

GENERAL NOTES

- CONSTRUCTION PLANS AND DOCUMENTS SHALL COMPLY WITH LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICTS DESIGN MANUAL AND STANDARD SPECIFICATIONS AND OTHER LOCAL STATE AND FEDERAL ORDINANCES.
- WASTEWATER: SANITARY SEWER WILL BE PROVIDED BY EX. PROPERTY SERVICE CONNECTION. FLOW WILL BE TREATED AT THE MORRIS FOREMAN WASTEWATER TREATMENT PLANT. CAPACITY CHARGES AND CONNECTION FEES TO BE CALCULATED.
- SUBJECT SITE TO BE SERVED BY THE LOUISVILLE WATER COMPANY. THE NECESSARY WATER SYSTEM IMPROVEMENTS REQUIRED TO SERVICE THE DEVELOPMENT SHALL BE AT THE OWNER/DEVELOPERS EXPENSE.
- NO PORTION OF SUBJECT PROPERTY LIES WITHIN A FLOOD HAZARD AREA PER FEMA'S FIRM MAPPING 2111C0019E DATED DEC. 5, 2006.
- ALL SITE LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD AND AWAY FROM ALL ADJUTING RESIDENTIAL AREAS AND MEET LDC REQUIREMENTS.
- ALL DUMPSTER PADS, TRANSFORMERS, AC UNITS TO BE SCREENED IN COMPLIANCE WITH LDC CHAPTER 10.
- PRIOR TO ANY CONSTRUCTION ACTIVITY, AN EPSC PLAN WILL BE SUBMITTED TO MSD FOR APPROVAL.
- CONSTRUCTION PLANS, BOND AND ENCROACHMENT PERMIT WILL BE REQUIRED BY METRO PUBLIC WORKS FOR ALL WORK WITHIN THE PUBLIC RIGHT OF WAY PRIOR TO CONSTRUCTION APPROVAL.
- MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE PARTICULATE EMISSIONS FROM REACHING EXISTING ROADS AND NEIGHBORING PROPERTIES.
- THE DEVELOPMENT LIES IN THE WORTHINGTON FIRE DISTRICT.
- DRAINAGE PATTERN DEPICTED BY ARROWS IS FOR CONCEPT PURPOSES ONLY. FINAL CONFIGURATION AND SIZE OF DRAINAGE PIPES AND CHANNELS SHALL BE DETERMINED DURING THE CONSTRUCTION PLAN DESIGN PROCESS.
- THIS PROJECT IS SUBJECT TO MS4 WATER QUALITY REGULATIONS ONCE THE INCREMENTAL AREA OF DISTURBANCE SUMS EQUAL TO OR GREATER THAN 1 ACRE OF DISTURBANCE. PER THIS PRELIMINARY DEVELOPMENT PLAN, THE AREA OF DISTURBANCE IS 21,780 S.F.
- UPON REDEVELOPMENT OF THE PROPERTY TO THE EAST, A UNIFIED ACCESS AND CIRCULATION SYSTEM SHALL BE DEVELOPED PER LDC 5.5.2.B.1.a AND 5.9.2.A.1.b.ii TO PROVIDE CONNECTION BETWEEN ADJACENT NON-RESIDENTIAL SITES. A CROSS ACCESS AGREEMENT TO RUN WITH THE LAND AND IN A FORM ACCEPTABLE TO PLANNING COMMISSION LEGAL COUNSEL SHALL BE RECORDED PRIOR TO THE TIME OF REDEVELOPMENT APPROVAL FOR THE ADJACENT PROPERTY.

