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Side yard setback: 2' (Section 5.4.1.E.5)

Rear yard setback: 5' (Section 5.4.1.E.2)

Maximum height: 24' (Section 5.4.1.E.6) Definition of height (Section 5.1.7.J): In determining compliance with maximum building or structure heights established in this Code, height of principal structures shall be measured from grade at the front and street side of the building or structure to the highest point of the coping of a flat or mansard roof; or to the mean height level between eaves and ridge for gable, hip or gambrel roofs; or to the mean height level between highest and lowest portion of a rooftop parapet wall. In the Traditional Neighborhood, Traditional Marketplace Corridor and Traditional Workplace Form Districts, when proposed development entails change in grade in areas of existing development patterns, the height of a building or structure shall be measured from the mean elevation of the established grade of abutting parcels, excluding public or private rights-of-way, to ensure that the scale of the new structure(s) or building(s) is compatible with existing structure(s) or building(s). The height of accessory structures shall be measured in the same manner as principal structures, using the average grade at the wall of the structure closest to a property line. (Refer to Section 4.4.3.A.1 for measurement of fence height.)

Total lot area: 9,652 sq. ft.

Max Floor Area Ratio (.5 of lot area): 4,826 sq. ft. (Section 2.2.10)

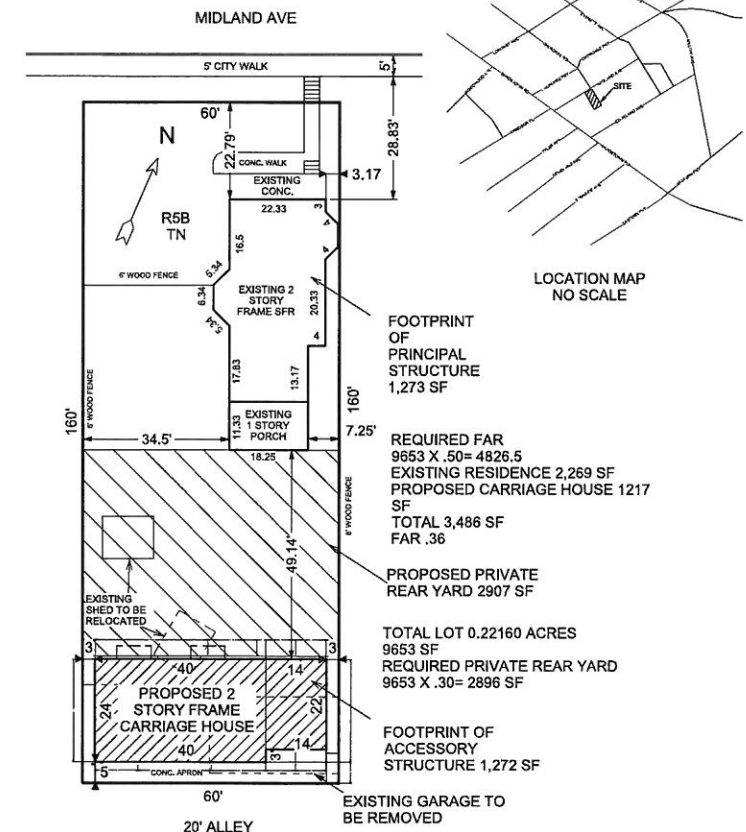
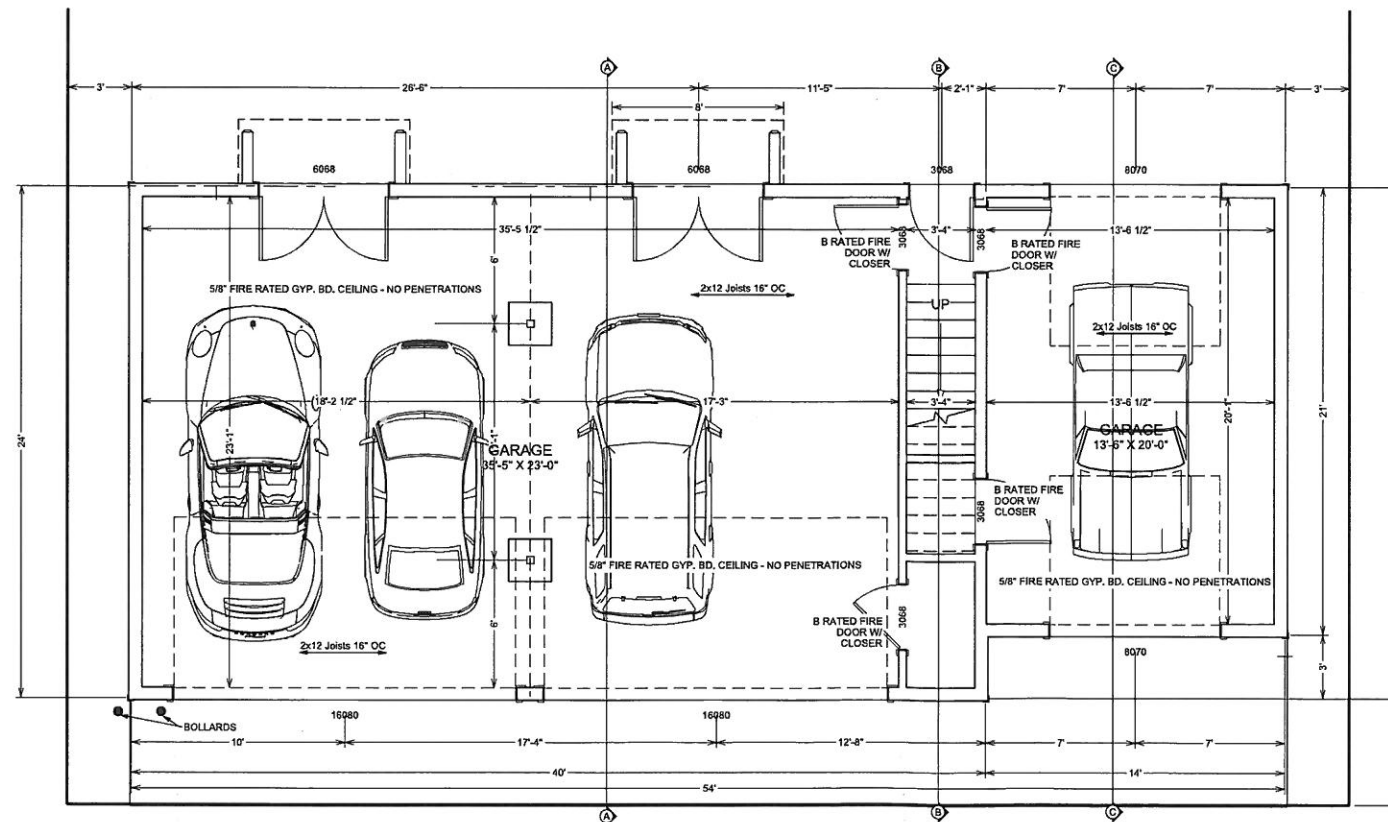
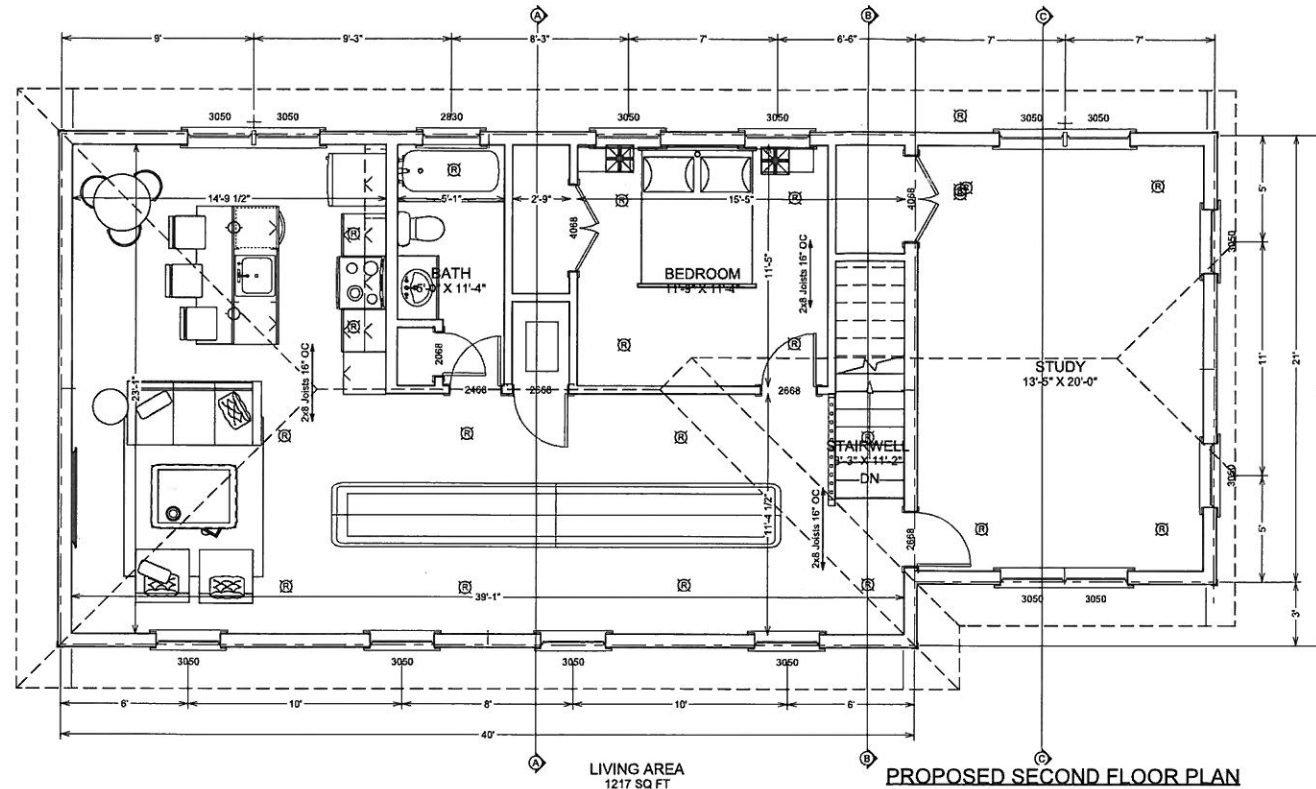
Required Private Yard Area (.3 of lot area): 2,896 sq. ft. (Section 5.4.1.D.2)

