

20-CUP-0087

1400 Southwestern Parkway



**Louisville Metro Board of Zoning Adjustment
Public Hearing**

**Jon E. Crumbie, Planning & Design Coordinator
September 28, 2020**

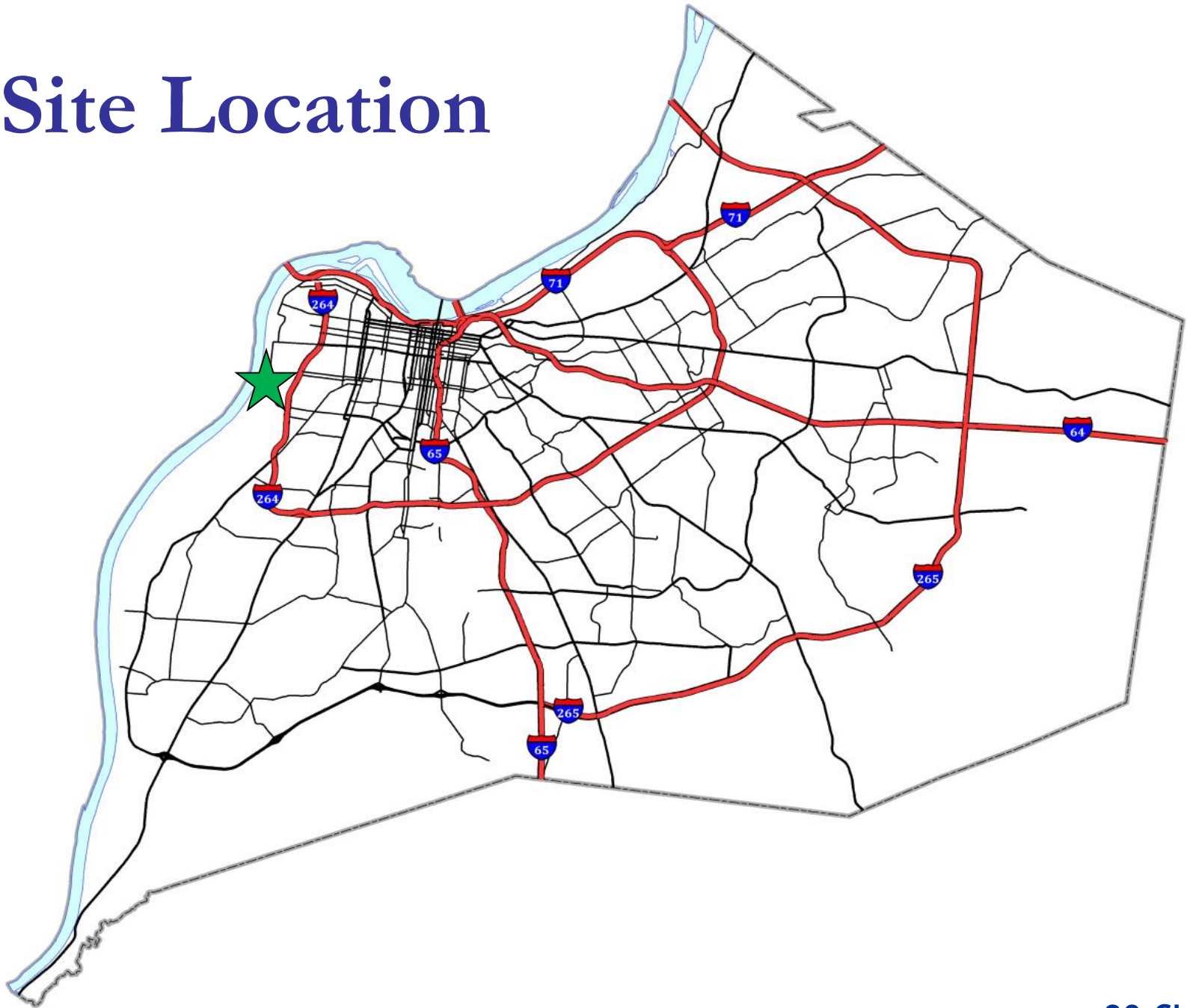
Request(s)

