

Case No. 15DEVPLAN1176

1509 Story Ave



**Louisville Metro Board of Zoning Adjustment
Public Hearing**

**Laura Mattingly-Humphrey, Planner I
December 21, 2015**

Request

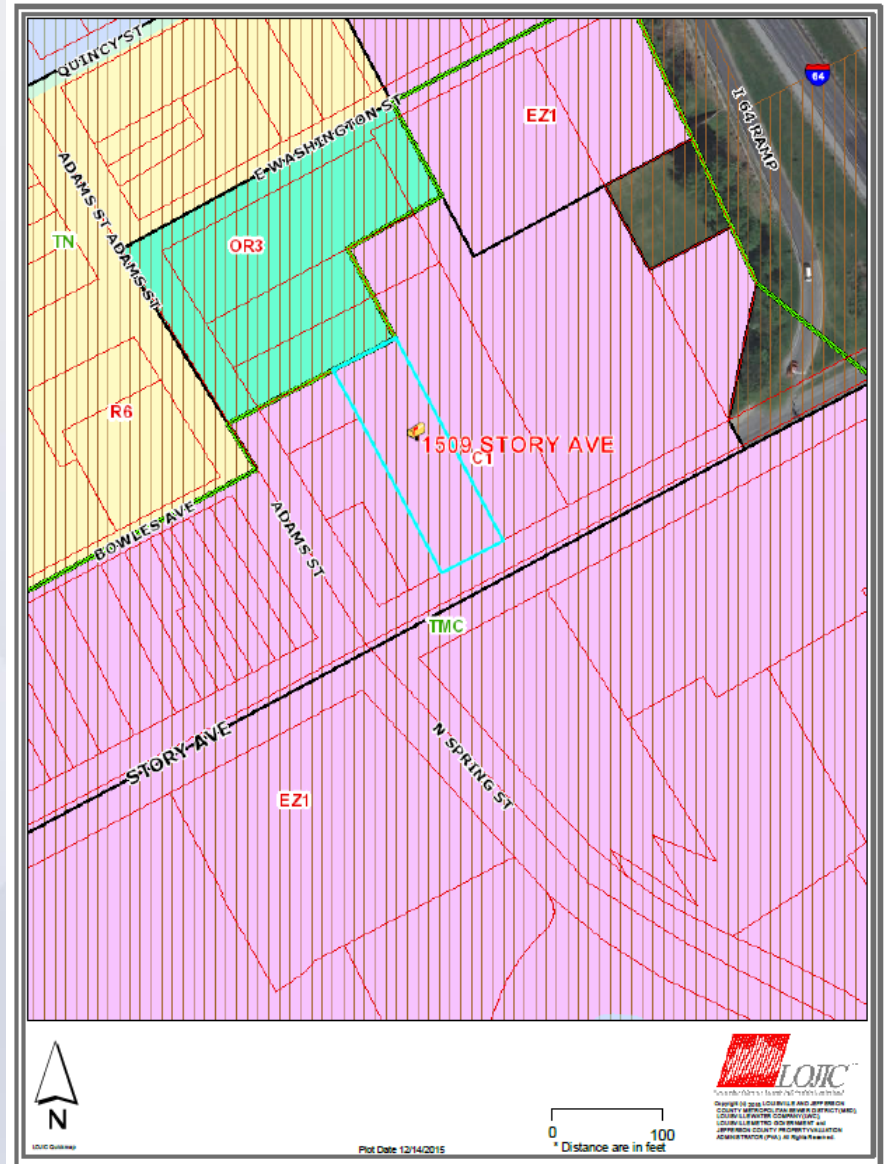
- Variance from Section 5.2.3.D.3 to exceed 15' maximum front setback for office addition.

