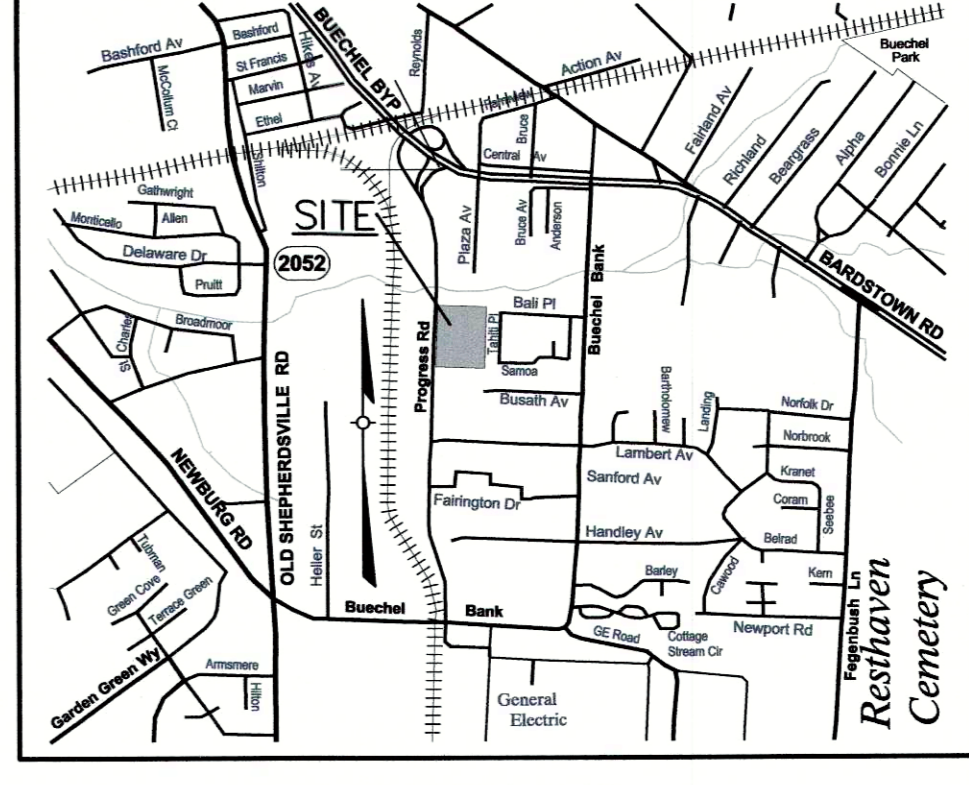


CONDITIONAL USE PERMIT

1. A CONDITIONAL USE PERMIT IS REQUESTED FROM LOUISVILLE METRO LDC SECTION 4.2.12 FOR CAMPING AREAS AND RECREATIONAL VEHICLE PARKS.

VARIANCE REQUEST

1. A VARIANCE IS REQUESTED FROM THE LOUISVILLE METRO LAND DEVELOPMENT CODE, CHAPTER 5, PART 3, TABLE 5.3.2. DIMENSIONAL STANDARDS: NON-RESIDENTIAL USES: TO EXCEED THE MAXIMUM FRONT SETBACK OF 80'.



