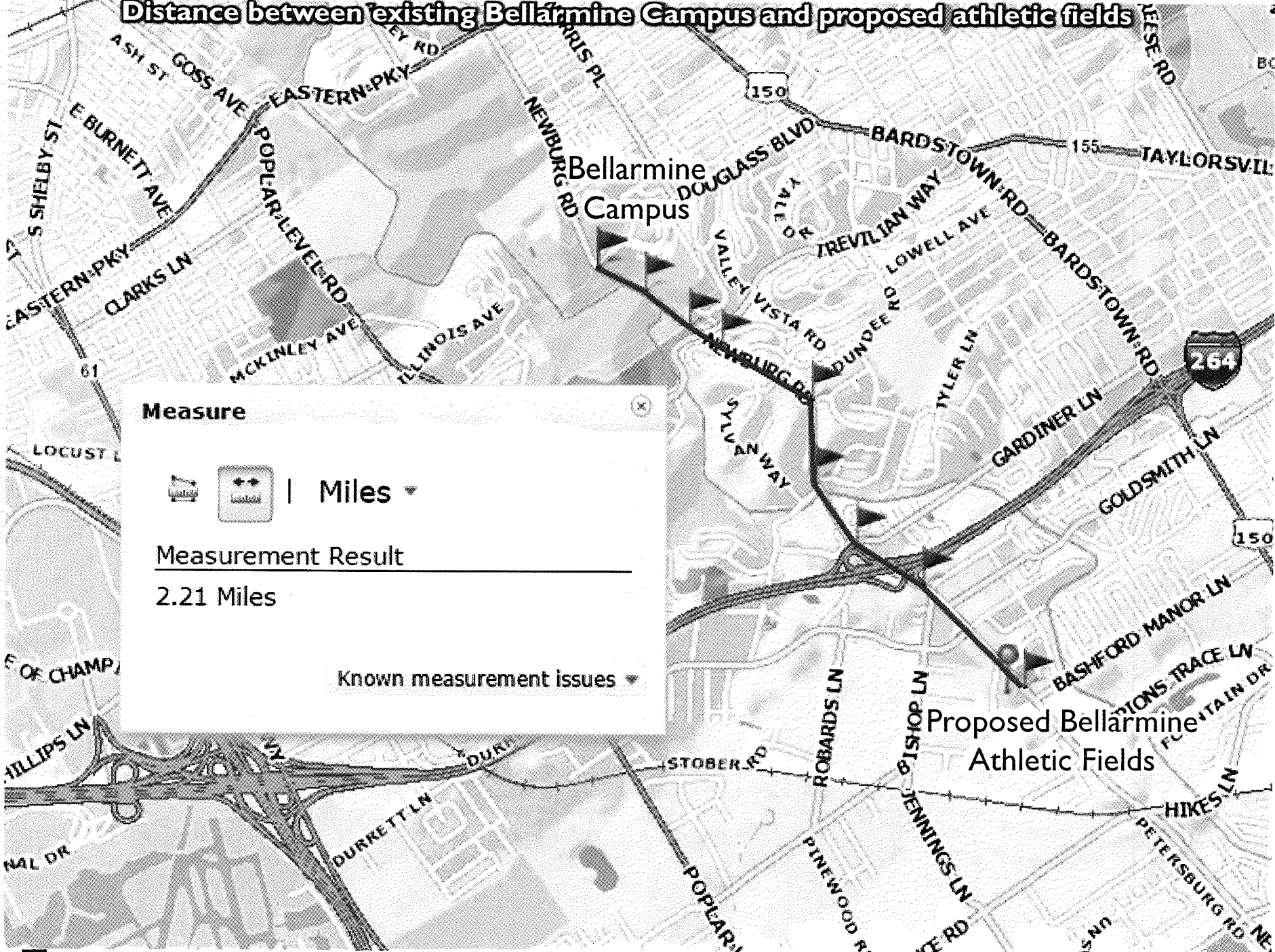
Land Planners, Landscape Architects & Engineers: Heritage Engineering