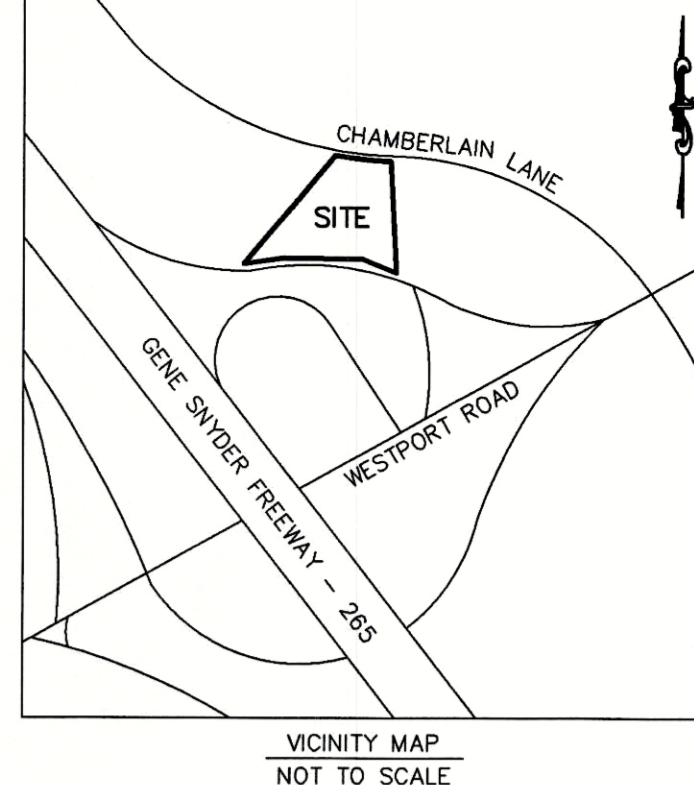
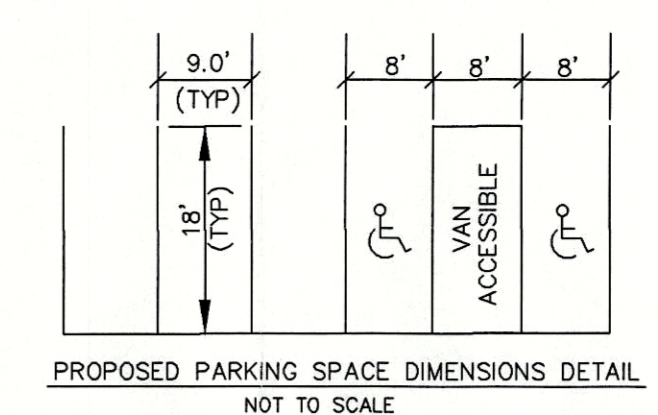
LEGEND

	EXISTING SEWER LINE AND MANHOLE
	EXISTING WATER VALVE
	EXISTING CATCH BASIN
	FIRE HYDRANT
	WATER METER
	EXISTING LIGHT POLE
	EXISTING CONTOUR LINE
	EXISTING SPOT ELEVATION
	EXISTING GAS LINE WITH PIPE SIZE
	EXISTING WATER LINE WITH PIPE SIZE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING 6" PROPERTY SERVICE CONNECTION
	PROPOSED DRAINAGE FLOW DIRECTION
	PROPOSED CATCH BASIN
	PROPOSED JUNCTION BOX
	TO BE REMOVED
	EX. ASPHALT PAVEMENT & CONCRETE CURB TO BE REMOVED

HAMPTON SHOOGUN GROUP, LLC.
12 ANGEL TRACE
BRENTWOOD, TN 37027
D.B. 10413, PG. 883
C1 ZONING
REGIONAL CENTER FORM DISTRICT

LOUISVILLE HOTEL ASSOCIATES, LLC.
920 FREDERICA STREET
OWENSBORO, KY. 42301
D.B. 10037, PG. 217
C1 ZONING
REGIONAL CENTER FORM DISTRICT

HEMISH, LLC
3711 CHAMBERLAIN LANE
LOUISVILLE, KY. 40241
D.B. 8472, PG. 977
C1 ZONING
REGIONAL CENTER FORM DISTRICT



REVISIONS:
4/25/19 COMMENTS

ERIC W. HAFER
28524
LICENSED PROFESSIONAL ENGINEER

DRWN BY: KAL/DLL
DRAWING NAME:
18-28DP1.DWG



LJB INC.
FORMERLY EVANS/GRIFFIN, INC.
Engineer & Land Surveyor
4010 Dupont Circle
Suite 478
Louisville, Ky 40207
(502) 899-9611
LJBinc.com

KENTUCKIANA PAIN SPECIALIST
3710 CHAMBERLAIN LANE
LOUISVILLE, KY. 40241
REVISED DETAILED DISTRICT DEVELOPMENT PLAN

CALL 2 WORKING DAYS BEFORE YOU DIG!!
1-800-752-6007
CONTACT OBTAINING PROTECTION

SAFETY NOTE
The Contractor shall comply with the U.S. Dept of Labor Safety and Health regulations for construction promulgated under the Occupational Safety and Health Act of 1970 (P.L. 91-596) and under Section 107 of the Contract Work Hours and Safety Standards Act (P.L. 91-54). During all phases of this project (including excavations or trenching) the Contractor shall be responsible for safety at all times.

