

BENCHMARKS

TBM#1 - RAILROAD SPIKE IN UTILITY POLE AT NORTHWEST CORNER OF PRESTON HIGHWAY AND TRIO AVENUE INTERSECTION, ELEVATION = 476.59 FEET (NAVD 88 GEOID 99) BASED ON STA061-2005.

TBM#2 - TOP NUT OF FIRE HYDRANT NORTH SIDE OF TRIO AVENUE 353.5 FEET WEST OF PRESTON HIGHWAY, ELEVATION = 475.56 FEET (NAVD 88, GEOID 99)

PAVEMENT NOTES

- ALL PAVEMENT SHALL BE 4000 PSI CONCRETE.
- ALL PAVEMENT, SIDEWALKS, EQUIPMENT PADS & CURBS ARE CONCRETE UNLESS OTHERWISE NOTED.

LEGEND

- SET 1/2" DIAMETER REBAR, 24" LONG, WITH PLASTIC ID CAP STAMPED "D.K. JOHNSON PLS 3300"
- ▲ SET MAGNETIC PK NAIL WITH 1.5" ALUMINUM SHINER STAMPED "D.K. JOHNSON PLS 3300"
- ◆ FOUND 1/2" DIAMETER REBAR WITH PLASTIC ID CAP STAMPED "RLS 2600"
- FOUND 1" DIAMETER PIPE (NO ID CAP)
- FOUND 1/2" DIAMETER REBAR (NO ID CAP)
- ▲ FOUND PK NAIL (NO ID)
- ◇ EX. UTILITY POLE
- ◇ EX. SECURITY LIGHT
- EX. GUY WIRE
- EX. GUY WIRE
- EX. OVERHEAD ELECTRIC & UTILITY LINE
- EX. OVERHEAD ELECTRIC SERVICE LINE
- EX. OVERHEAD ELECTRIC TRANSMISSION LINE
- EX. OVERHEAD TELEPHONE LINE
- EX. UNDERGROUND TELEPHONE LINE
- EX. NATURAL GAS VALVE
- EX. NATURAL GAS METER
- EX. NATURAL GAS LINE
- EX. SANITARY MANHOLE
- EX. SANITARY CLEANOUT
- EX. SANITARY SEWER MAIN
- EX. FIRE HYDRANT
- EX. WATER VALVE
- EX. WATER MAIN
- EX. WATER METER
- EX. SIDEWALK (DND)
- EASEMENT AS LABELED
- SETBACK
- PROPERTY LINE
- INDICATES DIRECTION OF TRAFFIC FLOW
- STREET ADDRESS
- DRAINAGE FLOW

VICINITY MAP

SITE PERTINENT DATA

- TOTAL SITE ACREAGE: 1.268 ACRES
- ZONE/FORM DISTRICT: C-1/SMC
- EXISTING LAND USE: COMMERCIAL-RESTAURANT & RETAIL
- PROPOSED LAND USE: COMMERCIAL-CAR WASH
- FLOOD MAP PANEL: 211110084E
- EXISTING GREENSPACE CALCULATION: 319 SF
- PROPOSED GREENSPACE CALCULATION: 10,566 SF (DOES NOT INCLUDE ILA AREAS)
- TRAFFIC STUDY REQUIREMENT CALCULATION: (5,400*14.12)/1000 = 76.25 TRIPS<200 TRIP. STUDY NOT REQUIRED.
- VUA = 28,808 SF
- ILA REQUIRED = (7.5%)(28,808) = 2161 SF
- PARKING CALCULATIONS:
REQUIRED MIN. = (8 UNIT IN CONVEYOR)*1+
28 VAC. STALLS=35 SPACES
MAX = (8 UNIT IN CONVEYOR)*2+28 VAC. STALLS
=44 SPACES
SPACES PROVIDED = 41 SPACES & 1 HC STALL

