

# 1744, 1746, 1756

## Wilson Ave.

25-NONCONFORM-0024

The applicant is requesting nonconforming rights for a commercial grade fence in the R-7 zoning district.

### PVA PROPERTY DETAILS:

Zoning District: R-7 Residential Zoning District

Form District: TN

PVA Property Class: 480 – Commercial Warehouse,  
400 – Commercial Vacant Land

Year	Directory Listings (staff analysis)
1970-1997	Commercial Cleaning
1998+	0 to 2 Residential Unit Listed

Year	Historic Zoning
1931	C (Apartment)
1944	C (Apartment)
<u>1965</u>	R-7
<u>1979</u>	R-7
<u>1995-2001</u>	R-7
Present	R-7



**Supporting Evidence:**

The applicant has requested nonconforming rights for a nonconforming structure (fence) in the R-7 zoning district. Directory listings indicate that a commercial use was active prior to 1971 until 1997, at which point the listings are vacant or residential. Aerial imagery indicates that the commercial use may have started prior to 1963. The fence was erected at an unknown date.

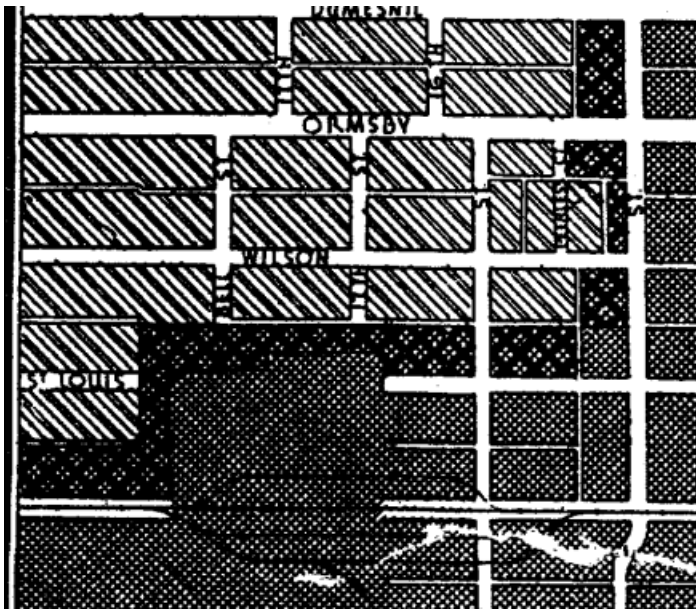
**Staff Summary:**

said this has been removed The fence in question is 8 feet at points when considering the masonry wall at its base, has strands of barbed wire at the top (applicant), and is screened with a loose fabric. Fences in this zoning district would be restricted to 42 inches.

Clear historical imagery of the fence is difficult to ascertain, though it does show up in historic aerials. However, even in 1975, the Development Code would have only allowed a 3.5 foot fence. It is difficult to tell if it has been enlarged, expanded, or changed prior to the 2007 Google Street view. From 2007 to 2024, the fence was expanded when the primary structure was demolished, and new fencing was added to close the gap. Lojic's historical imagery indicates this would have taken place between 2016 and 2019.

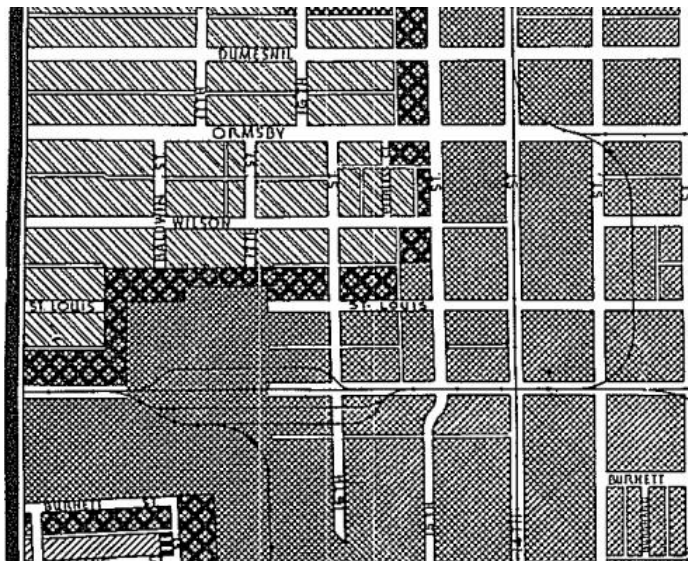
There is sufficient evidence to deny nonconforming rights for a fence in the R-7 zoning district.