BELLARMINE UNIVERSITY



- | | | |
|---|--|--|
| 1. Centro
a. Horrigan Hall
b. Treace Hall
c. University and Enrollment Welcome Center | 6. Norton Fine Arts Complex
a. Alumni Hall (Humanities)
b. Art
c. Music | 19. Siena Quarto Residence Hall |
| 2. Pasteur Hall | 7. W.L. Lyons Brown Library | 20. O.B. Frazier Stadium/Clayton Field |
| 3. Norton Health Science Center | 8. Miles Hall | 21. Knights Hall |
| 4. Wyatt Center for the Arts
a. McGrath Art Gallery
b. Wyatt Black Box Theater
c. Cralle Theater | 9. Petrik Residence Hall | 22. Sports, Recreation and Fitness Center (SuRF) |
| 5. George G. Brown Center
a. Joseph P. Clayton Hall
b. Amelia Brown Frazier Convocation Hall
c. University Dining Hall (UDH) | 10. Newman Residence Hall | 23. Eddie Weber Tennis Center |
| | 11. Kennedy Residence Hall | 24. Custodial Services |
| | 12. Anniversary Residence Hall | 25. Facilities Management Office |
| | 13. Our Lady of the Woods Chapel | 26. Athletic Concessions |
| | 14. Piazza Clayton | 27. Nolen C. Allen Hall |
| | 15. Fontana di Verita | 28. Athletic Throws Venue |
| | 16. Siena Primo Residence Hall | 29. Bellarmine Farm |
| | 17. Siena Secondo Residence Hall | 30. Flynn Building (Johannes Chapel) |
| | 18. Siena Terzo Residence Hall | 31. St. Robert's Gate |