UTILITY NOTE
ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE KENTUCKY UNDERGROUND UTILITY PROTECTION, INC. (PHONE: 1-800-752-6007) 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDED ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (i.e. cables, electrical wires, gas, and water lines). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES
THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED EPSC PLAN MUST BE REVIEWED AND APPROVED BY MSD'S PRIVATE DEVELOPMENT REVIEW OFFICE. EPSC BMP'S SHALL BE INSTALLED PER THE PLAN AND MSD STANDARDS. DETENTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PERFORM AS SEDIMENT BASINS DURING CONSTRUCTION UNTIL THE CONTRIBUTING DRAINAGE AREAS ARE SEEDED AND STABILIZED. ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY. SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES AND ADEQUATELY CONTAINED THROUGHOUT THE USE OF SILT FENCE. ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING STRUCTURES PER MSD STANDARD DRAWING ER-02. WHERE CONSTRUCTION OR LAND DISTURBANCE ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 CALENDAR DAYS AFTER THE ACTIVITY HAS CEASED. SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGE INTO A STREAM, POND, SWALE OR CATCH BASIN.

EXISTING IMPERVIOUS	DECREASE IMPERVIOUS	TOTAL IMPERVIOUS
69,822 SQ.FT.	2,668 SQ.FT.	67,154 SQ.FT.
3.82% DECREASE		

AREA OF DISTURBANCE = 0.50 ACRES

RECAPITULATION

EXISTING ZONING	C1
2. FORM DISTRICT	REGIONAL CENTER
3. EXISTING USE	DOCTORS OFFICE
4. LAND AREA	2.34 ACRES
5. BUILDING AREA	
A. EXISTING	10,827 SQ.FT.
B. PROPOSED	10,809 SQ.FT.
	TOTAL = 21,636 SQ.FT.
6. PARKING	
A. REQUIRED (21,636 SQ.FT.)	MIN. 1/250 1/150 87 SPACES 145 SPACES
B. PROVIDED	105 SPACES TOTAL W/6 HANDICAP SPACES
C. BICYCLE PARKING	
REQUIRED LONG TERM	2, OR 1 SPACE PER 50 EMPLOYEES
REQUIRED SHORT TERM	4, OR 1 SPACE PER 25,000 SF OF GROSS FLOOR AREA
PROVIDED LONG TERM	2 SPACES
(LONG TERM BIKE SPACES TO BE PROVIDED INSIDE BUILDING)	
PROVIDED SHORT TERM	4 SPACES
7. VJA	42,627 SQ.FT.
8. ILA	
A. REQUIRED (7.5%)	3,197 SQ.FT.
B. PROVIDED	4,230 SQ.FT.

TREE CANOPY REQUIREMENTS

CLASS "C"
SITE AREA = 2.34 ACRE (101,930 SQ.FT.)
EXISTING 18 TYPE "A" TREES @ 960 SQ.FT.
EXISTING TREE CANOPY = 16,95% (17,280 SQ.FT.)
TOTAL TREE CANOPY REQUIRED = 15% (15,290 SQ.FT.)
NO NEW TREE CANOPY REQUIRED PER LDC TABLE 10.1.1

RECEIVED

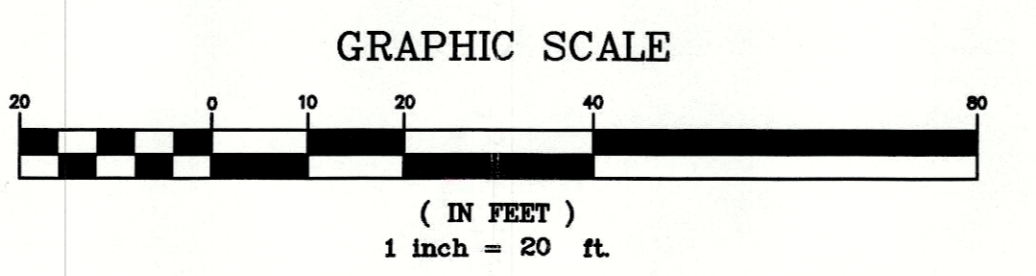
APR 28 2019
PLANNING & DESIGN SERVICES
OWNER
ATREYA HOLDINGS, LLC.
a Kentucky Limited Liability Company
4001 WHITEBLOSSOM ESTATES COURT
LOUISVILLE, KY. 40241
D.B. 9244, PG. 159
PARCEL ID: 001403970000
CASE# 19DEVPLAN1046 WM# 5267