LOCATION MAP NOT TO SCALE

PROJECT DATA

| | |
|-------------------------------------|---|
| TOTAL SITE AREA | = 12.11± AC. (527,512 S.F.) |
| EXISTING ZONING | = R-4 |
| FORM DISTRICT | = NEIGHBORHOOD |
| PROPOSED ZONING | = C-2 |
| EXISTING USE | = VACANT/SINGLE FAMILY RESIDENTIAL |
| PROPOSED USE | = AIRSTREAM HOTEL & EVENT SPACE |
| BUILDING AREA | |
| EX. HOUSE 1 | = 1,344 S.F. |
| EX. HOUSE 2 | = 1,300 S.F. |
| (3) EX. AIRSTREAM TRAILERS | = 600 S.F. |
| (16) PROP. RENTAL UNITS | = 3,116 S.F. |
| PROPOSED BATH HOUSES | = 400 S.F. |
| EVENT BUILDING | = 6,000 S.F. |
| TOTAL BUILDING AREA | = 12,760 S.F. |
| BUILDING HEIGHT | = NOT TO EXCEED ONE STORY (30' MAX. ALLOWED) |
| PARKING REQUIRED | = MAX. 42 SPACES |
| HOTEL: 1SP/2SLEEPING RM./1.5SP/2BRM | = 28 SPACES |
| REC. HALL: 1SP/100S.F./1SP/50S.F. | = 60 SPACES |
| TOTAL PARKING REQUIRED | = 88 SPACES |
| TOTAL PARKING PROVIDED | = 157 (7 ACCESSIBLE SPACES INCLUDED) |
| BICYCLE PARKING REQUIRED/PROVIDED | = 4 SHORT TERM/2 LONG TERM (PROVIDED INDOORS) |
| TOTAL VEHICULAR USE AREA | = 80,536 S.F. |
| INTERIOR LANDSCAPE AREA REQUIRED | = 7.5% (6,040 S.F.) |
| INTERIOR LANDSCAPE AREA PROVIDED | = 11,063 S.F. (14% OF VUA) |
| EXISTING IMPERVIOUS AREA | = 11,852 S.F. |
| PROPOSED IMPERVIOUS AREA | = 95,430 S.F. |
| TOTAL IMPERVIOUS AREA INCREASE | = 83,578 S.F. |

GENERAL NOTES:

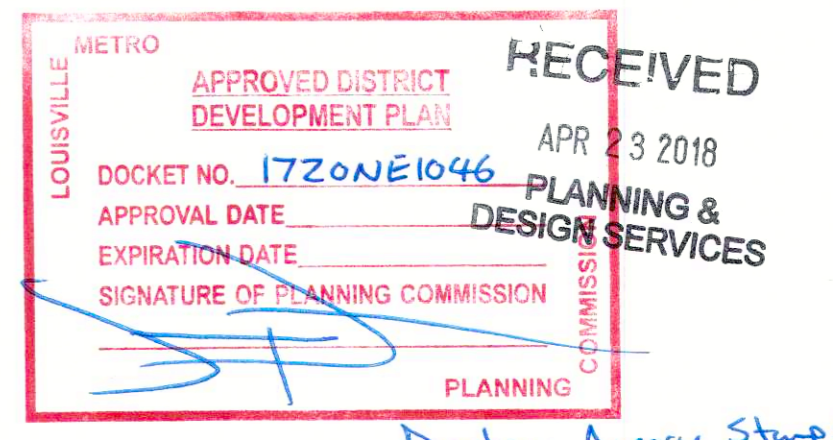
1. Parking areas and drive lanes to be a hard and durable surface.
2. An encroachment permit and bond will be required for all work done in the right-of-way.
3. There shall be no commercial signs in the Right of Way.
4. There shall be no landscaping in the Right of Way without an encroachment permit.
5. Site lighting shall not shine in the eyes of drivers. If it does it shall be re-aimed, shielded, or turned off.
6. Construction fencing shall be erected prior to any construction or grading activities preventing compaction of root systems of trees to be preserved. The fencing shall enclose the area beneath the drip line of the tree canopy and shall remain in place. No parking, material storage, or construction activities shall be permitted within the fenced area.
7. Mitigation measures for dust control shall be in place during construction to prevent fugitive particulate emissions from reaching existing roads and neighboring properties.
8. Trees and shrubbery shall be trimmed or removed to provide sight distance as required per Metro Public Works standards.
9. Lot consolidation to be recorded prior to construction plan approval.
10. A karst survey was conducted on site by Sarah Beth Sammons, P.E. during a site visit conducted on 7/28/17. No karst activity was observed.
11. Prior to operating the Airstream Hotel, the owners/operators must obtain a permit to operate a MHP/RV park and swimming pool/bathing beach permit.
12. A minimum 5' HT curb will be provided between asphalt drive lanes and adjacent walkways.
13. Utilities will be provided to each grouping of Airstream trailers/rental units.
14. The local fire department shall have an access code for the security gate.
15. Water hydrants shall be located at each grouping of Airstream trailers/rental units.