Distance between existing Bellarmine Campus and proposed athletic fields



Measure

Map icon | Miles

Measurement Result

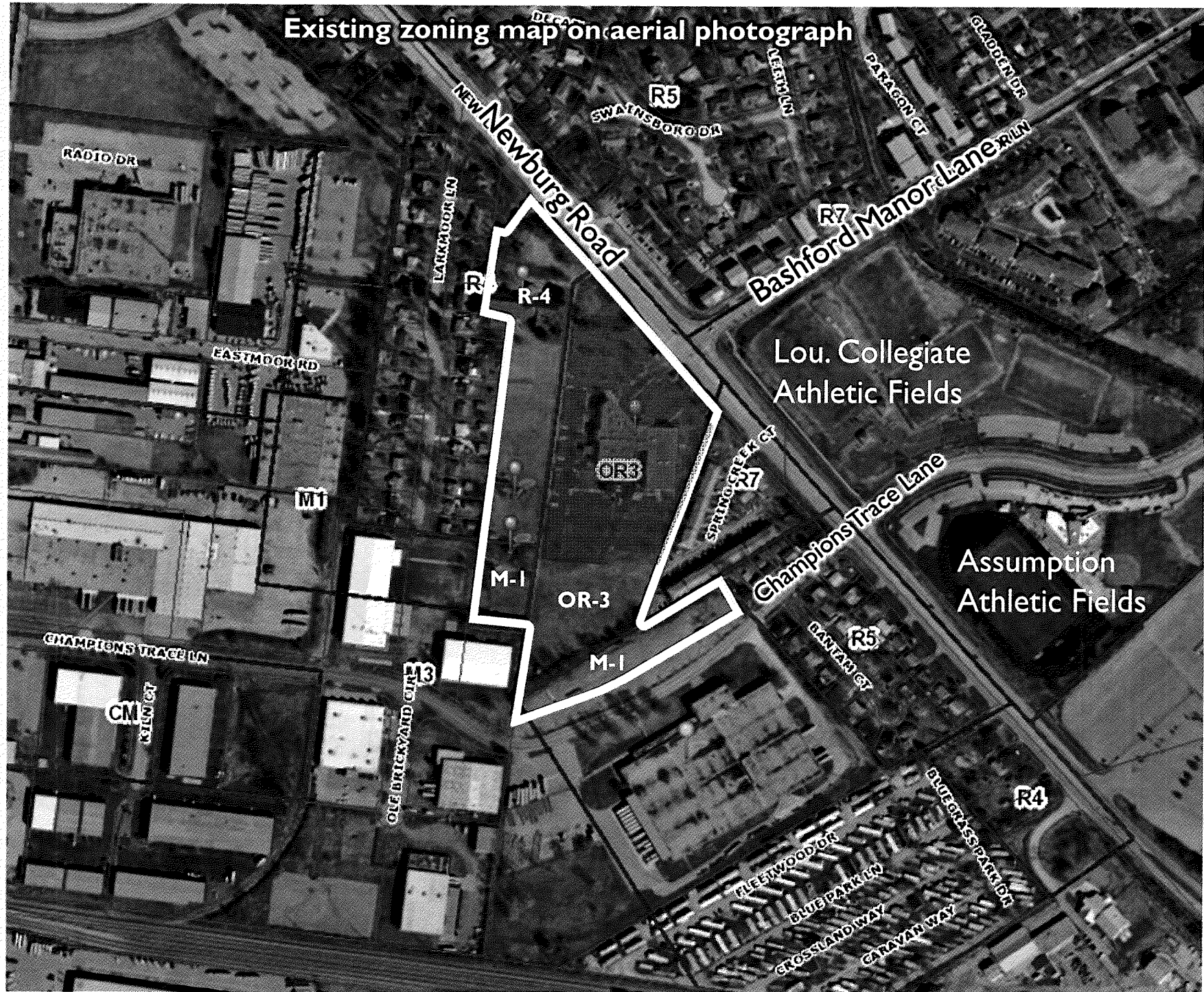
2.21 Miles

Known measurement issues

Bellarmino
Campus

Proposed Bellarmine
Athletic Fields

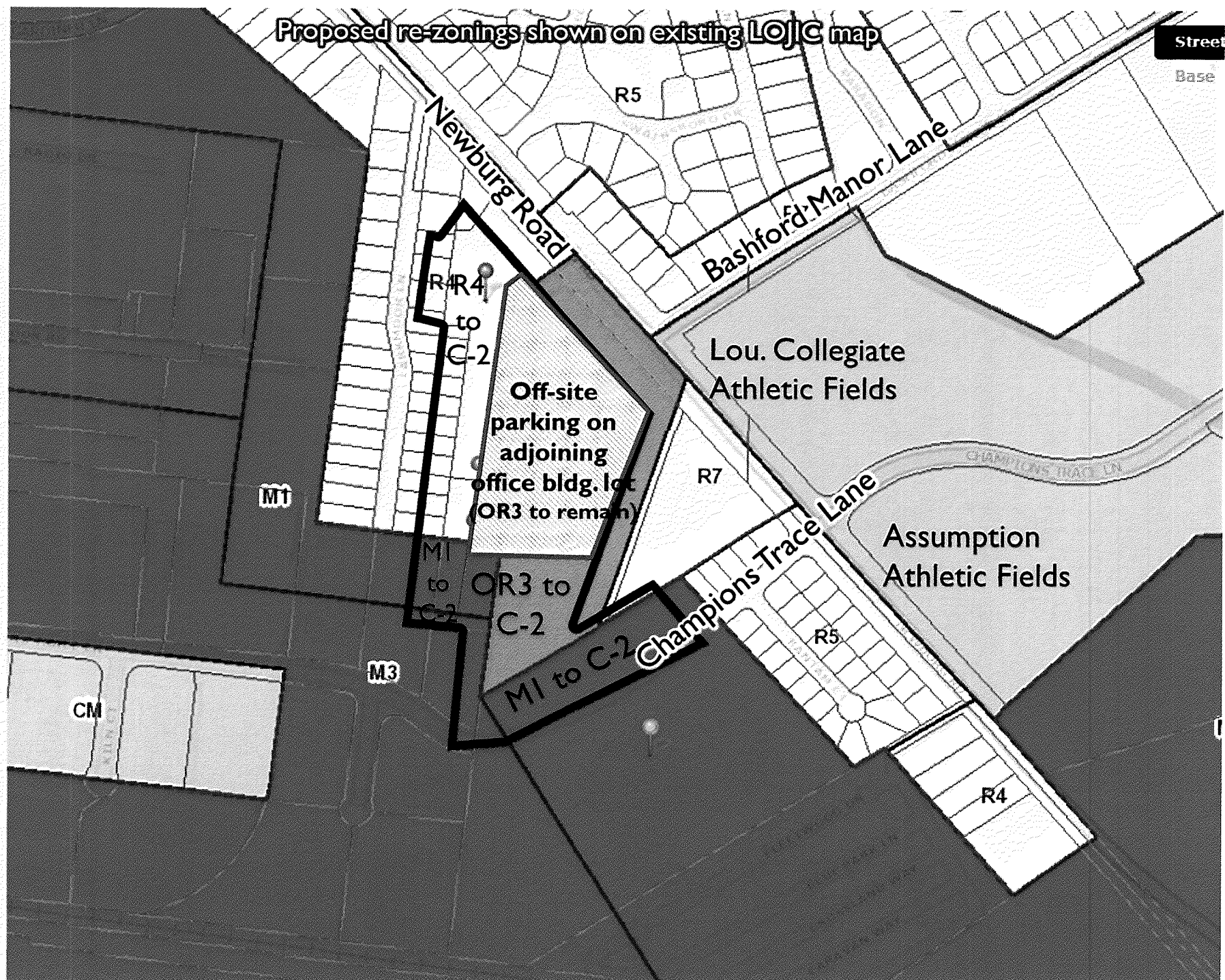
Existing zoning map on aerial photograph