Case Summary / Background

- The subject site is located within the Butchertown Historic Preservation District and project has received Landmarks approval.
- Proposed rear 2,761 square foot addition to the existing 1,141 square foot building for additional office space.
- 16 feet of additional frontage to be added at a setback of 153' 2" for a total variance request of 138' 2"

Zoning

- Subject Property:
 - Existing: C-1, TMC
 - Proposed: C-1, TMC
- Adjacent Properties:
 - North: OR-3, TN
 - South: C-1, TMC
 - East: C-1, TMC
 - West: C-1, TMC



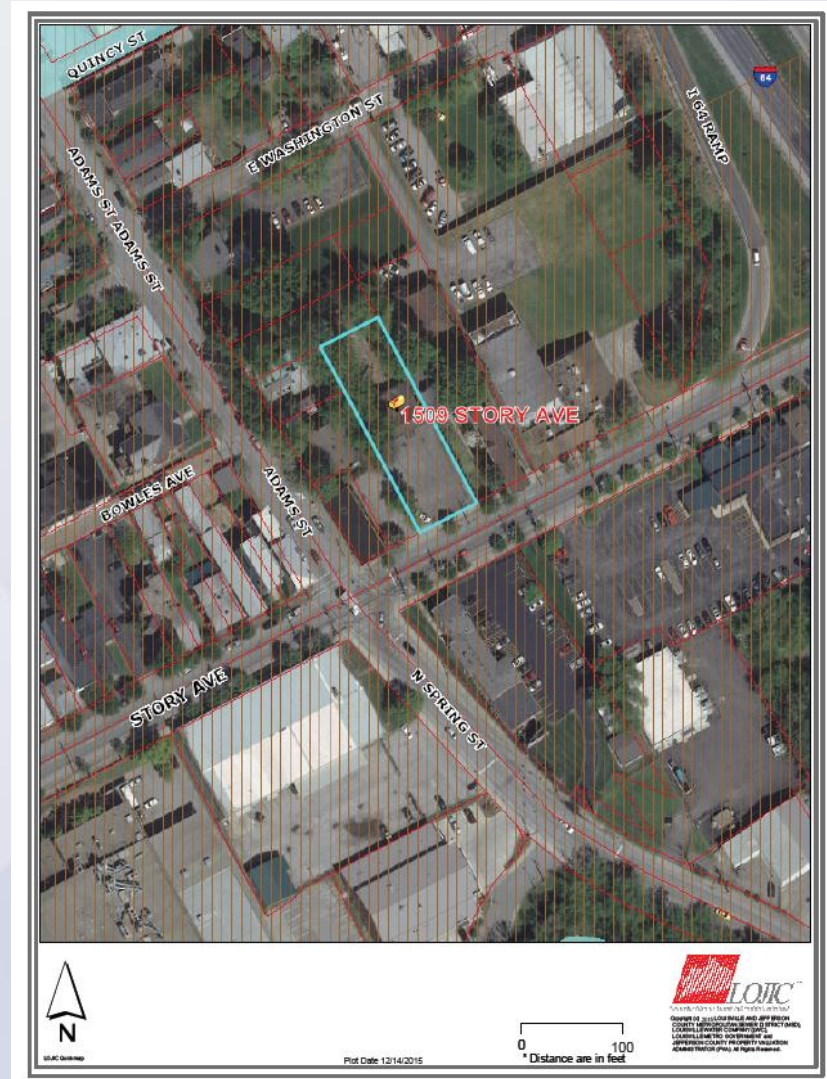
Aerial Photo/Land Use

- Subject Property:

- Existing: Vacant
- Proposed: Office

- Adjacent Properties:

- North: Single-family Residential
- South: Office
- East: Office
- West: Office



View from Story Ave



White Clay on West Side



Rear of Office



12/11/2015 05:41

View of Backyard from West



PLANT LIST	SYMBOL	LATIN NAME	COMMON NAME	QTY.	SIZE	NOTES
TREES						
AC		AVELANCOEN CANADENSIS	BERRY/CBERRY	2	2" CAL	ONE SINGLE TRUNK
OP		DIQUISIA PHYLLOS	WILLOW OAK	3	2" CAL	ONE
SHRUBS & GRASSES						
DOV		SEISS GREEN VELVET	GREEN VELVET DONNADO	4	18" TALL	ONE
TR		TAXUS MCDONALDI	HEDGE YEW	22	36" TALL	ONE
POSSIBLE			GOOD LAWN AREA			