LAYOUT NOTES

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE INDICATED.
- RIGHT OF WAY AND/OR UTILITY MARKERS DISTURBED BY CONTRACTOR SHALL BE RESTORED, AT CONTRACTOR'S EXPENSE.
- TRAFFIC ACCESSIBILITY FOR HIGHWAYS SHALL NOT BE ALTERED OR IMPACTED BY CONSTRUCTION OR CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL MINIMIZE TRAFFIC DISRUPTION AND MAINTAIN TRAFFIC ACCESSIBILITY. TRAFFIC CONTROL, SIGNAGE, M.U.T.C.D. COMPLIANT SHALL BE PROVIDED DURING ALL CONSTRUCTION ACTIVITIES WITHIN RIGHT OF WAY.
- PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, A JEFFERSON COUNTY PUBLIC WORKS & KDOH ENCROACHMENT PERMIT MUST BE OBTAINED BY ENGINEER. CONTRACTOR SHALL VERIFY PERMIT PRIOR TO ANY ACTIVITIES.
- CONSTRUCTION STAKING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- DETAIL AND VACUUM STALLS SHALL BE 12'X20'.
- REFER TO LANDSCAPE PLAN FOR PLANTING SCHEDULE AND DETAILS.
- CONSTRUCTION PLANS, BOND AND PERMIT ARE REQUIRED BY METRO PUBLIC WORKS PRIOR TO CONSTRUCTION APPROVAL.
- CONSTRUCTION PLANS, BOND AND KYTC PERMIT ARE REQUIRED PRIOR TO CONSTRUCTION APPROVAL.
- THE OWNER/DEVELOPER WILL MAINTAIN TARC TRANSIT STOP ON AN AS NEEDED BASIS.
- TAX BLOCK/LOTS: 065100230000 & 065104410000.
- WHEELSTOPS PROVIDED WHERE PARKING FRONTS LANDSCAPE AREA.

WAIVER REQUEST

WAIVER REQUESTED FOR UTILITY EASEMENTS ALONG PRESTON HWY AND TRIO AVE FOR GREATER THAN 50% ENCROACHMENT OF THE REQUIRED LANDSCAPE BUFFER AREA.

LANDSCAPING PERTINENT DATA

- VUA = 28,808 SF
- VUA LANDSCAPE BUFFER = 10' WIDE.
- ILA REQUIRED: (7.5%)(28,808 SF) = 2,161 SF
ILA PROVIDED: ILA#1 782 SF
ILA#2 170 SF
ILA#3 188 SF
ILA#4 270 SF
ILA#5 238 SF
ILA#6 701 SF
ILA#7 220 SF
TOTAL: 2,446 SF
- DECIDUOUS TREES REQUIRED IN ILA = (28,808)/4000 = 7 TREES (9 TREES PROVIDED)
- LANDSCAPE BUFFER AREA REQUIREMENTS AGAINST RESIDENTIAL (R-7):
1.5 DENSITY MULTIPLIER
8' CONTINUOUS SCREEN
REQUIRED TREES = 134.17*(1/100)*1.5 = 5 TREES 25' OC (6 TREES PROVIDED)
INTENSITY CLASS 4
- NO PLANTING WITH MATURE HEIGHT > 2' SHALL BE INSTALLED WITHIN SITE TRIANGLE AT INTERSECTION OF TRIO AVE AND PRESTON HIGHWAY.
- REFER TO JEFFERSON COUNTY PUBLIC WORKS STANDARD DETAILS: STD PLAN NO. 100 STREET TREE PLANTING DETAIL
STD PLAN NO. 102 CONIFEROUS PLANTING DETAIL
STD PLAN NO. 103 SHRUB PLANTING DETAIL
- CANOPY COVERAGE AREA REQUIRED 20%(53,234) = 11,047 SF
CANOPY COVERAGE PROVIDED = 6(960)+9(576)+2(142) = 11,228 SF
PROPOSED TREES SHALL BE PLANTED WITHIN 6 MONTHS OF THE COMPLETION OF THE DEVELOPMENT.