Proposed re-zonings shown on existing LOJIC map

Street

Base





Existing Lifepoint Church, proposed for athletic office and locker room facility.

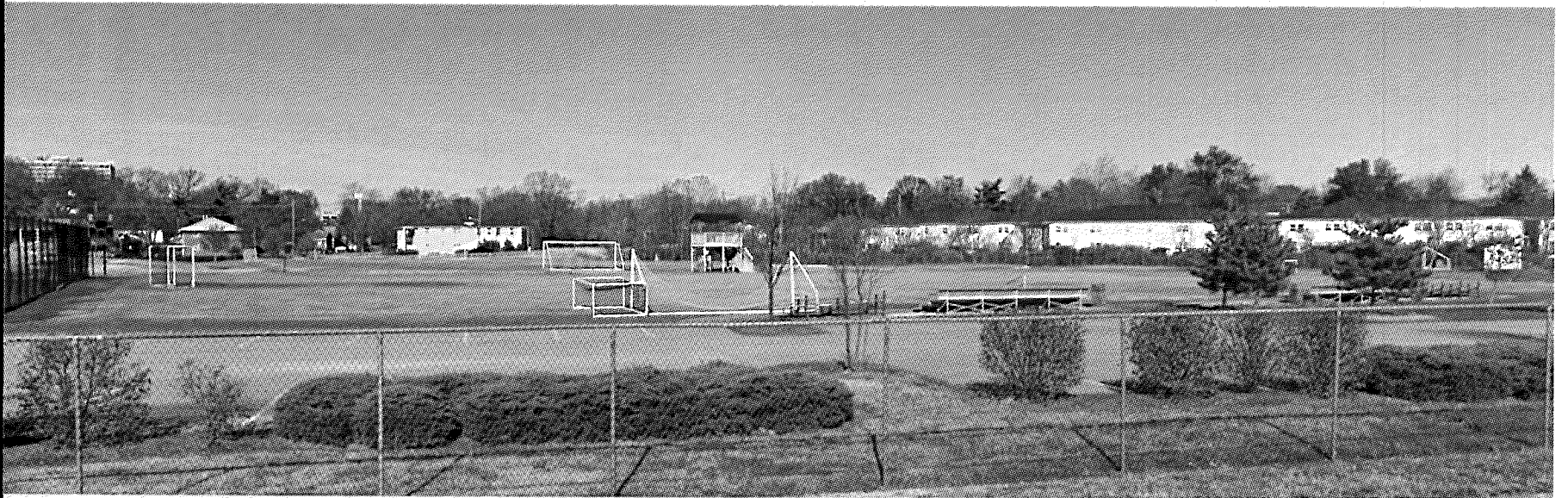


View of both the Louisville Collegiate and Assumption Athletic fields from the corner of Newburg Road and Champions Trace Lane.



Champions Trace Dr.

View of Louisville Collegiate Athletic fields from Champions Trace Lane.



View of Louisville Collegiate Athletic fields from Champions Trace Lane.

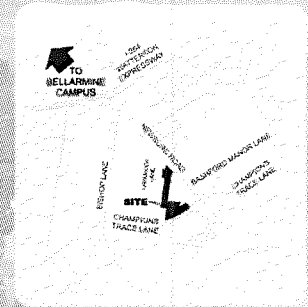


Corner of Champions Trace Lane and Newburg Road looking towards the Assumption athletic fields.



View of Assumption athletic fields from Newburg Road.

