

100 Distillery Commons

Owner Presentation in Opposition to Local Landmark Designation

12/17/2020



Pre-Barrel House Lofts, LLC Timeline

1960-Subject Building emptied

1974-Entire Distillery Operation Vacated

1979-Sale to Kinetic Properties

1979-2014-Various Proposed Redevelopment efforts: Offices, Apartments, Distillery Operations, Barrel Storage

Remainder of Distillery Commons redeveloped

Property sold to Barrel House Lofts, LLC in 2014

Bradford Mills Lofts



Hite Art Institute



2014-Present Preservation Efforts

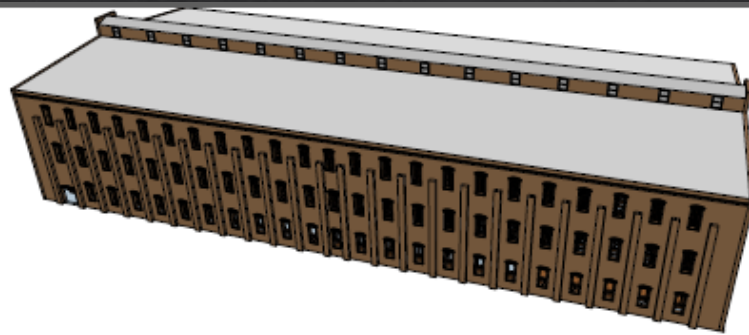
Official Acts

- ◆ Listing on National Register
- ◆ Tax Credit application
- ◆ Tax Credit Rejection

Marketing and Design

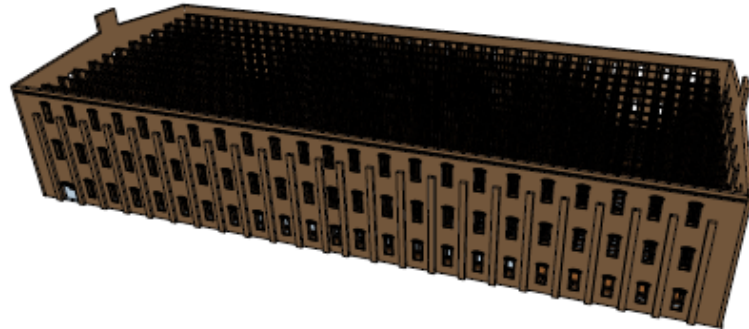
- ◆ Office users
- ◆ Distillery/Spirits Business users
- ◆ Indoor Storage

Pinion Advisors Report



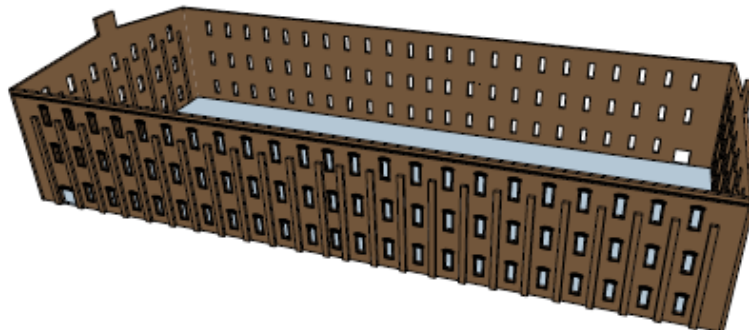
The Building as Currently Constructed

The building is in poor structural condition, but has mostly intact exterior walls, roofing, and racking system on the interior.



The First Phase of Demolition

The first phase of demolition will require the removal of the roof, which is supported by the interior racking system. Removal of the racking system would cause the roof to collapse without additional support or prior removal.



The Final Phase of Demolition Prior to Construction

At some point during demolition, even with temporary interior supports, the entirety of the building will only consist of the exterior walls. At this point the only remaining historic materials will be the exterior brick walls.

Pinion Advisors Report

The barrel house is unique in that there are essential three primary areas of material integrity. The roof and clerestory are the most significant and easily the most deteriorated at this point. The exterior brick walls are the most visible feature of the building, but they lack any historic windows and most of the openings have been bricked-in. The third significant feature is the wood racking, which represents the physical significance of the building's operation, but also a significant impediment to reuse of the interior of the building.