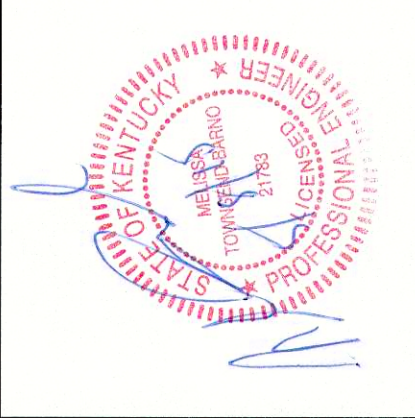
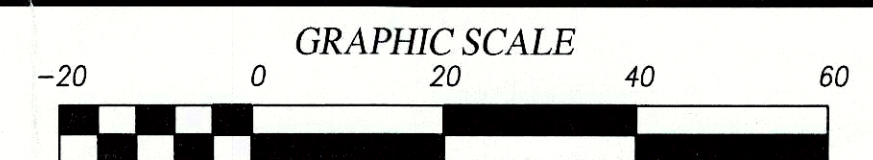
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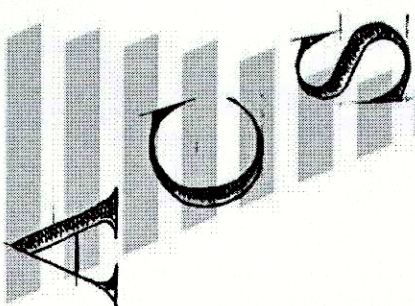
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WM# 11103



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JIM'S EXPRESS CARWASH
8408 PRESTON HIGHWAY AND 4208/4211 TRIO AVENUE, LOUISVILLE, 40202, JEFFERSON COUNTY