- Conditional Use Permit to allow a solid waste management facility

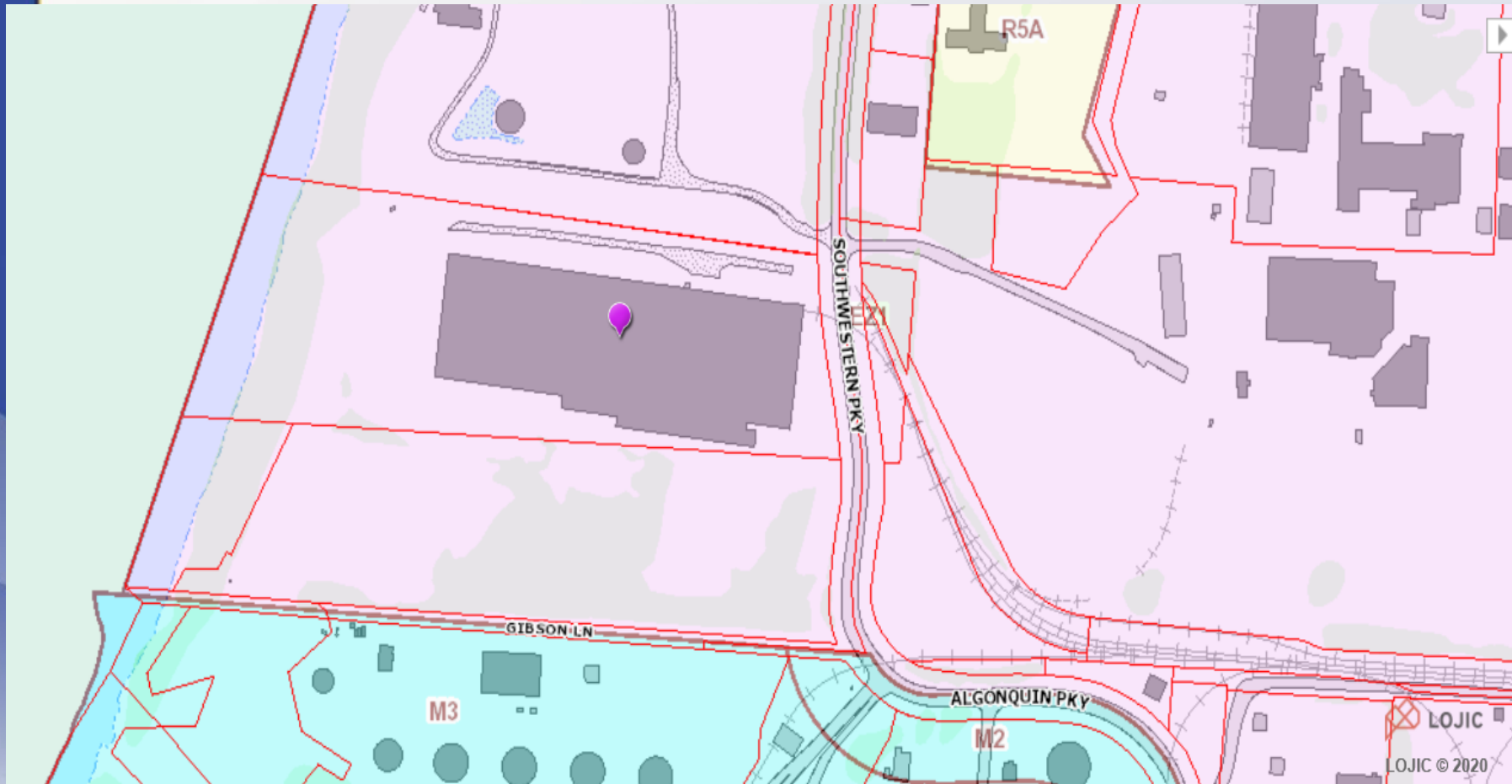
Case Summary/Background

- The applicant is proposing to use the existing 1-story, 329,145 square feet building for an indoor metal, solid waste recycling facility. The existing structure will remain, so the footprint and height will not change from what currently exists.