NEWBURG ROAD



LOCATION MAP



LARKMOOR LANE

CHAMPIONS TRACE LANE

HERITAGE ENGINEERING, LLC



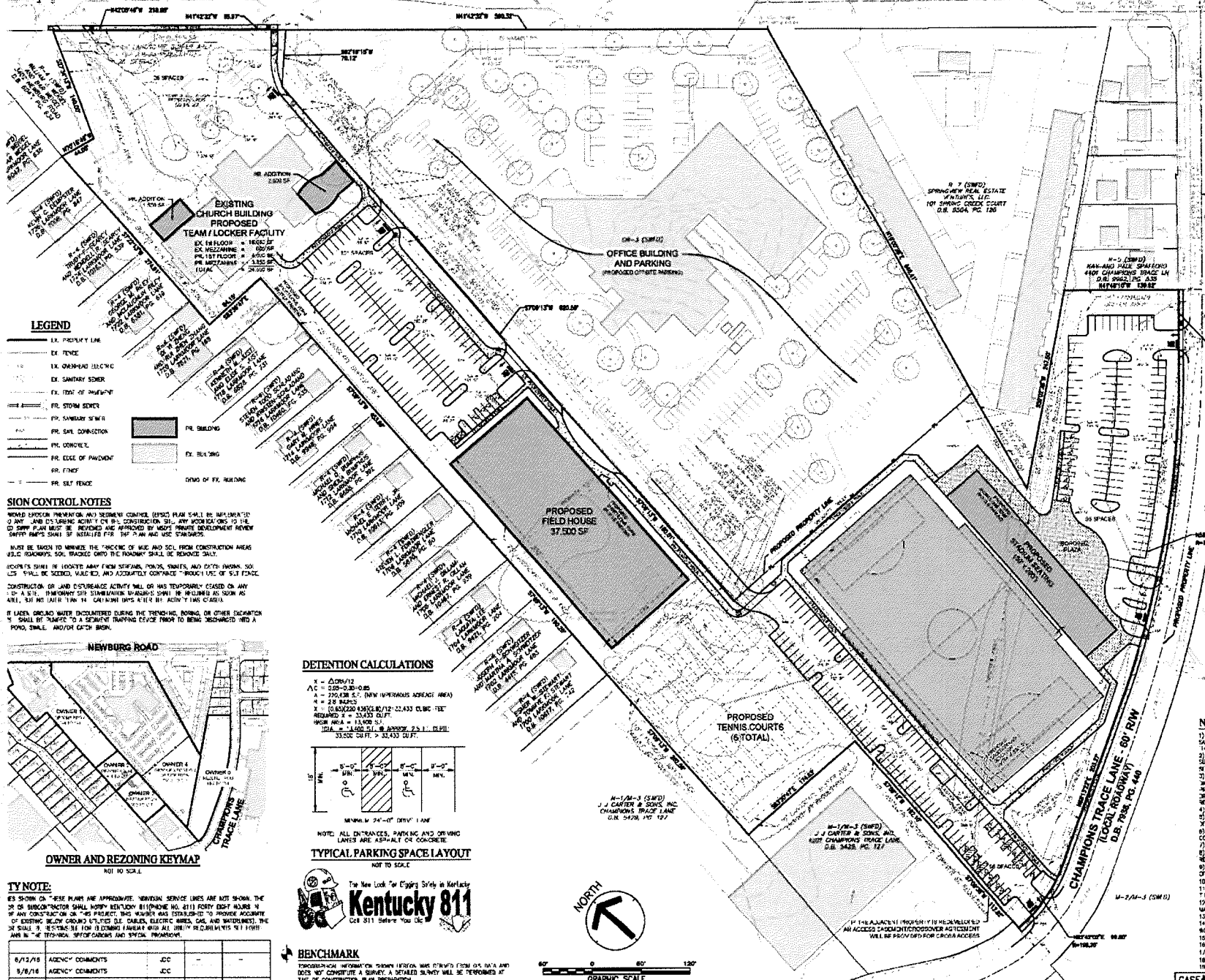
BELLARMINE UNIVERSITY

SPORTS PARK

NEWBURG ROAD / CHAMPIONS TRACE LANE

LOUISVILLE, KENTUCKY

NEWBURG ROAD - 145' R/W
(ARTERIAL ROADWAY)



LEGEND

- EX PROPERTY LINE
- EX FENCE
- EX OVERHEAD ELECTRIC
- EX SANITARY SEWER
- EX EDGE OF PAVEMENT
- EX STORM SEWER
- EX SANITARY S.W.M.
- EX SATE CONNECTION
- EX CONCRETE
- EX EDGE OF PAVEMENT
- EX FINES
- EX SET FENCE
- PRO BUILDING
- EX BUILDING
- DRIVE OF EX BUILDING