DEVELOPMENT PLAN

DEVELOPER: JIM'S EXPRESS CAR WASH, LLC
195 WINDY PLACE
VINE GROVE, KY 40175
270.352.9594

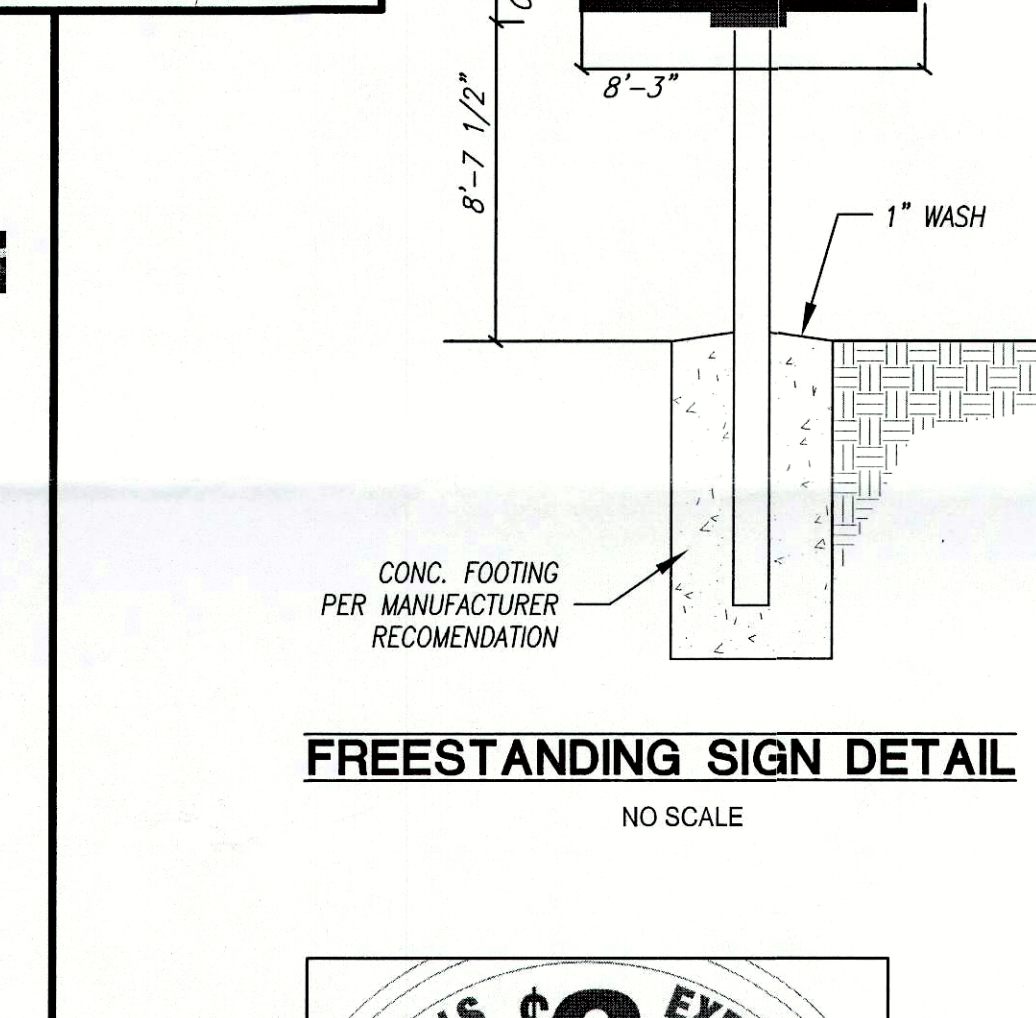
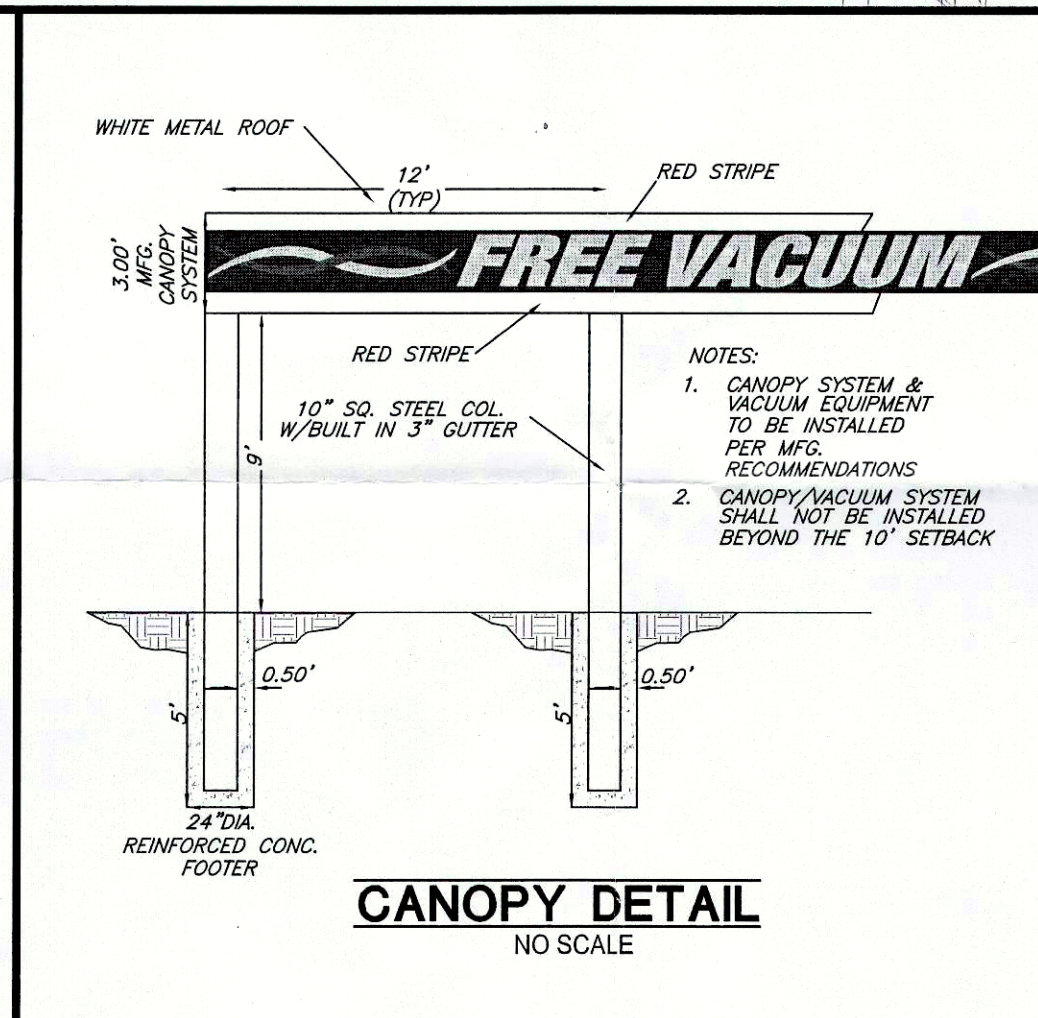