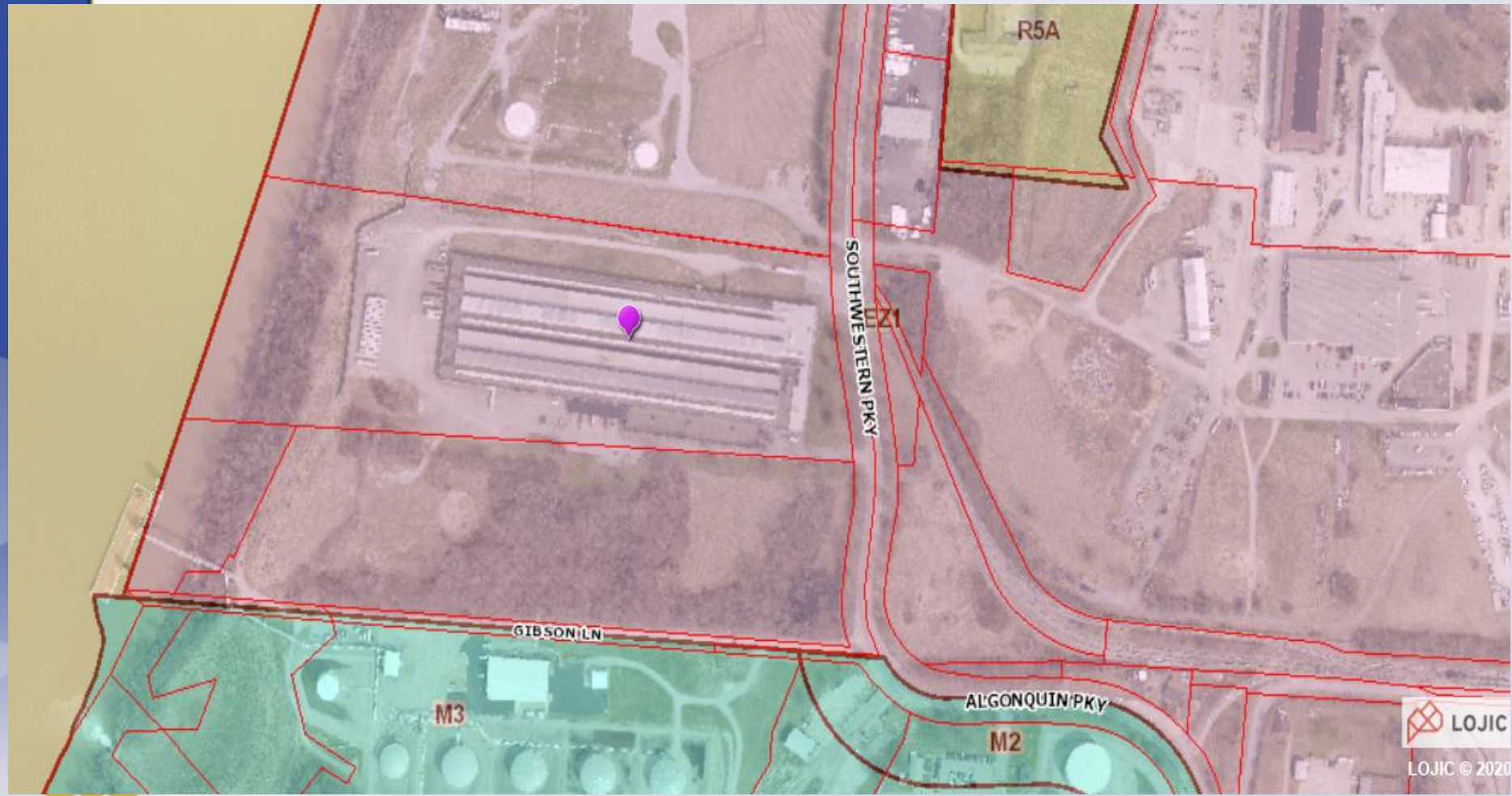
Site Location



Zoning/Form Districts

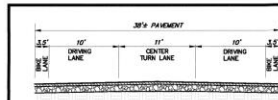


Aerial Photo/Land Use

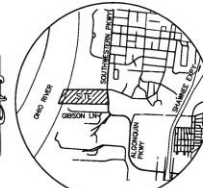




Site Plan



**SOUTHWESTERN PARKWAY
EXISTING TRAVEL LANES**
NO SCALE



LOCATION MAP
NO SCALE

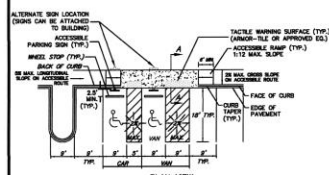
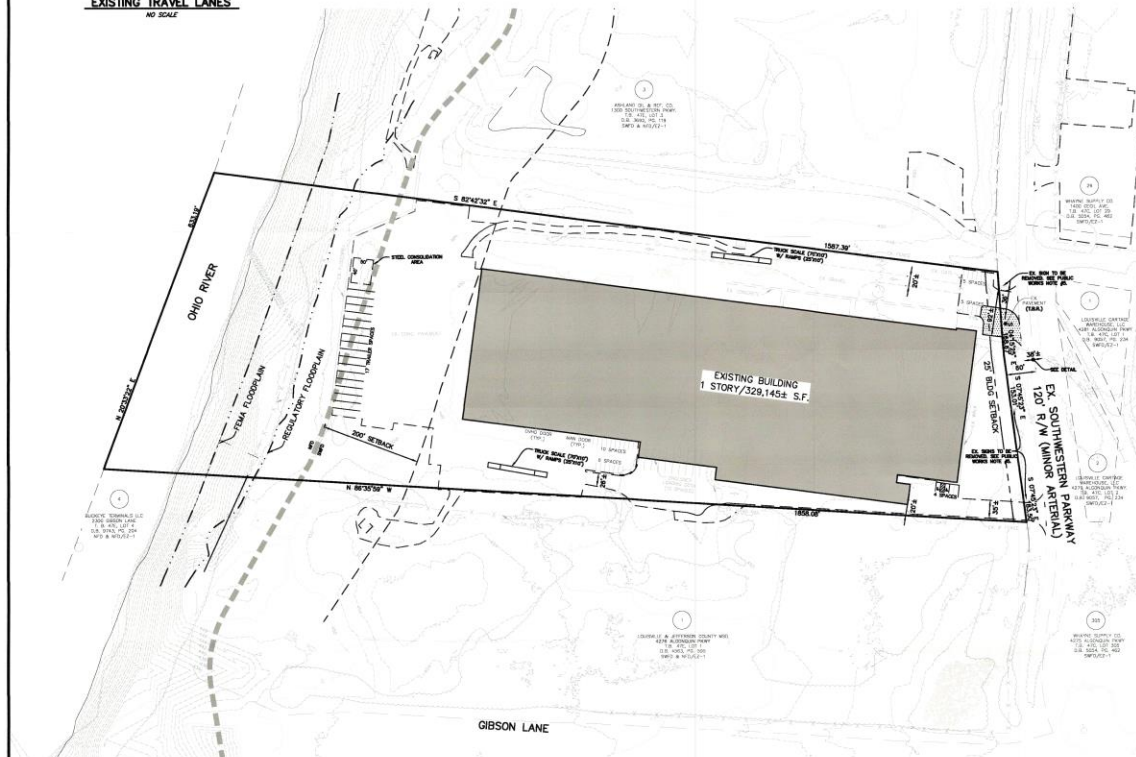


LEGEND

SITE DATA	
EXISTING FORM DISTRICT	SMD & NFD
EXISTING CONTOUR	WAREHOUSE
EXISTING LAND USE	21.48 AC.
PROPOSED LAND USE	30.000 AC. S.F.
TOTAL LAND AREA	28.518 AC. S.F.
BUILDING AREA	32,914 S.F.
OFFICE	40'
WAREHOUSE	40'
BUILDING HEIGHT	MAX. ALLOWED 40' (40' IN TRANSITION ZONE)
FLOOR AREA RATIO (MAX. ALLOWED 0.0)	0.35
PARKING REQUIRED	31 WAREHOUSE EMPLOYEES
	MINIMUM (1 SPACE/3.5 EMPLOYEES) 21 SPACES
	MAXIMUM (1 SPACE/1 EMPLOYEES) 31 SPACES
	CAR PARKING
	(INCLUDES 2 ACCESSIBLE SPACES) 30 SPACES
	WATER TRUCKER PARKING
	(INCLUDES 2 ACCESSIBLE SPACES) 17 SPACES
	BIKEWAY PARKING REQUIRED/PROPOSED
	LONG TERM (PROVIDED IN BUILDING)
	2 SPACES

METROPOLITAN AREA	
EXISTING METROPOLITAN AREA	568,723 S.F.
PROPOSED METROPOLITAN AREA	2,008 S.F.
NET METROPOLITAN AREA	566,715 S.F.

PRELIMINARY APPROVAL
