

REVISIONS:

8/26/19
11/6/19

DRWN BY: *DLK/KAL*

DRAWING NAME:
18-23.DWG



LJB INC.
FORMERLY EVANS/GRIFFIN, INC.
Engineer & Land Surveyor
4010 Dupont Circle
Suite 478
Louisville, Ky 40207
(502) 889-9611
LJBinc.com

**1008 E. OAK STREET
LOUISVILLE, KY. 40204
DETAILED DISTRICT DEVELOPMENT PLAN**

DATE: 10/24/18

PROJECT NO.:
2018-23

Sheet **1** of **1**



SAFETY NOTE

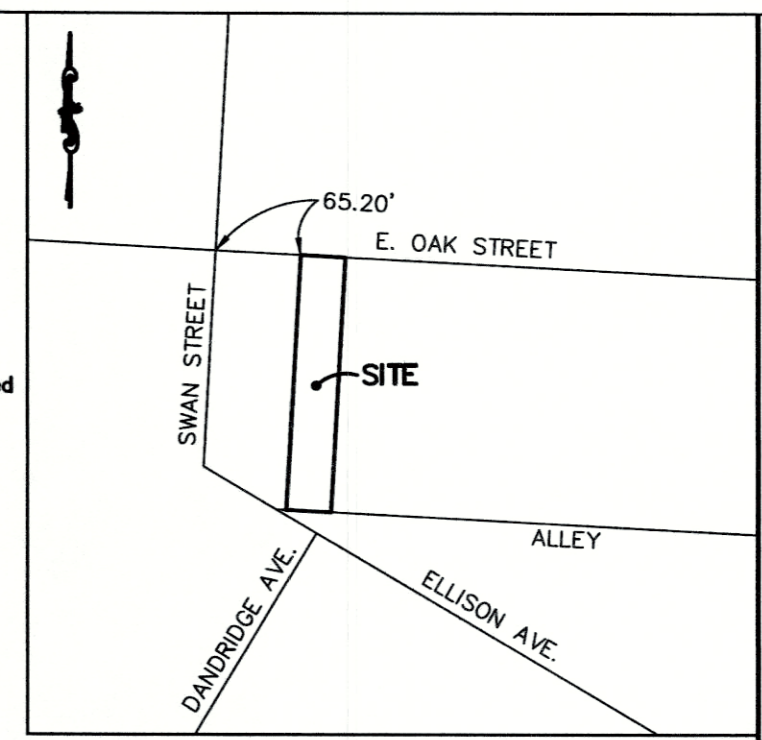
The Contractor shall comply with the U.S. Dept. of Labor Safety and Health regulations for construction promulgated under the Occupational Safety and Health Act of 1970 (P.L. 91-596) and under Section 107 of the Contract Work Hours and Safety Standards Act (P.L. 91-54). During all phases of this project (including excavations or trenching) the Contractor shall be responsible for safety at all times.

CSO FLOODPLAIN
EL. 455.9' (MSD)

UTILITY NOTE

ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE KENTUCKY UNDERGROUND UTILITY PROTECTION, INC. (PHONE: 1-800-732-6007) 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (i.e. cables, electrical wires, gas, and water lines). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

VICINITY MAP
NOT TO SCALE



WAIVER REQUESTED

- 1. WAIVER OF THE 15' PROPERTY PERIMETER LANDSCAPE BUFFER AREA (LBA) REQUIREMENTS ALONG THE EAST PROPERTY LINE ADJACENT TO RESIDENTIAL ZONE PER LDC SECTION 10.2.4

AREA OF DISTURBANCE = 325 SQ.FT. (0.007 ACRES)

EXISTING IMPERVIOUS	INCREASE IMPERVIOUS	TOTAL IMPERVIOUS
2,847 SQ.FT.	0 SQ.FT.	2,874 SQ.FT.

RECAPITULATION

1. EXISTING ZONING	R6
2. PROPOSED ZONING	C2
3. FORM DISTRICT	TRADITIONAL NEIGHBORHOOD
4. EXISTING USE	NON-CONFORMING BARBER SHOP
5. PROPOSED USE	BARBER SHOP/COFFEE SHOP
6. LAND AREA	0.086 AC. (3,746 SQ. FT.)
7. FAR	0.36
8. BUILDING AREA	
A. 1ST FLOOR - EXISTING	960 SQ.FT. (FOOTPRINT)
B. 2ND FLOOR - EXISTING	960 SQ.FT.
C. 1ST FLOOR - PROPOSED ADDITION	325 SQ.FT. (FOOTPRINT)
D. TOTAL	2,245 SQ.FT. (GROSS)
9. PARKING	
A. REQUIRED BARBER SHOP	510 SQ.FT.
MIN.	1/350 SQ.FT.
MAX.	1/100 SQ.FT.
MIN.	1 SPACE
MAX.	5 SPACES
COFFEE SHOP	1,735 SQ.FT.
MIN.	1/500 SQ.FT.
MAX.	1/100 SQ.FT.
MIN.	3 SPACES
MAX.	17 SPACES