Applicant indicates that building constructed in a commercial zoning district in the 1910s-1920s. This does not appear accurate.



USE	DISTRICT	SYMBOL	HEIGHT (STORIES)	REAR YARD (FEET)	SIDE YARD (FEET)	FRONT YARD (FEET)	LOT AREA PER FAMILY IN SQUARE FEET
APARTMENT USES PERMITTED IN "B" DISTRICT - MULTIPLE DWELLINGS - HOTELS - STORAGE GARAGES UNDER CERTAIN CONDITIONS	C		3	45'	25' INTERIOR 15' CORNER	5' FOR 24 STORIES FOR 3 STORIES	25' 600
	D		8	100'	25' INTERIOR 15' CORNER	5' FOR 24 STORIES 1' FOR EACH STORY OVER 2	25' 250

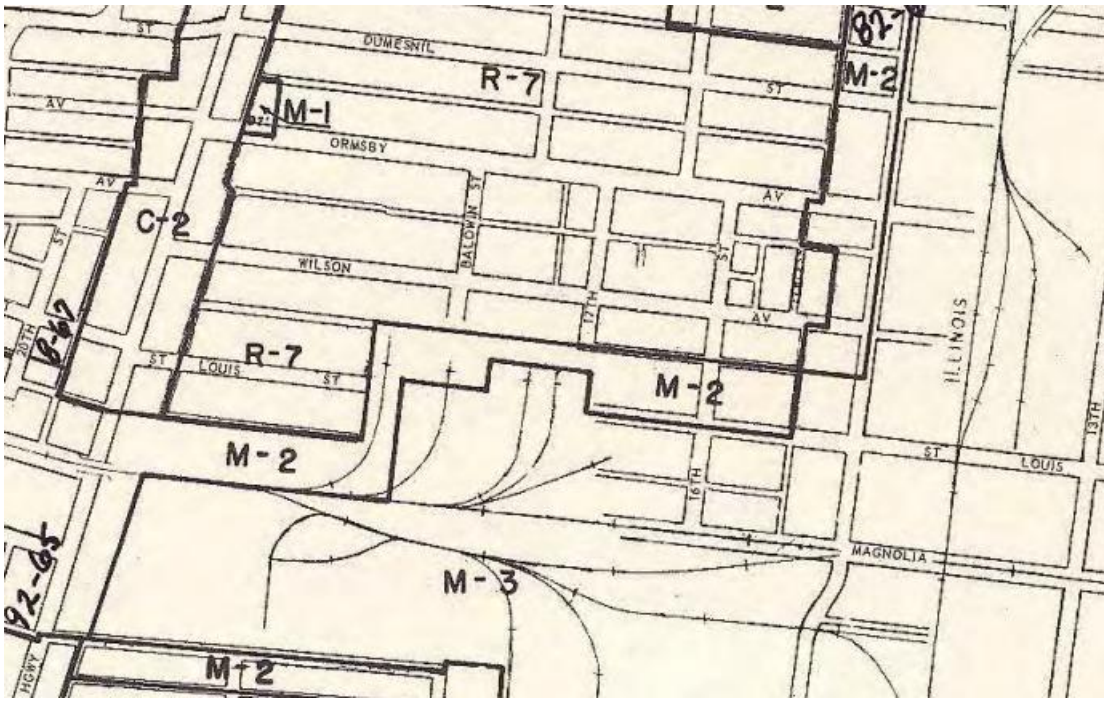
1931 Zoning Map – indicates property zoned as Apartment C