SION CONTROL NOTES

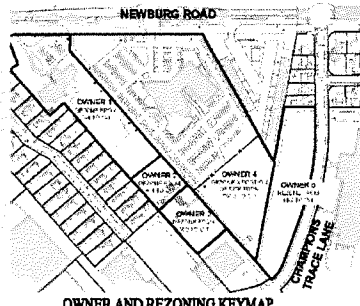
WORKER PROTECTION AND SIGNMENT CONTROL (SPSC) PLAN SHALL BE IMPLEMENTED AT ALL TIMES DURING CONSTRUCTION. ANY MODIFICATIONS TO THE SPSC PLAN MUST BE REVIEWED AND APPROVED BY THE PROJECT DEVELOPER. NECESSARY PERMITS SHALL BE INSTALLED FOR THE PLAN AND USE STANDARDS.

MUST BE TAKEN TO MINIMIZE THE TRUCKING OF MUD AND SOIL FROM CONSTRUCTION AREAS. ALL TRUCKS SHALL BE TRACKED INTO THE TRACKWAY SHALL BE TRACKED ONLY.

TRUCKS SHALL BE COVERED WITH TARP OR OTHER MEANS TO PREVENT SOILS FROM BEING SPILLED, WASHED, AND ACCIDENTALLY CONTAINED THROUGHOUT THE LIFE OF THE PROJECT.

CONSTRUCTION OR LAND DISTURBANCE ACTIVITY SHALL BE TEMPORARILY CEASED ON ANY DAY THAT THE AIR QUALITY INDEX (AQI) IS 150 OR GREATER.

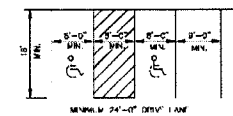
IF LOCAL CREEK WATER IS CONTAMINATED DURING THE TRUCKING, DRIVING, OR OTHER ACTIVITIES, IT SHALL BE STOPPED TO A SEPARATE TRAPPING DEVICE FROM BEING DISCHARGED INTO A POND, STREAM, AND/OR CATCH BASIN.



OWNER AND REZONING KEYMAP
NOT TO SCALE

DETENTION CALCULATIONS

$A = 0.00112$
 $\Delta C = 0.00 - 0.00 - 0.00$
 $200,000 \text{ S.F. (NEW IMPERVIOUS ADJACENT AREA)}$
 $A = 2.8 \text{ MGD/C}$
 $2 \text{ (0.00020 IMPERVIOUS/12' CLASS OUBIC FEET)}$
 $\text{REQUIRED } A = 33,433 \text{ CU FT.}$
 $\text{NORMAL AREA} = 13,400 \text{ S.F.}$
 $\text{TOTAL } = 14,000 \text{ S.F. (APPROX. 2.5') (DEPTH)}$
 $33,500 \text{ CU FT. } > 33,433 \text{ CU FT.}$



NOTE: ALL ENTRANCES, PARKING AND DRIVEWAY LAYERS ARE ASPHALT OR CONCRETE.

TYPICAL PARKING SPACE LAYOUT
NOT TO SCALE



TYNOTE:
 EAS SHOWN ON THESE PLANS ARE APPROXIMATE. UTILILITY SERVICE LINES ARE NOT SHOWN. THE SO OR SUBCONTRACTOR SHALL VERIFY EXISTING UTILITIES (INCLUDING 811) PRIOR TO ANY CONSTRUCTION ON THIS PROJECT. THIS MAPS HAS BEEN PREPARED TO PROVIDE ACCURATE OF EXISTING BELOW GROUND UTILITIES (E.G. CABLES, ELECTRIC WIRES, GAS, AND WATERLINES). THE 20' SHALL BE REFLECTED IN LOW OR CORNER ELEVATION WITH ALL UTILITIES RECORDS (MAY BE FOUND IN THE 100' WIDE SPOT) CORNERS AND SPECIAL PROVISIONS.

6/12/16	AGENCY COMMENTS	JCC
8/16/16	AGENCY COMMENTS	JCC

- NO**
- 1) W
 - 2) W
 - 3) W
 - 4) W
 - 5) W
 - 6) W
 - 7) W
 - 8) W
 - 9) W
 - 10) W
 - 11) W
 - 12) W
 - 13) W
 - 14) W
 - 15) W
 - 16) W
 - 17) W
 - 18) W