LDC SECTION 9.1.3.F - OFF-STREET PARKING REDUCTIONS

- 9.1.3.F.1 - A TEN (10) PERCENT REDUCTION IN THE MINIMUM REQUIRED NUMBER OF PARKING SPACES SHALL APPLY TO ANY DEVELOPMENT WITHIN 200 FEET OF A DESIGNATED TRANSIT ROUTE.
- 9.1.3.F.2 - A TWENTY (20) PERCENT REDUCTION IN THE MINIMUM REQUIRED NUMBER OF PARKING SPACES SHALL APPLY TO ANY DEVELOPMENT THAT REHABILITATES A STRUCTURE THAT IS ELIGIBLE FOR OR CURRENTLY LISTED ON THE NATIONAL REGISTER FOR HISTORIC PLACES IN ACCORDANCE WITH THE SECRETARY OF THE INTERIOR STANDARDS FOR HISTORIC PRESERVATION, OR SUSTAINABLE PERMIT PROJECTS.

TOTAL MINIMUM PARKING SPACES REQUIRED = 4 SPACES
PARKING SPACE REDUCTION: (4 SPACES)(30%) = 1 SPACE
TOTAL MINIMUM PARKING SPACES REQUIRED AFTER REDUCTION = 3 SPACES

- B. PROVIDED (3 SPACES) 1 STREET SIDE SPACE & 2 SPACES IN REAR
- C. BICYCLE PARKING
REQUIRED 4 SHORT TERM SPACES & 2 LONG TERM SPACES
PROVIDED 4 SHORT TERM SPACES (ON-SITE AS SHOWN)
2 LONG TERM SPACES (INSIDE OF BUILDING)
- 10. VUA 440 SQ.FT.
- 11. ILA
A. REQUIRED (0 PER LDC 10.2.12 VUA UNDER 6,000 SQ.FT.)

TREE CANOPY REQUIREMENTS

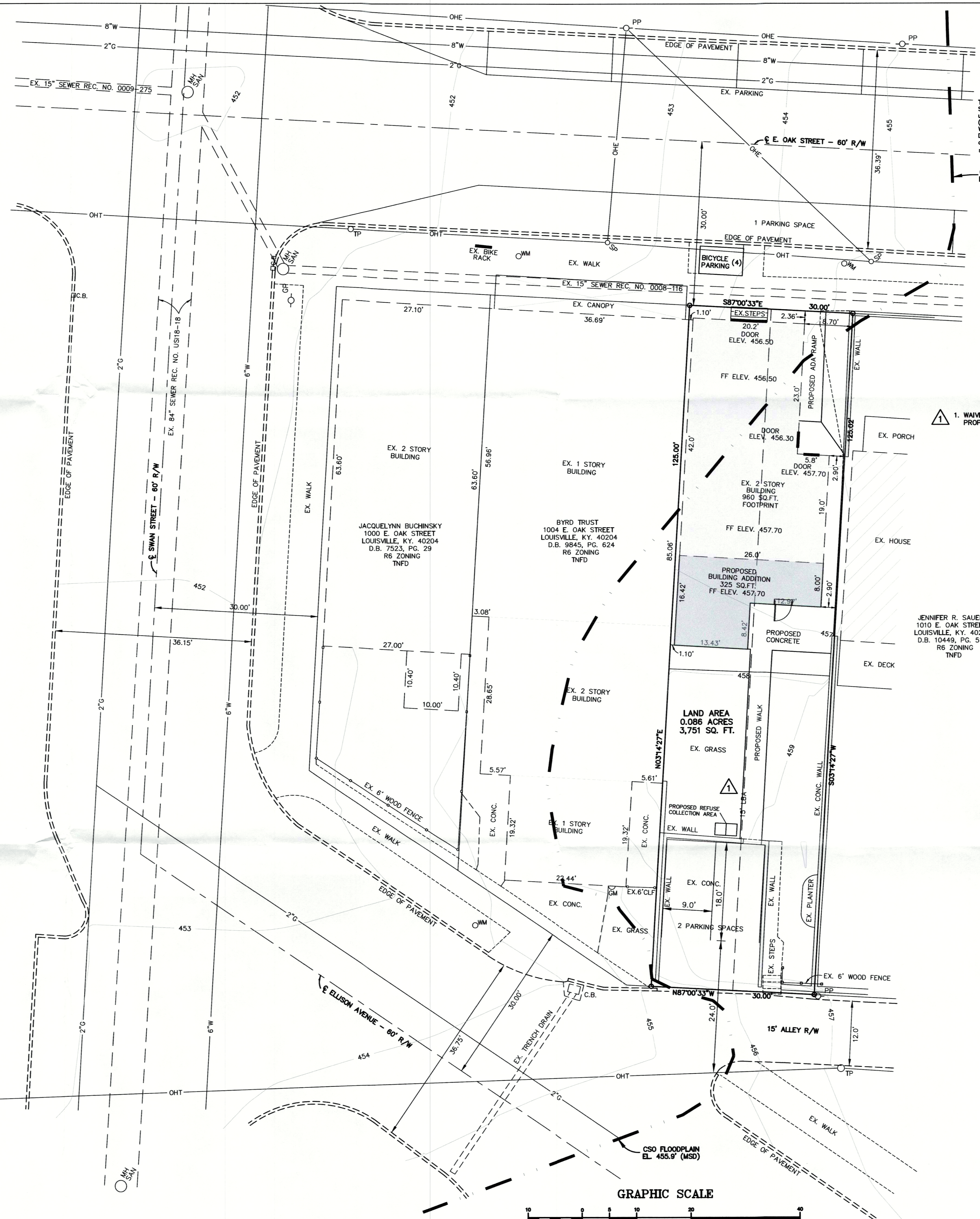
CLASS "A"
SITE AREA = 3,746 SQ.FT.
PRESERVED TREE CANOPY COVERAGE AREA REQUIRED = 5% (187 SQ.FT.)
33.8% BUILDING FOOTPRINT INCREASE = 1/2 TREE CANOPY REQUIRED
EXISTING TREE CANOPY PRESERVED = (3) EVERGREEN TREES
EXISTING DRIPLINE (3) EVERGREEN TREES = 190 SQ. FT.
NO NEW TREE CANOPY REQUIRED