Condition of Approval: Subject to the
Terms and Conditions of the pending
Development Agreement between MSO
and the City/County/Developer
Wade & Sons
Development Review
Date



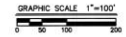
TYPICAL ACCESSIBLE PARKING SPACES
NO SCALE

- GENERAL NOTES:**
1. THE DEVELOPER IS RESPONSIBLE FOR ANY UTILITY RELOCATION ON THE PROPERTY.
 2. ALL SIDEWALK RAMP SHALL CONFORM TO A.D.A. STANDARD SPECIFICATION, THE STANDARD DRAWING FOR SIDEWALKS AND PER SIDEWALK STANDARDS.
 3. CONSTRUCTION PLANS, ROAD AND RAMP ARE REQUIRED BY METRO PUBLIC WORKS PRIOR TO CONSTRUCTION. PLAN APPROVAL.
 4. DEVELOPER AGREES TO REMAIN RESPONSIBLE FOR ANY EXISTING SIDEWALK FOR THIS DEVELOPMENT OUT OF THE RIGHT OF WAY OF SOUTHWESTERN PARKWAY.
 5. ALL SIDEWALK AND SIDEWALK INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.
 6. ALL SIDEWALK AND SIDEWALK INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.
 7. ALL SIDEWALK AND SIDEWALK INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.
 8. ALL SIDEWALK AND SIDEWALK INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.
 9. ALL SIDEWALK AND SIDEWALK INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.