MSD NOTES:

1. Construction plans and documents shall comply with Louisville and Jefferson County Metropolitan Sewer District's Design Manual and Standard Specifications.
2. Sanitary sewer service will be approved by the state plumbing department prior to MSD construction approval.
3. A portion of the site is within the 100 year flood plain per FIRM Map No. 21111 C 0078 E dated December 5, 2006.
4. Drainage pattern depicted by arrows (→) is for conceptual purposes. Final configuration and size of drainage pipes and channels shall be determined during the construction plan design process. Drainage facilities shall conform to MSD requirements.
5. If the site has thru drainage on easement plot will be required prior to MSD granting construction plan approval.
6. On-site detention will be provided. Post-developed peak flows for the 2, 10, 25, and 100-year storms or to the capacity of the downstream system, whichever is more restrictive.
7. A Downstream Facilities Capacity Request will be submitted to MSD.
8. The final design of this project must meet all MS4 water quality regulations established by MSD. Site layout may change at the design phase due to proper sizing of Green Best Management Practices.
9. Erosion & Silt Control shown is conceptual only, and final design will be determined on construction plans.
10. Prior to any construction activities on the site an Erosion & Silt Control Plan shall be provided to MSD for approval.
11. Any required fill in the floodplain shall be compensated on site at a ratio of 1:5:1.
12. Kentucky Department of Water and Army Corps of Engineers approval required prior to MSD construction plan approval.
13. All retail shops must have individual connections per MSD's Fats, Oils, and Grease Policy.
14. All structures with plumbing are required to be connected to sanitary sewer system.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

1. The approved erosion prevention and sediment control (EPSC) plan shall be implemented prior to any land-disturbing activity on the construction site.
2. Any modifications to the approved EPSC plan must be reviewed and approved by MSD's private development review office. EPSC BMP's shall be installed per the plan and MSD standards.
3. Detention basins, if applicable, shall be constructed first and shall perform as sediment basins during construction until the contributing drainage areas are seeded and stabilized.
4. Actions must be taken to minimize the tracking of mud and soil from construction areas onto public roadways. Soil tracked onto the roadway shall be removed daily.
5. Soil stockpiles shall be located away from streams, ponds, swales and catch basins. Stockpiles shall be seeded, mulched, and adequately contained through the use of silt fences.
6. All stream crossings must utilize low-water crossing structures per MSD standard drawing ER-02.
7. Where construction or land disturbance activity will or has temporarily ceased on any portion of a site, temporary site stabilization measures shall be required as soon as practicable, but no later than 14 calendar days after the activity has ceased.
8. Sediment-laden groundwater encountered during trenching, boring or other excavation activities shall be pumped to a sediment trapping device prior to being discharged into a stream, pond, swale or catch basin. All storm drainage shall conform to MSD standard specifications.
9. Construction fencing shall be erected prior to any construction or grading activities preventing compaction of root systems of trees to be preserved. The fencing shall enclose the area beneath the drip line of the tree canopy and shall remain in place. No parking, material storage, or construction activities shall be permitted within the fenced area.



SITE ADDRESS:
4501 PROGRESS BLVD.
TAX BLOCK 0618, LOT 0096
D.B. 10570, PG. 0578

OWNER:
COLLINS, LLC
3253 ELLIS WAY
LOUISVILLE, KY 40220

SITE ADDRESS:
4505 PROGRESS BLVD.
TAX BLOCK 0618, LOT 0027
D.B. 10570, PG. 0578

COUNCIL DISTRICT - 2
FIRE PROTECTION DISTRICT - BUECHEL

CASE: 17ZONE1046
RELATED CASES: NONE
WM#11690

| NO. | DATE | DESCRIPTION | BY |
|-----|---------|---------------------------|-----|
| 1 | 2/9/18 | AGENCY COMMENTS | SBS |
| 2 | 2/22/18 | AGENCY COMMENTS | ARR |
| 3 | 3/19/18 | Add TCCA Area Hatching | SBS |
| 4 | 4/7/18 | REVISION PER PDS & CLIENT | SBS |
| 5 | 4-20-18 | REVISED DRIVE AISLE WIDTH | SBS |