GENERAL NOTE:
 ALL NOTES ON THESE PLANS ARE APPROXIMATE. THE INDIVIDUAL COUNTY AGENTS ARE NOT BOUND BY THE CONTRACTOR OR THE CONTRACTOR'S AGENT. NOTIFY THE STATE INSPECTOR GENERAL (800-368-8171) 1001 1988 W. MAIN ST. (502-745-4301) OR LOCAL OR (502) 260-2422 FOR ANY QUESTIONS. BE AWARE, WE MAY CONSIDER YOU THE PROJECT. THIS DESIGN WAS DEVELOPED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (E.G. CABLE, ELECTRIC, GAS, AND WATER) WHEN CONTACTING THE INDUSTRY BUT LOCAL GOVERNMENT AGENCIES THAT THE WORK TO BE DONE IS FOR A REPAIRED AND SIMILAR OR SIMILAR FACILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND TO VERIFY THE PLANS IN THE INDIVIDUAL SPECIFICATIONS AND OTHER REQUIREMENTS.



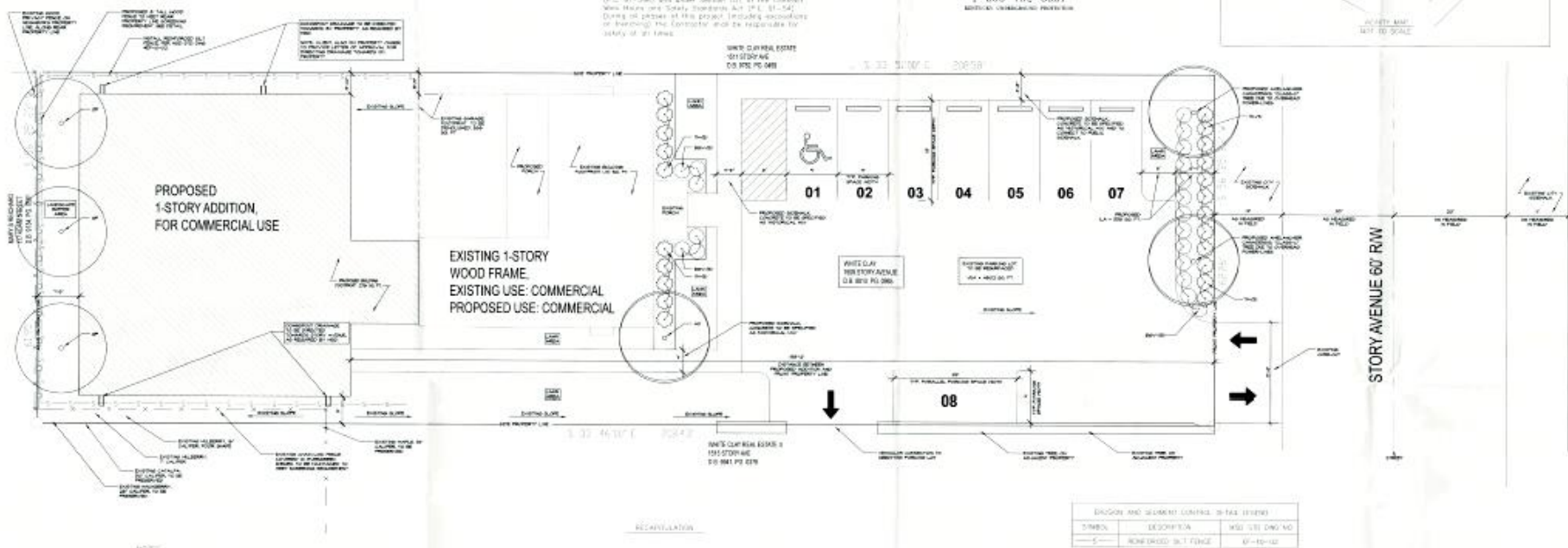
CALL 2 WORKING DAYS BEFORE YOU DIG!!!