The accessory structure footprint cannot exceed the footprint of the primary structure (Section 4.3.6 of the LDC) without an approved waiver (Appendix 11A of the LDC)

R-5B zoning allows for 2 dwelling units (Section 2.2.10)

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Designer is retained solely for preparation of design concepts only and shall not be responsible for proper sizing or strength of structural components or the mechanical or electrical requirements of the structure.



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OWNER INFORMATION
JAMES CONTI III
2026 MIDLAND AVE
LOUISVILLE, KY 40204
513-765-9264
limconti3@gmail.com



Land Development Report	
July 30, 2018 2:59 PM	
About LDC	
Location	
Parcel ID:	015F00200000
Parcel LRSN:	00241
Address:	2026 MIDLAND AVE
Zoning:	R5B
Form District:	TRADITIONAL NEIGHBORHOOD
Plan Section #:	NONE
Proposed Subdivision Name:	NONE
Proposed Subdivision District #:	NONE
Current Subdivision Name:	NONE
Plan Book - Page:	NONE
Special Review Districts:	NONE
Overlay District:	NO
Historic Preservation District:	CHEROKEE TRIANGLE
National Register District:	CHEROKEE TRIANGLE
Urban Renewal:	NO
Enterprise Zone:	NO
System Development District:	NO
Historic Site:	YES
Environmental Constraints	
Flood Prone Area:	
FEMA Floodplain Review Zone:	NO
FEMA Floodway Review Zone:	NO
Local Regulatory Floodplain Zone or Combined Sewer Floodprone Area:	NO
Local Regulatory Conveyance Zone:	NO
FEMA FIRM Panel:	2111C0041E
Proposed Waterways	
Potential Wetland (Hydric Soil):	NO
Streams (Approximate):	NO
Surface Water (Approximate):	NO
Slopes & Soils	
Potential Steep Slope:	NO
Unstable Soil:	NO
Geology	
Known Tremor:	YES
Sewer & Drainage	
MSD Property Service Connection:	YES
Sewer Recapture Fee Area:	NO
Drainage Credit Program:	C10127 - Project(s) Value between \$ 64 - \$ 15
Services	
Municipality:	LOUISVILLE
Council District:	8
Fire Protection District:	LOUISVILLE #4
Urban Service District:	YES