USE	DISTRICT	SYMBOL	HEIGHT (STORIES)	REAR YARD (FEET)	SIDE YARD (FEET)	FRONT YARD (FEET)	LOT AREA PER FAMILY IN SQUARE FEET	
ONE FAMILY 1 FAMILY DWELLINGS - SCHOOLS - CHURCHES - LIBRARIES - ETC.	A		2 1/2	35'	25'	5'	25'	5000
TWO-FOUR FAMILY USES PERMITTED IN "B" DISTRICT - MULTIPLE DWELLINGS - HOTELS - STORAGE GARAGES UNDER CERTAIN CONDITIONS	B		2 1/2	35'	25'	5'	25'	5000 1 FAMILY 2500 2 FAMILY 1200 4 FAMILY
APARTMENT USES PERMITTED IN "B" DISTRICT - MULTIPLE DWELLINGS - HOTELS - STORAGE GARAGES UNDER CERTAIN CONDITIONS	C		3	45'	25' INTERIOR 15' CORNER	5' FOR 24 STORIES 6' FOR 3 STORIES	25'	600
	D		8	100'	25' INTERIOR 15' CORNER	5' FOR 24 STORIES 1' FOR EACH STORY OVER 2	25'	250
COMMERCIAL USES PERMITTED IN APARTMENT DISTRICT - RETAIL STORES - BANKS - OFFICES - THEATERS - RESTAURANTS - FILLING STATIONS - ETC. PUBLIC GARAGES IN "B"/"C" DISTRICTS UNDER CERTAIN CONDITIONS	E		2 1/2	35'	25'	NONE UNLESS LOT ADJOINS DWELLING DISTRICT	25'	1200
	F		3	45'	25' INTERIOR 15' CORNER	NONE UNLESS LOT ADJOINS DWELLING DISTRICT	NONE UNLESS LOT ADJOINS DWELLING DISTRICT	600
	G		8	100'	NONE UNLESS LOT ADJOINS DWELLING DISTRICT	NONE UNLESS LOT ADJOINS DWELLING DISTRICT	NONE UNLESS LOT ADJOINS DWELLING DISTRICT	250
BUSINESS DISTRICT SAME AS LIGHT INDUSTRIAL DISTRICT	H		2	TIMES ST. WIDTH	NONE	NONE	NONE	250
LIGHT INDUSTRIAL ANY USE NOT OBSESSIVE BECAUSE OF EMISSION OF ODOR-DUST-SMOKE-GAS OR NOISE	I		3	45'	NONE UNLESS LOT ADJOINS DWELLING DISTRICT	NONE UNLESS LOT ADJOINS DWELLING DISTRICT	NONE UNLESS LOT ADJOINS DWELLING DISTRICT	600
	J		10	125'	NONE UNLESS LOT ADJOINS DWELLING DISTRICT	NONE UNLESS LOT ADJOINS DWELLING DISTRICT	NONE	250
HEAVY INDUSTRIAL ANY USE	K		10	125'	NONE UNLESS LOT ADJOINS DWELLING DISTRICT	NONE UNLESS LOT ADJOINS DWELLING DISTRICT	NONE	250

INDICATES PARKS & OPEN SPACES  
FOR COMPLETE REGULATIONS & EXCEPTIONS SEE TEXT OF ZONING ORDINANCE

1944 Zoning Map – indicates property zoned as Apartment C



1965 Zoning Map (section 22), indicates property zoned as R-7



1945 Aerial Map – building may be present



1963 Aerial Map – buildings are present, lot has been cleared out. A fence or wall seems to be present.



1985 Aerial Map- the fence is clearly shown at this point