DATE: 1/31/19
PROJECT NO.:
2018-28

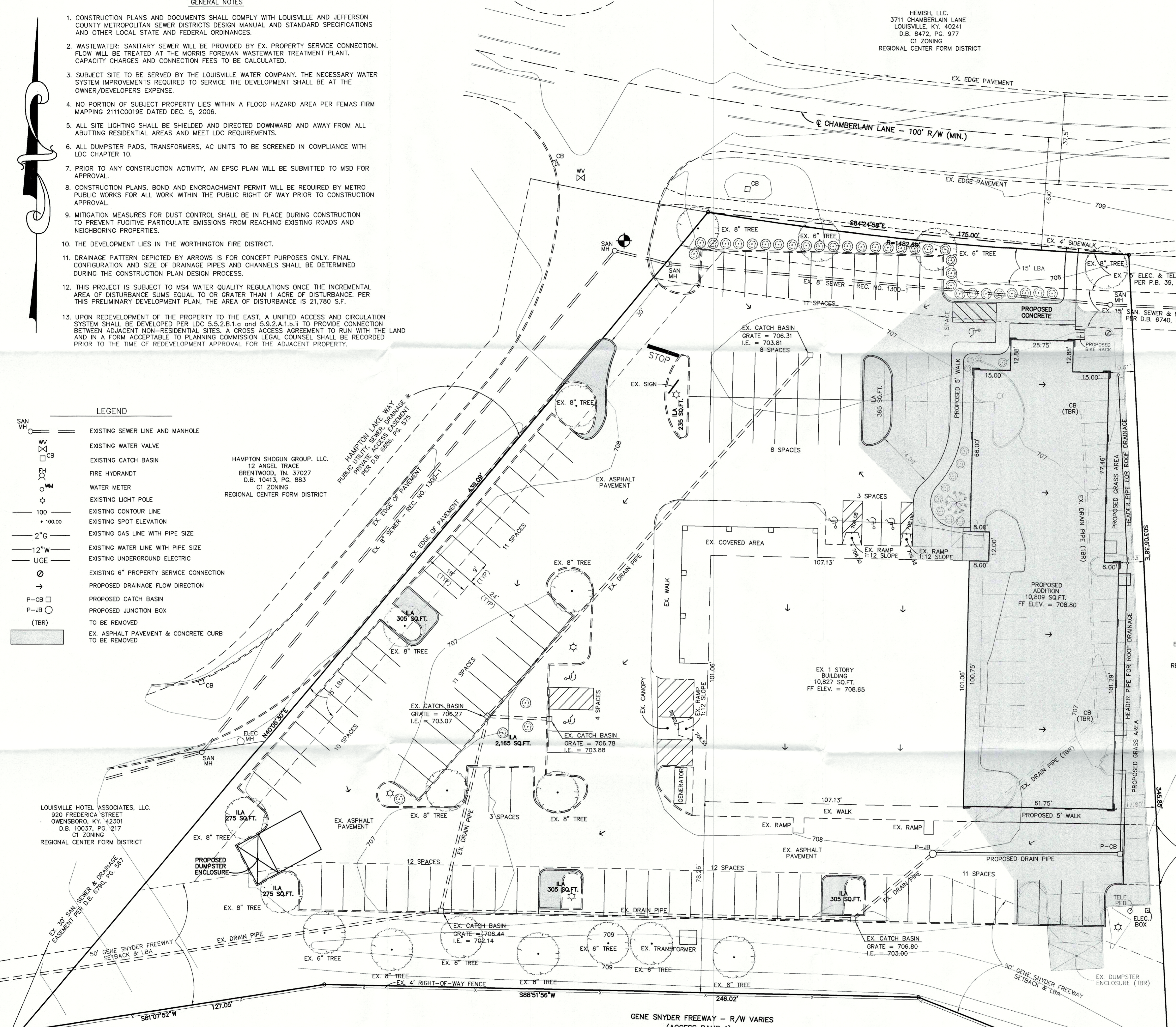
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SITE BENCHMARK
EXISTING SANITARY MANHOLE RIM
ELEVATION: 707.54 (NAVD 1988)

- WAIVERS REQUESTED
- WAIVER OF LDC SECTION 10.2.10 TO ALLOW EXISTING PAVEMENT TO ENCRACH INTO THE LBAS ALONG CHAMBERLAIN LANE & HAMPTON LAKE WAY.
 - WAIVER OF LDC SECTION 10.3.7 TO ALLOW EXISTING PAVEMENT TO ENCRACH INTO THE 50' GENE SNYDER SETBACK AND LBA AND ALLOW FOUR (4) ILA TREES TO BE LOCATED IN THE GENE SNYDER FREEWAY BUFFER.



DASHED LINES REPRESENT ACCESS TO ADJOINING PROPERTY FOR FUTURE RDEVELOPMENT (SEE NOTE 13)



RELATED CASE # - 09-086-88

19 Duplan 1046