1-800-752-6007
 MISSOURI COMMERCIAL PROFESSIONALS



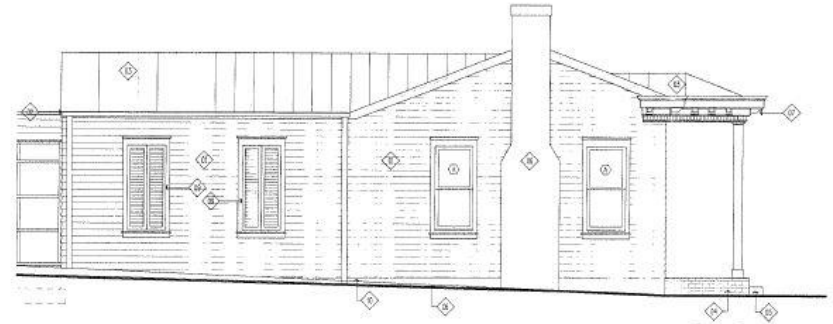
SAFETY NOTE:

The Contractor shall comply with the U.S. Dept. of Labor Safety and Health regulations for construction sites. Notify the Occupational Safety and Health Dept. at 202-201-3333 or 800-368-5868. Also, the Contractor shall comply with the Missouri Safety Standards Act (M.S.S.A.) 201-3333. During the course of this project, including excavation or trenching, the Contractor shall be responsible for safety of all trees.