REVISIONS

PROJECT DATA

FILE NAME: 17108-DDDP.dwg
DATE: 12/18/2017
SCALE: AS SHOWN
DRAWN BY: SBS/BB
CHECKED BY: SBS

PROJECT DATA

FILE NAME: 17108-DDDP.dwg
DATE: 12/18/2017
SCALE: AS SHOWN
DRAWN BY: SBS/BB
CHECKED BY: SBS

PROJECT DATA

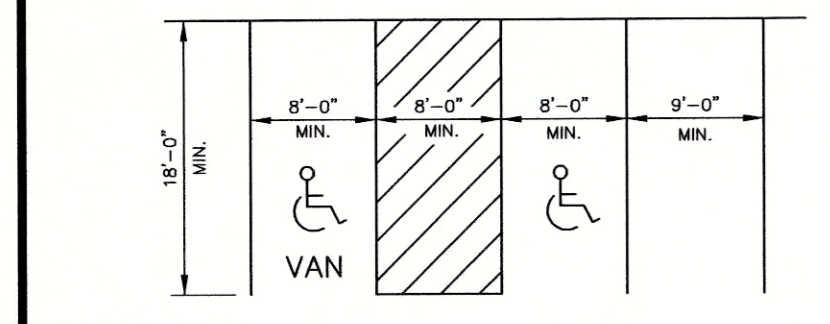
FILE NAME: 17108-DDDP.dwg
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CHECKED BY: SBS

L&D
LAND DESIGN & DEVELOPMENT, INC.
ENGINEERS • LAND SURVEYORS • LANDSCAPE ARCHITECTS
507 WASHINGTON AVENUE SUITE 101 LOUISVILLE, KENTUCKY 40202
TEL: 502.424.9774 FAX: 502.424.9774
WEB: WWW.LANDDESIGNINC.COM

DETAILED DISTRICT DEVELOPMENT PLAN - ZONE CHANGE

PROGRESS PARK VINTAGE AIRSTREAM HOTEL
OWNER/DEVELOPER
COLLINS, LLC
3253 ELLIS WAY
LOUISVILLE, KY 40220

JOB NO. 17108
SHEET 1 OF 1



TYPICAL PARKING SPACE LAYOUT NO SCALE

TREE CANOPY CALCULATIONS: CLASS C

| | |
|-----------------------------------|-----------------------|
| SITE AREA | = 527,512± S.F. |
| EXISTING TREE CANOPY COVERAGE | = 371,448± S.F. (70%) |
| TREE CANOPY TO BE PRESERVED | |
| TCCA #1 | = 28,904 S.F. |
| TCCA #2 | = 9,100 S.F. |
| TCCA #3 | = 89,734 S.F. |
| TOTAL TREE CANOPY TO BE PRESERVED | = 127,738 S.F. (24%) |
| TOTAL TREE CANOPY REQUIRED | = 15% (79,127 S.F.) |
| TOTAL TREE CANOPY PROVIDED | = 127,738 S.F. (24%) |

DETENTION BASIN CALCULATIONS

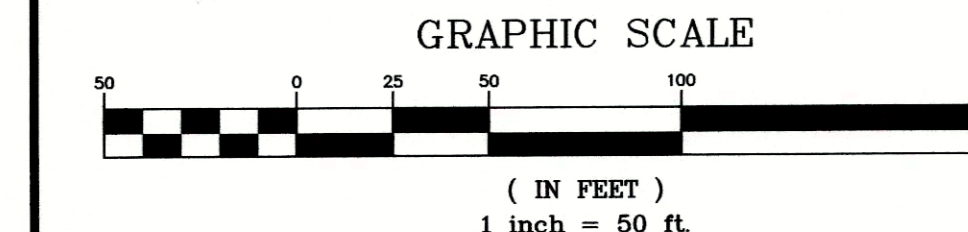
$X = \Delta CRA/12$
 $AC = 0.35 - 0.28 = 0.35$
 $A = 12.1$ ACRES
 $R = 2.8$ INCHES
 $X = (C)(A)(R)/12 = 0.99$ AC.-FT.
 REQUIRED $X = 43,124$ CU.FT.
 PROVIDED BASIN = 78,000 SQ.FT.
 TOTAL = 78,000 SQ.FT. @ APPROX. 0.50 FT. DEPTH
 46,800 CU.FT. > 43,124 CU.FT.

