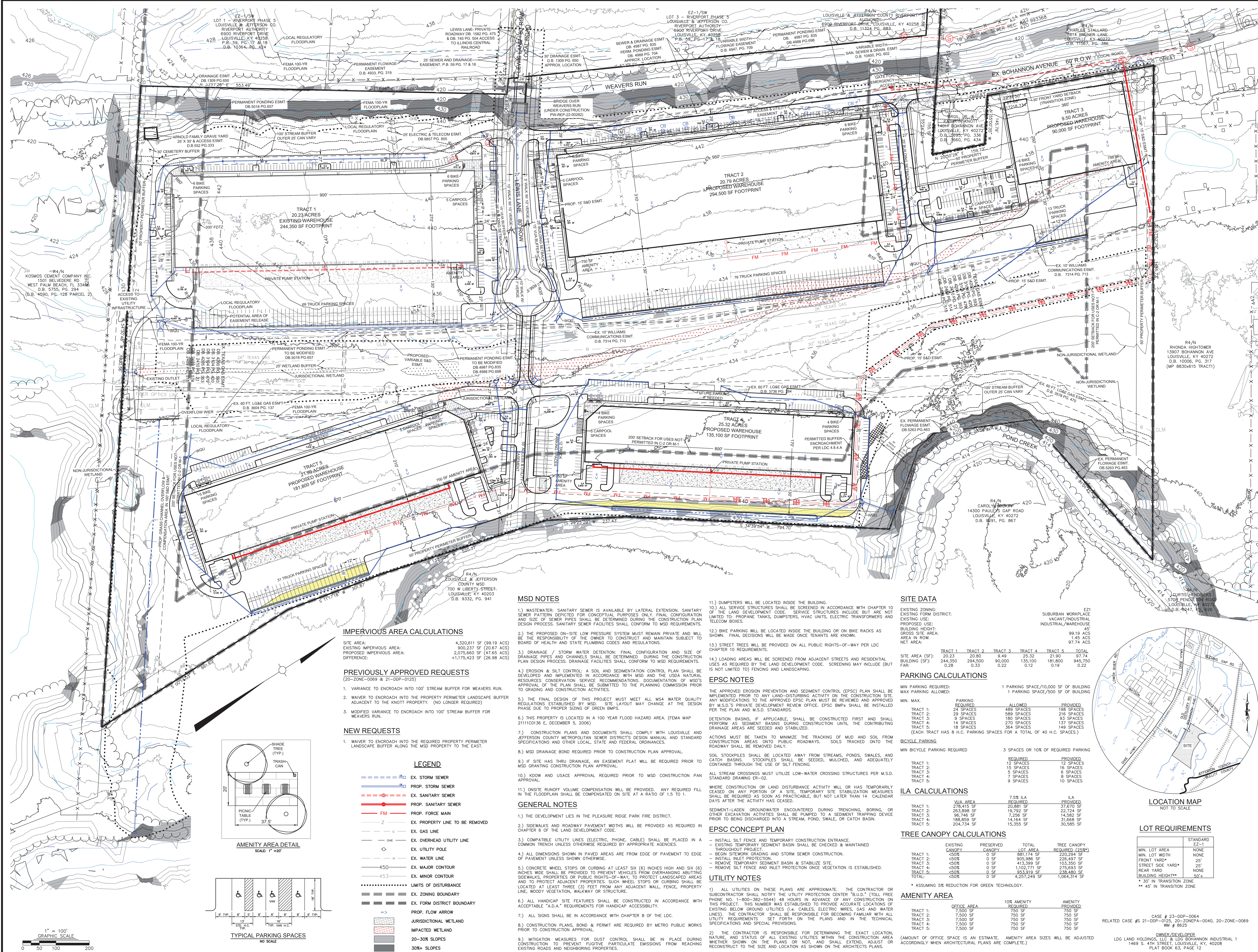




MSD NOTES

- 1.) WASTEWATER: SANITARY SEWER IS AVAILABLE BY LATERAL EXTENSION. SANITARY SEWER PATTERN DEPICTED FOR CONCEPTUAL PURPOSES ONLY. FINAL CONFIGURATION AND SIZE OF SEWER PIPES SHALL BE DETERMINED DURING THE CONSTRUCTION PLAN DESIGN PROCESS. SANITARY SEWER FACILITIES SHALL CONFORM TO MSD REQUIREMENTS.
- 2.) THE PROPOSED ON-SITE LOW PRESSURE SYSTEM MUST REMAIN PRIVATE AND WILL BE THE RESPONSIBILITY OF THE OWNER TO CONSTRUCT AND MAINTAIN SUBJECT TO BOARD OF HEALTH AND STATE PLUMBING CODES AND REGULATIONS.
- 3.) DRAINAGE / STORM WATER DETENTION: FINAL CONFIGURATION AND SIZE OF DRAINAGE PIPES AND CHANNELS SHALL BE DETERMINED DURING THE CONSTRUCTION PLAN DESIGN PROCESS. DRAINAGE FACILITIES SHALL CONFORM TO MSD REQUIREMENTS.
- 4.) EROSION & SILT CONTROL: A SOIL AND SEDIMENTATION CONTROL PLAN SHALL BE DEVELOPED AND IMPLEMENTED IN ACCORDANCE WITH MSD AND THE USDA NATURAL RESOURCES CONSERVATION SERVICE RECOMMENDATIONS. DOCUMENTATION OF MSD'S APPROVAL OF THE PLAN SHALL BE SUBMITTED TO THE PLANNING COMMISSION PRIOR TO GRADING AND CONSTRUCTION ACTIVITIES.
- 5.) THE FINAL DESIGN OF THIS PROJECT MUST MEET ALL MSD WATER QUALITY REGULATIONS ESTABLISHED BY MSD. SITE LAYOUT MAY CHANGE AT THE DESIGN PHASE DUE TO PROPER SIZING OF GREEN BMPs.
- 6.) THIS PROPERTY IS LOCATED IN A 100 YEAR FLOOD HAZARD AREA, (FEMA MAP 21111C0136 E, DECEMBER 5, 2006)