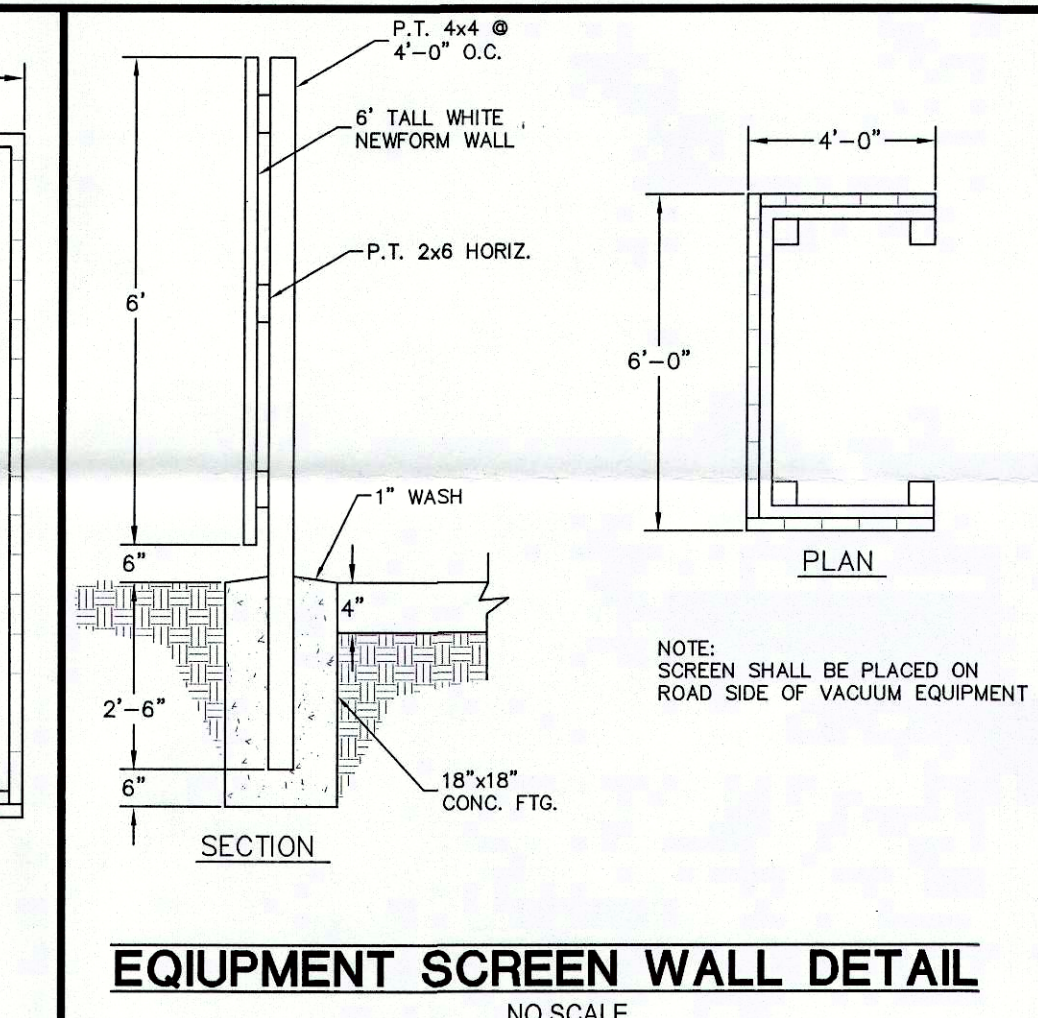
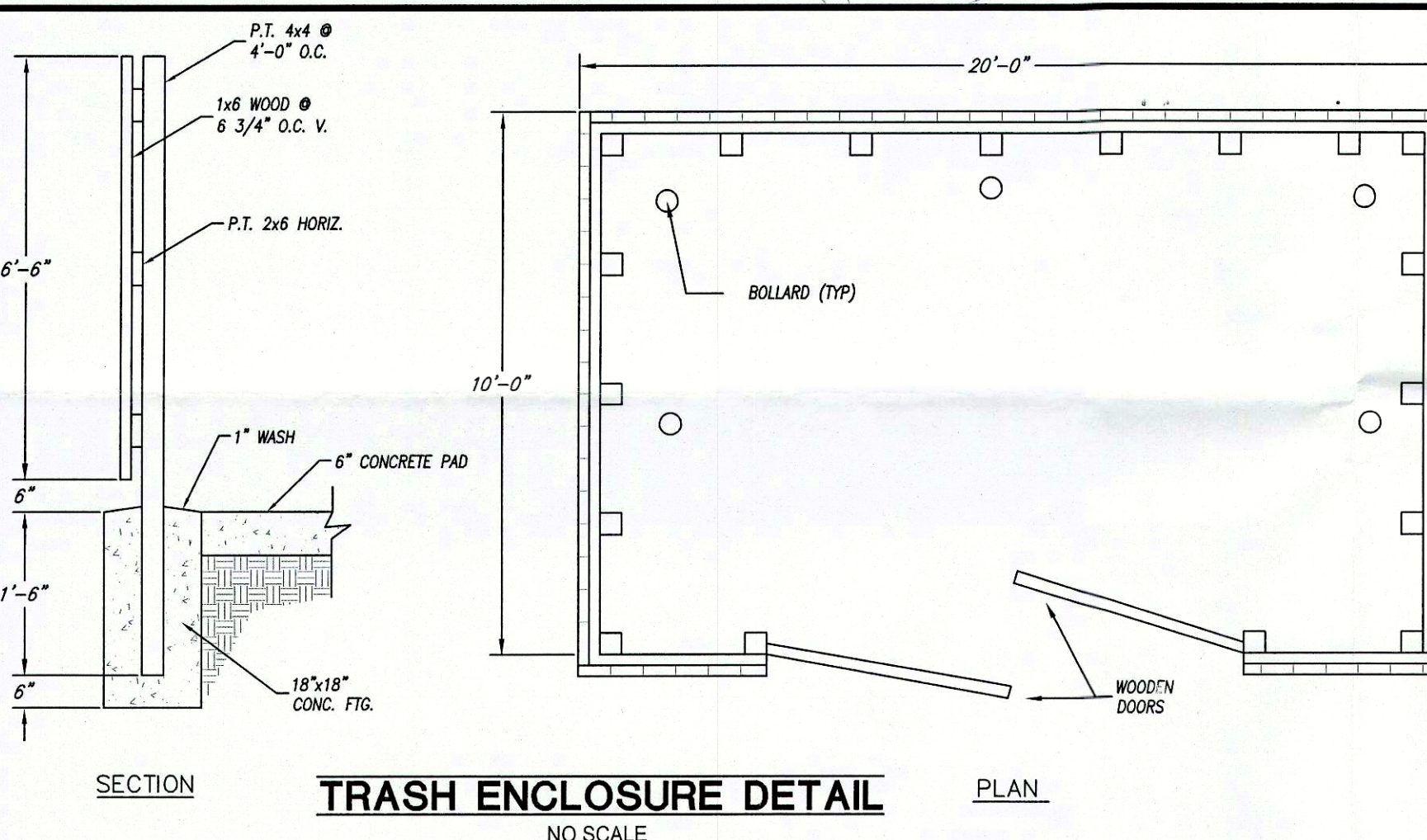
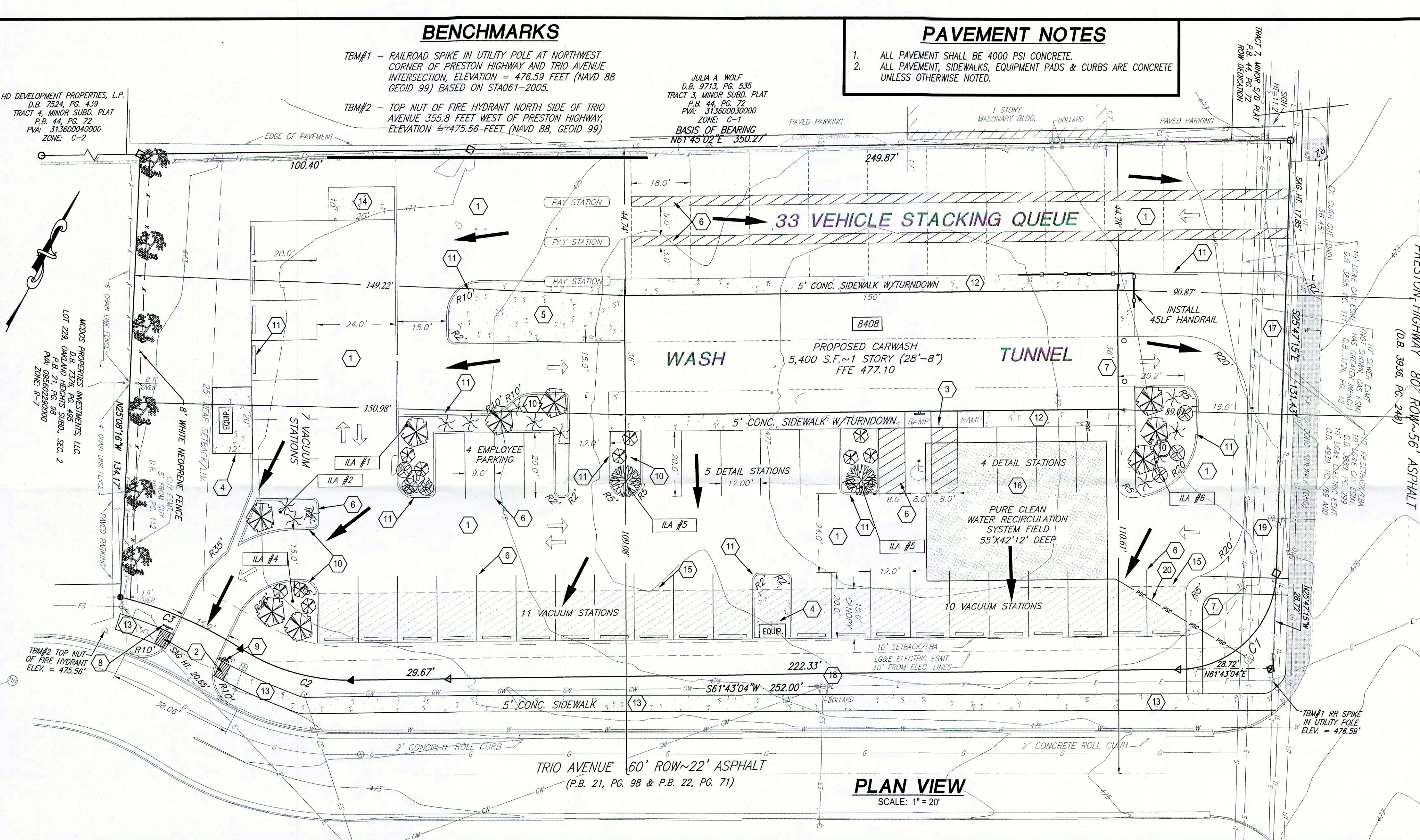
OWNER: JIM'S EXPRESS CAR WASH, LLC
195 WINDY PLACE
VINE GROVE, KY 40175
270.352.9594