MSD STANDARD EROSION CONTROLS

| | |
|--|------------------|
| | VEGETATED BUFFER |
| | SILT FENCE |

LEGEND

- PROPOSED STORM SEWER, CATCH BASIN
- PROPOSED SEWER AND MANHOLE
- PROPOSED DRAINAGE SWALE
- EXISTING DRAINAGE SWALE
- 100 YEAR FLOOD PLAIN LINE
- LOCAL REGULATORY FLOOD PLAIN LINE
- EXISTING TREELINE
- TREELINE TO BE REMOVED
- PROPOSED TREELINE
- EXISTING TREE
- EXISTING CONTOURS
- PROP. 8" WOOD PRIVACY FENCE TO MATCH EXISTING
- PROP. 8" SHADOWBOX WOOD PRIVACY FENCE
- EXISTING HYDRIC SOILS/POTENTIAL WETLANDS
- PROPOSED TREE CANOPY CREDIT AREA



**BINDING ELEMENTS
CASE NO. 17ZONE1046**

1. The development shall be in accordance with the approved district development plan, all applicable sections of the Land Development Code (LDC) and agreed upon binding elements unless amended pursuant to the Land Development Code. Any changes/additions/alterations of any binding element(s) shall be submitted to the Planning Commission or the Planning Commission's designee for review and approval; any changes/additions/alterations not so referred shall not be valid.
2. No outdoor advertising signs, small freestanding signs, pennants, balloons, or banners shall be permitted on the site.
3. Construction fencing shall be erected when off-site trees or tree canopy exists within 3' of a common property line. Fencing shall be in place prior to any grading or construction to protect the existing root systems from compaction. The fencing shall enclose the entire area beneath the tree canopy and shall remain in place until all construction is completed. No parking, material storage or construction activities are permitted within the protected area. Construction Fencing shall also be provided along the Limits of Disturbance as shown on the approved district development plan.
4. Before any permit (including but not limited to building, parking lot, change of use, site disturbance, alteration permit or demolition permit) is requested:
 - a. The development plan must receive full construction approval from Louisville Metro Department of Codes and Regulations Construction Permits and Transportation Planning Review and the Metropolitan Sewer District.
 - b. A Tree Preservation Plan in accordance with Chapter 10 of the LDC shall be reviewed and approved prior to obtaining approval for site disturbance.
 - c. The property owner/developer must obtain approval of a detailed plan for screening (buffering/landscaping) as described in Chapter 10 prior to requesting a building permit. Such plan shall be implemented prior to occupancy of the site and shall be maintained thereafter.
5. There shall be a staff member on site during all scheduled events and between the hours 6:00 p.m. and 7:00 a.m.
6. There shall be no long term rentals on the property with the exception of the existing homes on the property with one for the staff member(s).
7. The property shall not be used as a mobile home park.
8. A solid 8 foot wooden fence shall be installed and maintained (kept in good repair) around the entire perimeter of the property as presented at the October 30, 2017 neighborhood meeting and as presented at the June 5, 2018 Planning Commission public hearing.

9. All scheduled events held at the event center and outdoor reception area shall end no later than 11 p.m. on Friday and Saturday and no later than 10 p.m. Sunday through Thursday.
10. There shall be no outdoor live music or outdoor amplified music between the hours of 10:00 p.m. and 7:00 a.m. anywhere on site.
11. The maximum number of scheduled large events (over 100 people) at the event center and outdoor reception area shall be 72 per year.
12. The property shall be prohibited from obtaining an A.B.C. license. Alcoholic beverages may be provided during an event by a caterer holding the appropriate license.
13. No commercial deliveries shall occur before 9 a.m.
14. The dumpster shall not be visible to neighbors.
15. Only one fire pit, being a maximum of 3 feet in diameter, will be allowed at each cluster of airstreams.
16. The property shall not be used as a pay lake.
17. Enhanced landscaping shall be installed to shield the two southern clusters of retail units on the property from Busath Avenue and Lambert Avenue prior to the installation and rental of facilities on-site.
18. All rental units shall be installed such that they are not facing any adjoining residential property on Busath Avenue or Lambert Avenue.
19. The property shall NOT be used for any other use except those uses designated on the approved district development, unless a revised district development plan and the change of use is approved by the full Planning Commission with notification to all 1st and 2nd tier adjoining property owners and all those who spoke at the public hearing on June 5, 2018.
20. A copy of the campgrounds' rules and regulations shall be provided to all guests and posted in a convenient location visible to all guests upon entry. The rules and regulations shall include, but not limited to the following:
 - Check in/Check out procedures
 - Minimum age for rental
 - Use of fire pits
 - Use of Lake
 - Garbage disposal
21. Quiet hours for rental units shall be 10:00 p.m. – 7:00 a.m.
22. There shall be no use of gas or diesel generators between the hours of 6:00 p.m. and 8:00 a.m. anywhere on the site.