CARRIAGE HOUSE 2026 MIDLAND AVE. LOUISVILLE, KY 40204

sheet
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CHARLES WILLIAMS DESIGN, INC.
1626 WINDSOR PLACE
LOUISVILLE, KY 40204
502-459-1810
charliewilliamsdesign@gmail.com

date
8/13/2018

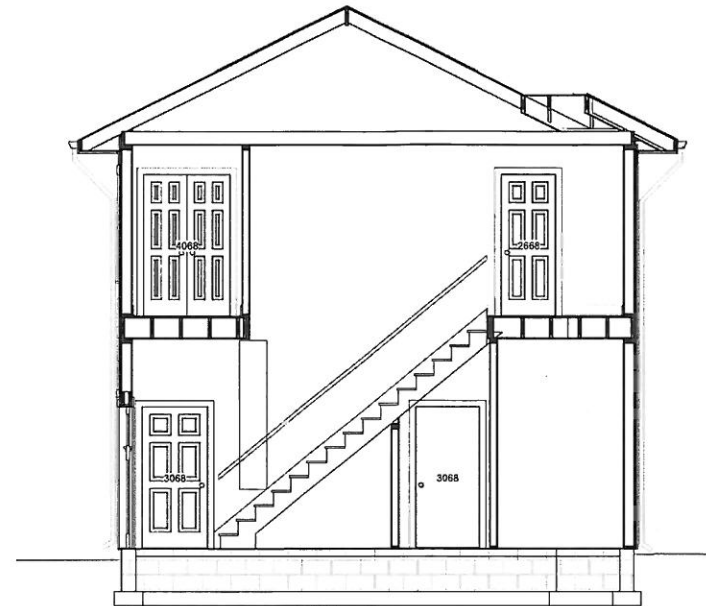


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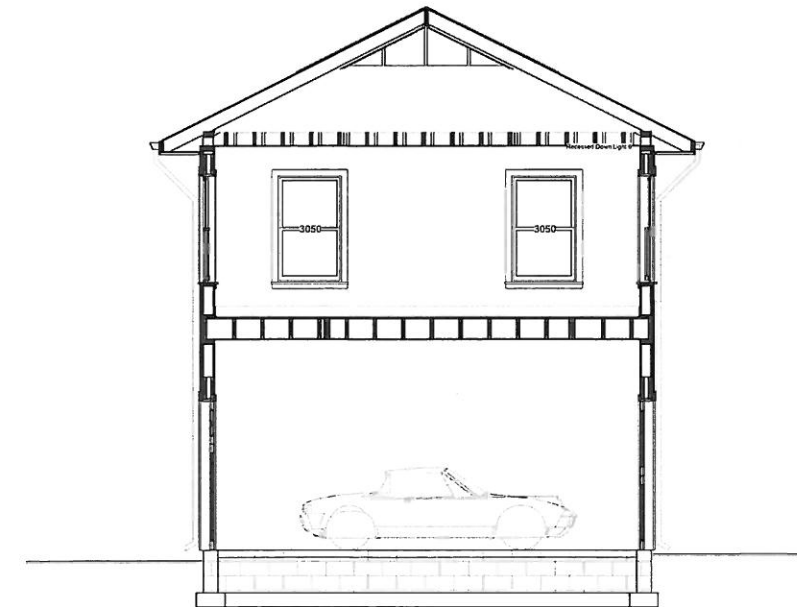
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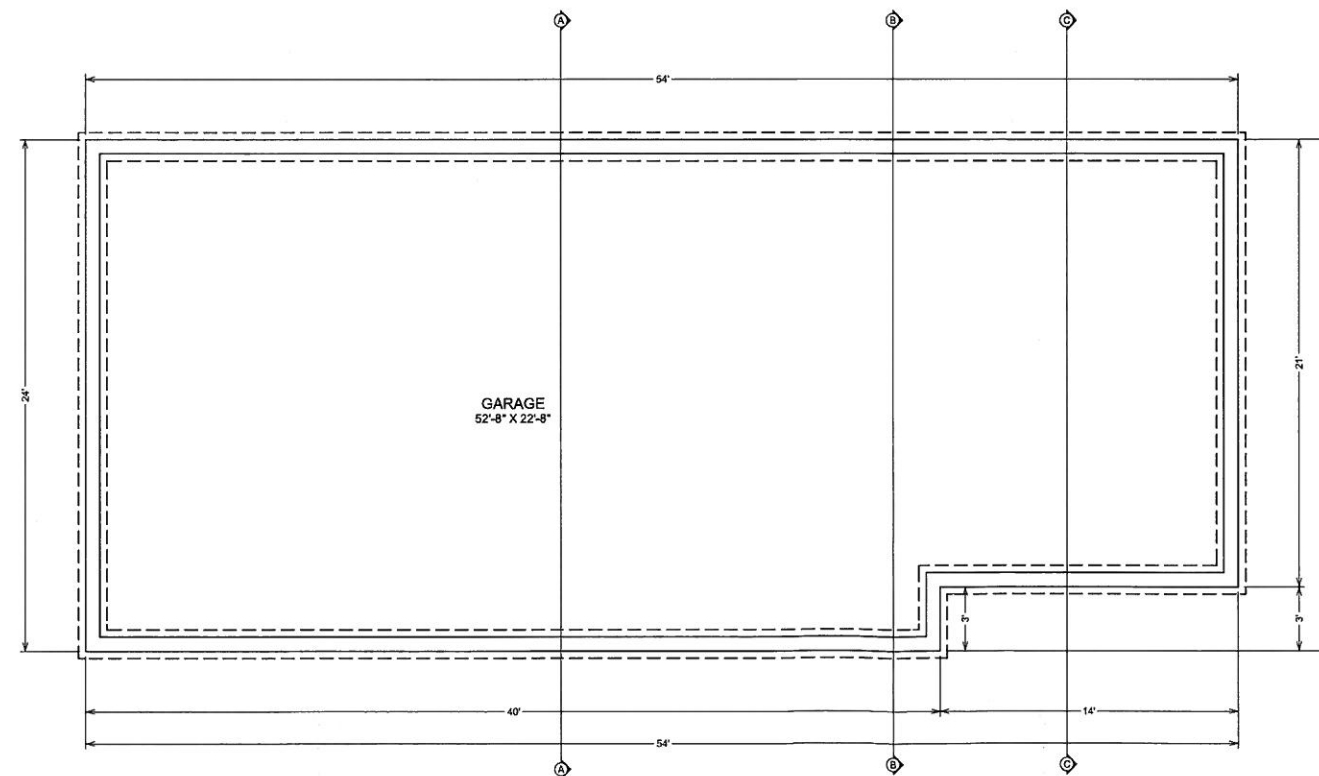
PROPOSED SECTION A-A
SCALE 1/4"=1'-0"