Pinion Advisors Report

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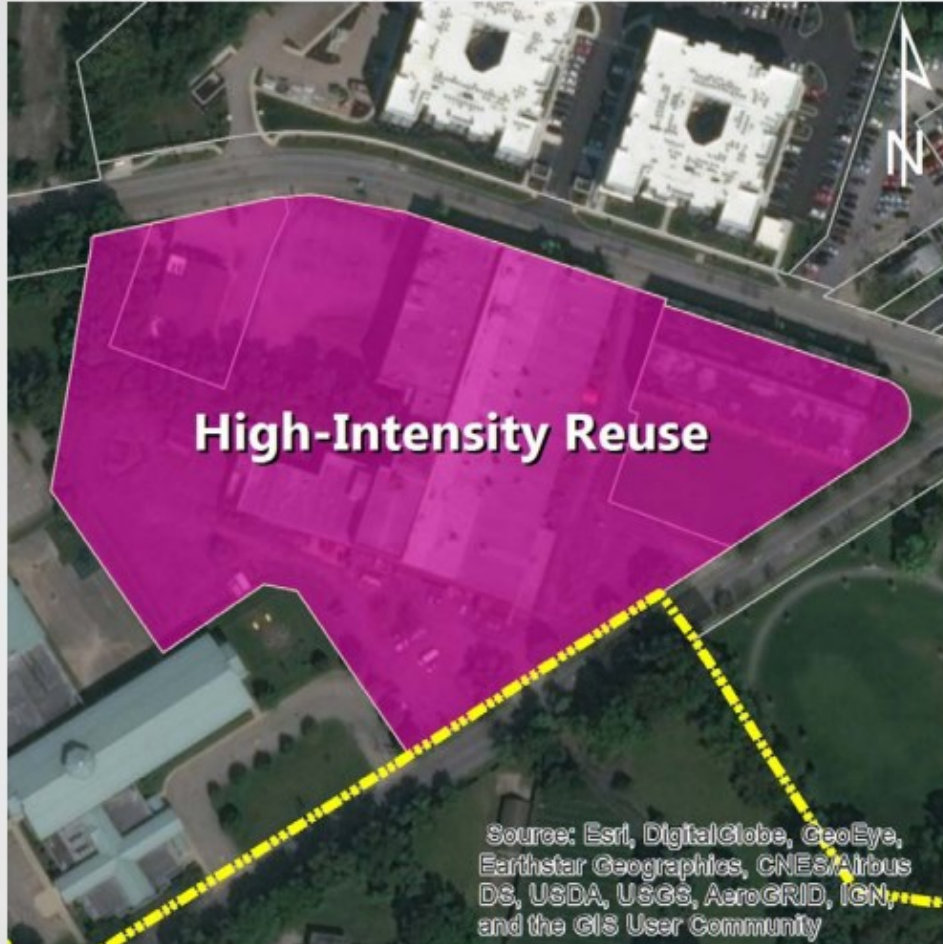
Material Loss

Construction for any purpose will require removing the interior racking, likely in its entirety, as well as the roof, which is supported by the racking. This would mean the loss of the roof and clerestory as well. During the construction there will be a point where the only remaining material will be brick walls. This stage of construction would likely be grounds for delisting from the National Register of Historic Places for loss of material integrity.

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Irish Hill Neighborhood Plan Update-2017



HIGH-INTENSITY REUSE SUB-AREA

The High-Intensity Reuse area within the proposed PDD is an area that is typified by large, commercial historic structures at the northwest corner of Payne Street and Lexington Road. Today reuse of these structures is occurring in differing degrees, with offices, an antique mall and a music venue standing out as successful examples of historic reuse. The goals of the PDD specified uses and standards for the Historic Reuse area are to:

- Allow a mix of uses, commercial and residential, as well as distilleries and breweries to address the historic use of the properties, that promote the renovation of the structures;
- Encourage commercial activity on the ground floors of these buildings to provide additional activity on the street; and
- Ensure that new development improves neighborhood walkability, connectivity and accessibility.

Leonard Engineering Report



Photo 22 – Large area of collapsed roof. Deteriorated column in upper level of wood framing with severe mold growth. A better section of the visible roof with severe water damage. No 4x4 dunnage framing is visible; therefore, the posts are laterally unstable side-to-side.

Leonard Engineering Report



Photo 15 – Collapsed beam and severe deterioration at the base of two (2) posts.

Leonard Engineering Report



Photo 12 – West side of the northwest corner of the building. Missing cap at top of wall, cracks in old pointing repairs, and bricks in the arch tops of the windows about to fall. White spots seen in the windows are areas of collapsed roof.

Leonard Engineering Report

RECOMMENDATIONS:

1. Based on the widespread collapse of the roof, the deteriorated condition of the existing interior framing, the missing dunnage framing throughout, and the continued movement and cracking of the exterior walls, it is my opinion that the building should be demolished.

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Commonwealth Roofing Photos













Original Use Impossible

430.5 Building location on property. The following *fire separation distances* shall be maintained between the barreled spirit storage buildings and any other buildings on the property and to the opposite edge of a street, alley or other public way or property line.

1. Non-sprinkled rack supported structures shall have a minimum separation distance of 200 feet.
2. Sprinkled pallet storage and sprinkled rack supported structures shall have a minimum separation distance of 100 feet.

100' Distance Crosses Several Property Lines