REVISION BLOCK

NO.	DATE	DESCRIPTION
1	4/28/15	PLANNING COMMENTS
2	5/8/15	WAIVER COMMENTS
3		
4		
5		
6		

DRAWN BY: MAT
CHECKED BY:
DATE: 12/26/14
SCALE: 1"=20'
AREA: 1.268 ACRES
DRAWING: LOUISVILLE/DP
PVA #: 065100230000&065104410000
SHEET 1 of 1

Car Wash
#2-9-15



PLANTING RECOMMENDATIONS						
SYMBOL	NUMBER	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	TYPE
	6	SUGAR MAPLE	ACER SACCHARUM	1 3/4" CALIPER	AS SHOWN	TREE-TYPE A LG
	10	HEAVENLY BAMBO	NANDINA DOMESTICA	18" HEIGHT	4' OC	SHRUB
	6	BAR HARBOR JUNIPER	JUNIPERUS HORIZONTALIS - BH	3" HEIGHT	3' OC	SHRUB
	2	HERITAGE RIVER BIRCH	BETULA NIGRA HERITAGE	1" CALIPER	AS SHOWN	TREE TYPE C SM
	12	DAVID VIBURNUM	VIBURNUM DAVIDII	18" HEIGHT	18" HEIGHT	SHRUB
	9	DW. COLORADO SPRUCE	PICEA PUNGENS	2" CALIPER	AS SHOWN	TREE-TYPE B LG

- KEYNOTES:** (SEE DETAILS THIS SHEET)
- CONCRETE PAVEMENT.
 - TRUNCATED DOME ADAG WARNING DEVICE (ARMOR TILE OR EQUIVALENT).
 - HANDICAP ACCESSIBLE RAMP.
 - CONCRETE EQUIPMENT PAD W/SCREEN WALL.
 - CONCRETE W/6" DGA BASE TRAFFIC CONTROL ISLAND.
 - WIDE PAVEMENT STRIPING/MARKING AND IN ACCORDANCE WITH KENTUCKY TRANSPORTATION CABINET/DEPARTMENT OF HIGHWAYS "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND M.U.T.C.D. LATEST EDITION. HANDICAP STALL SHALL HAVE SIGN INSTALLED AS SHOWN.
 - PROPOSED COMMERCIAL SIGN LOCATION.
 - STOP SIGN IN ACCORDANCE WITH KDOH "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND M.U.T.C.D. LATEST EDITION.
 - DO NOT ENTER SIGN IN ACCORDANCE WITH KDOH "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND M.U.T.C.D. LATEST EDITION.
 - LANDSCAPE AREA: COORDINATE LOCATION, SPECIE AND QUANTITY WITH LANDSCAPE PLAN.
 - CURB.
 - CONCRETE SIDEWALK WITH TURNDOWN.
 - CONCRETE SIDEWALK.
 - TRASH ENCLOSURE.
 - 15' METAL CANOPY.
 - WATER RECIRCULATION FIELD. SIZE AND CONFIGURATION PER PURE CLEAN.
 - WATER METER-WATER SERVICE TIE.
 - TAKE ELECTRIC, TELEPHONE & CABLE UNDERGROUND FROM POLE TO BUILDING.
 - GAS SERVICE TIE.
 - 6" SANITARY SEWER SERVICE LINE W/CLEANOUT(S) PER MSD DETAILS SC-01-02 & SP-01-01. SANITARY LINE SHALL BE INDEPENDENT OF RECIRCULATION SYSTEM.

- UTILITY NOTES**
- ALL MATERIALS AND METHODS OF CONSTRUCTION TO MEET CURRENT STANDARDS AND SPECIFICATIONS FOR FEDERAL, STATE AND LOCAL AGENCIES. STRICTEST REQUIREMENT SHALL GOVERN.
 - CRUSHED STONE BACKFILL TO BE INSTALLED IN 6" LIFTS COMPACTED TO 95% PROCTOR.
 - CONTRACTOR SHALL COMPLY WITH FEDERAL, STATE AND LOCAL SAFETY REGULATIONS.
 - THERE SHALL BE NO OVERNIGHT OPEN TRENCHES.
 - CONSTRUCTION ACTIVITIES SHALL NOT CAUSE OR CREATE ANY HEALTH HAZARDS.
 - OVERHEAD UTILITY CROSSINGS ARE FOR LOWEST LINE AT SAG POINT OR AT CROSSING, WHICHEVER IS LOWER. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF CONSTRUCTION EQUIPMENT CLEARANCE.
 - SANITARY CLEANOUTS SHALL BE LOCATED AT ALL HORIZONTAL AND VERTICAL CHANGES IN DIRECTION OF FLOW AND ANY LATERAL 100' OR LONGER.