PROPOSED SECTION B-B
SCALE 1/4"=1'-0"



PROPOSED SECTION C-C
SCALE 1/4"=1'-0"



PROPOSED FOUNDATION PLAN
SCALE 1/4"=1'-0"

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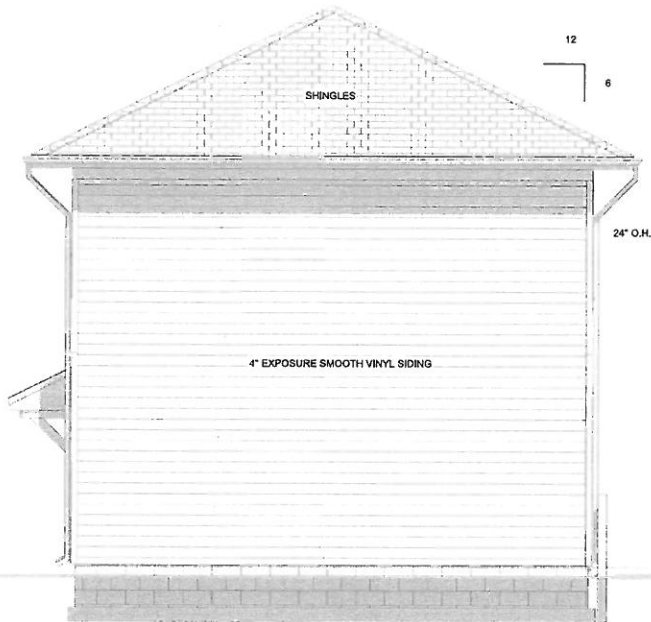
PROPOSED NORTH SIDE ELEVATION

SCALE 1/4"=1'-0"

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PROPOSED WEST SIDE ELEVATION

SCALE 1/4"=1'-0"



PROPOSED EAST SIDE ELEVATION

SCALE 1/4"=1'-0"



PROPOSED SOUTH SIDE ELEVATION

SCALE 1/4"=1'-0"

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