OWNER

JOHN WEBB
1008 E. OAK STREET
LOUISVILLE, KY. 40204
D.B. 10726, PG. 81
PARCEL ID: 025F00020000

CASE#18ZONE1083

WM#



GENERAL NOTES

- SITE IS LOCATED IN COUNCIL DISTRICT 10 & LOUISVILLE FIRE PROTECTION DISTRICT #4
- NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN A FLOOD HAZARD AREA PER FEMA'S FIRM MAPPING 2111C0042E DATED DEC. 5, 2006.
- ALL SITE LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD AND AWAY FROM ALL ADJUTING RESIDENTIAL AREAS AND MEET LDC REQUIREMENTS.
- MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE PARTICULATE EMISSIONS FROM REACHING EXISTING ROADS AND NEIGHBORING PROPERTIES.
- EXISTING SIDEWALK RECONSTRUCTION AND REPAIRS SHALL BE REQUIRED AS NECESSARY, TO MEET CURRENT METRO PUBLIC WORKS STANDARDS AND SHALL BE INSPECTED PRIOR TO FINAL BOND RELEASE.

MSD NOTES

- CONSTRUCTION PLANS AND DOCUMENTS SHALL COMPLY WITH LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICTS DESIGN MANUAL AND STANDARD SPECIFICATIONS AND OTHER LOCAL STATE AND FEDERAL ORDINANCES.
- WASTEWATER: SANITARY SEWER WILL BE PROVIDED BY EX. PROPERTY SERVICE CONNECTION. FLOW WILL BE TREATED AT THE MORRIS FOREMAN WASTEWATER TREATMENT PLANT. CAPACITY CHARGE FEES TO BE CALCULATED.
- A PORTION OF THIS SITE IS LOCATED WITHIN THE COMBINED SEWER OVERFLOW FLOODPLAIN. LOWEST FINISHED FLOOR AND LOWEST MACHINERY TO BE DETERMINED PRIOR TO ISSUE OF BUILDING PERMITS.
- MSD SINGLE FAMILY, DEMOLITION, OR SMALL COMMERCIAL PERMIT REQUIRED PRIOR TO ISSUE OF BUILDING PERMITS.
- ALL RETAIL SHOPS MUST HAVE INDIVIDUAL CONNECTIONS PER MSD'S FATS, OIL, AND GREASE POLICY.

LEGEND

M.H.	EXISTING SEWER LINE AND MANHOLE
EX. 8" SEWER	EXISTING WATER VALVE
WV	EXISTING GUY WIRE
GUY POLE	EXISTING GUY POLE
C.C.B.	EXISTING CATCH BASIN
FI	FIRE HYDRANT
WM	WATER METER
SP	SERVICE POLE
*	EXISTING LIGHT POLE
PP	EXISTING POWER POLE
454	EXISTING CONTOUR LINE
+453.55	EXISTING SPOT ELEVATION
2"G	EXISTING GAS LINE WITH PIPE SIZE
6"W	EXISTING WATER LINE WITH PIPE SIZE
OHE	EXISTING OVERHEAD ELEC. WIRE
OHT	EXISTING OVERHEAD TELE. WIRE
[Outline]	EXISTING BUILDING FOOTPRINT
[Shaded]	PROPOSED BUILDING ADDITION FOOTPRINT

GRAPHIC SCALE