- PUBLIC WORKS NOTES:**
1. THE DEVELOPER IS RESPONSIBLE FOR ANY UTILITY RELOCATION ON THE PROPERTY.
 2. ALL SIDEWALK RAMP SHALL CONFORM TO A.D.A. STANDARD SPECIFICATION, THE STANDARD DRAWING FOR SIDEWALKS AND PER SIDEWALK STANDARDS.
 3. CONSTRUCTION PLANS, ROAD AND RAMP ARE REQUIRED BY METRO PUBLIC WORKS PRIOR TO CONSTRUCTION. PLAN APPROVAL.
 4. DEVELOPER AGREES TO REMAIN RESPONSIBLE FOR ANY EXISTING SIDEWALK FOR THIS DEVELOPMENT OUT OF THE RIGHT OF WAY OF SOUTHWESTERN PARKWAY.
 5. ALL SIDEWALK AND SIDEWALK INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.
 6. ALL SIDEWALK AND SIDEWALK INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.
 7. ALL SIDEWALK AND SIDEWALK INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.
 8. ALL SIDEWALK AND SIDEWALK INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.
 9. ALL SIDEWALK AND SIDEWALK INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.

- MSO NOTES:**
1. THE DEVELOPER IS RESPONSIBLE FOR ANY UTILITY RELOCATION ON THE PROPERTY.
 2. ALL SIDEWALK RAMP SHALL CONFORM TO A.D.A. STANDARD SPECIFICATION, THE STANDARD DRAWING FOR SIDEWALKS AND PER SIDEWALK STANDARDS.
 3. CONSTRUCTION PLANS, ROAD AND RAMP ARE REQUIRED BY METRO PUBLIC WORKS PRIOR TO CONSTRUCTION. PLAN APPROVAL.
 4. DEVELOPER AGREES TO REMAIN RESPONSIBLE FOR ANY EXISTING SIDEWALK FOR THIS DEVELOPMENT OUT OF THE RIGHT OF WAY OF SOUTHWESTERN PARKWAY.
 5. ALL SIDEWALK AND SIDEWALK INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.
 6. ALL SIDEWALK AND SIDEWALK INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.
 7. ALL SIDEWALK AND SIDEWALK INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.
 8. ALL SIDEWALK AND SIDEWALK INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.
 9. ALL SIDEWALK AND SIDEWALK INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.

PRELIMINARY APPROVAL
Condition of Approval: Subject to the
Terms and Conditions of the pending
Development Agreement between MSO
and the City/County/Developer
Wade & Sons
Development Review
Date



CASE #20-CUP-0087
RELATED CASE #20-CUPA-0080
MSD WM #10613

20-CUP-0087

MINDEL SCOTT
ENGINEERING • PLANNING • LANDSCAPE ARCHITECTURE
1325 S. 15TH ST. • LOUISVILLE, KY 40203

DEVELOPER
REPAK RECYCLING
P.O. BOX 19895
LOUISVILLE, KY 40259

OWNER
LOUISVILLE CARTAGE
WAREHOUSE LLC
P.O. BOX 18219
LOUISVILLE, KY 40256

CONDITIONAL USE PERMIT PLAN
REPAK RECYCLING
1400 SOUTHWESTERN PARKWAY
LOUISVILLE, KY 40211
TAX BLOCK 47E, LOT 2
DEED BOOK 9057, PAGE 234

REVISION	DATE	BY	APP'D
1/1/2018	1/1/2018	Wade & Sons	Wade & Sons

Vertical Scale: N/A
Horizontal Scale: 1"=100'
Date: 6/22/20
Job Number: 5685
Sheet
1
of 1

Existing Building



Driveway to the Rear



South Side of Structure



Across the Street



Staff Findings

- There are five listed requirements, and four will be met. The applicant will be asking for relief for item B. Based upon the information in the staff report and the testimony and evidence provided at the public hearing, the Board of Zoning Adjustment must determine if the proposal meets the standards established in the LDC for a Conditional Use Permit.

Required Actions

Approve or Deny:

- Conditional Use Permit to allow a solid waste management facility