02
A3.0 SOUTH PROPOSED ELEVATION
SCALE: 1/4"=1'-0"

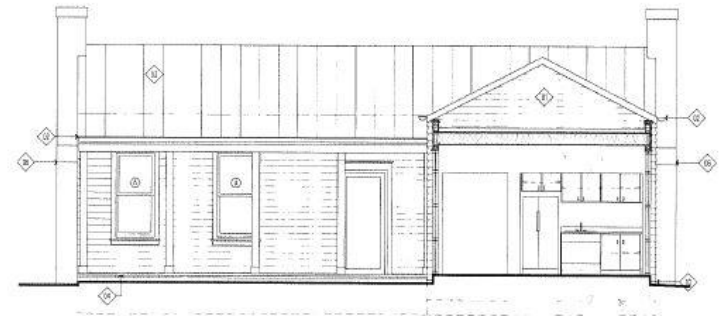


01
A3.0 WEST PROPOSED ELEVATION
SCALE: 1/4"=1'-0"

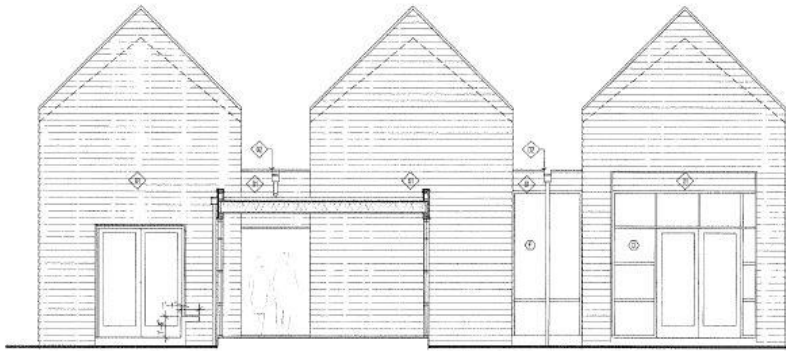
KEYNOTES

NOTE: ALL KEY NOTES UNLESS NOTED OTHERWISE

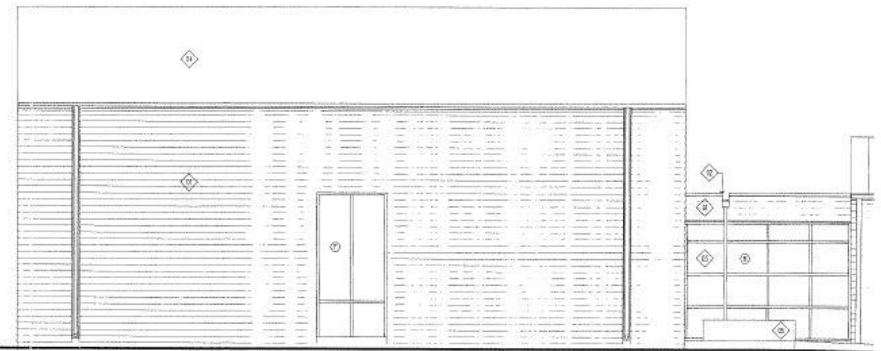
- ① 3/8" HARDY, HARD PLANK, SMOOTH FINISH, 5' 10" EXPOSURE
- ② GALVANIZED 12 ROLLS GUTTER AND DOWNSPOUTS
- ③ METAL BALES, VERTICAL BEAM, FLAT FIN, 18" COVERAGE, COLOR: GALVALUME, AND OR EQUAL
- ④ BRICK STOCKBRIDGE FLOOR AND SILL
- ⑤ Limestone STEP
- ⑥ BRICK PATIO FINISH TO MATCH ADJACENT FINISH
- ⑦ EXISTING MISSING TRIM TO BE REFINISHED AND OR REPLACED AS DRAWN
- ⑧ NEW KANGAROO EQUAL STEREO SCENIC CURTAIN WALL, BLACK FINISH
- ⑨ NEW SHUTTER IN FULL SIZE PLAIN SHT. ADD
- ⑩ COMPOSITE DECK CAP, FLASH, PAINT



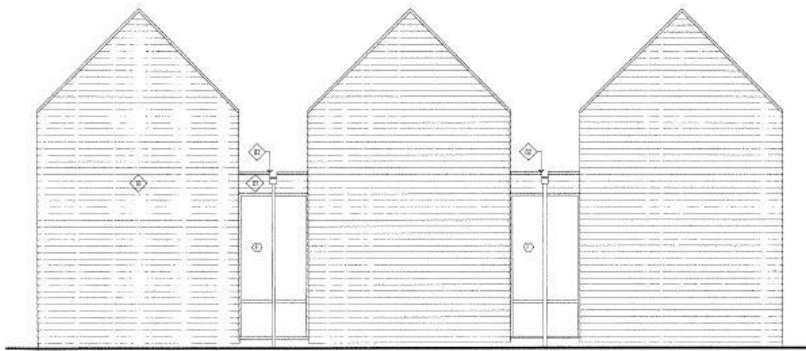
03
A3.0 NORTH PROPOSED ELEVATION
SCALE: 1/4"=1'-0"



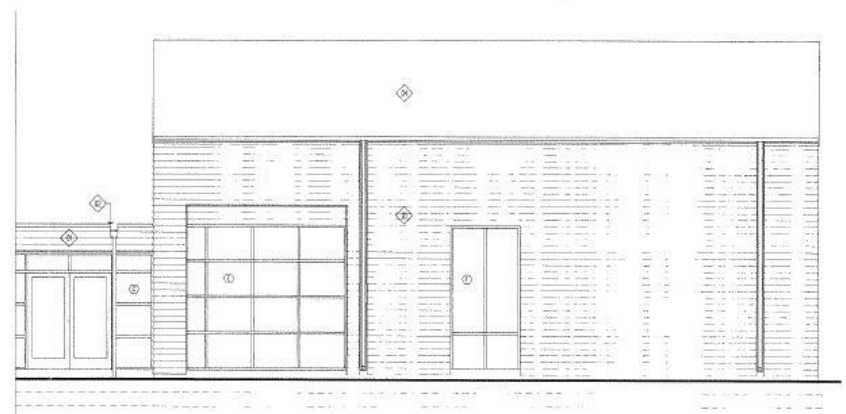
02
A3.1
SOUTH
PROPOSED ELEVATION
SCALE: 1/4"=1'-0"



01
A3.1
WEST
PROPOSED ELEVATION
SCALE: 1/4"=1'-0"



03
A3.1
NORTH
PROPOSED ELEVATION
SCALE: 1/4"=1'-0"



03
A3.1
EAST
PROPOSED ELEVATION
SCALE: 1/4"=1'-0"

Applicable Plans & Policies

- Land Development Code

Technical Review

- No outstanding items

Staff Analysis and Conclusions

- Based upon the information in the staff report, the testimony and evidence provided at the public hearing, the Board of Zoning Adjustment must determine if the proposal meets the standards for granting a variance as established in the Land Development Code.

Required Actions

- APPROVE or DENY the Variance from section 5.2.3.D.3 of the Development Code to allow proposed rear office addition to exceed the maximum 15' front setback.