- 7.) CONSTRUCTION PLANS AND DOCUMENTS SHALL COMPLY WITH LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT'S DESIGN MANUAL AND STANDARD SPECIFICATIONS AND OTHER LOCAL, STATE AND FEDERAL ORDINANCES.
- 8.) MSD DRAINAGE BOND REQUIRED PRIOR TO CONSTRUCTION PLAN APPROVAL.
- 9.) IF SITE HAS THRU DRAINAGE, AN EASEMENT PLAN WILL BE REQUIRED PRIOR TO MSD GRANTING CONSTRUCTION PLAN APPROVAL.
- 10.) KDOV AND USAGE APPROVAL REQUIRED PRIOR TO MSD CONSTRUCTION PLAN APPROVAL.
- 11.) ONSITE RUNOFF VOLUME COMPENSATION WILL BE PROVIDED. ANY REQUIRED FILL IN THE FLOODPLAIN SHALL BE COMPENSATED ON SITE AT A RATIO OF 1.5 TO 1.

GENERAL NOTES

- 1.) THE DEVELOPMENT LIES IN THE PLEASURE RIDGE PARK FID DISTRICT.
- 2.) SIDEWALKS AND ROADWAY PAVEMENT WIDTHS WILL BE PROVIDED AS REQUIRED IN CHAPTER 6 OF THE LAND DEVELOPMENT CODE.
- 3.) COMPATIBLE UTILITY LINES (ELECTRIC, PHONE, CABLE) SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPROPRIATE AGENCIES.
- 4.) ALL DIMENSIONS SHOWN IN PAVED AREAS ARE FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT UNLESS SHOWN OTHERWISE.
- 5.) CONCRETE WHEEL STOPS OR CURBING AT LEAST SIX (6) INCHES HIGH AND SIX (6) INCHES WIDE SHALL BE PROVIDED TO PREVENT VEHICLES FROM OVERHANGING ADJACENT SIDEWALKS, PROPERTIES OR PUBLIC RIGHTS-OF-WAY, TO PROTECT LANDSCAPED AREAS AND TO PROTECT ADJACENT PROPERTIES. SUCH WHEEL STOPS OR CURBING SHALL BE LOCATED AT LEAST THREE (3) FEET FROM ANY ADJACENT WALL, FENCE, PROPERTY LINE, WOODY VEGETATION, WALKWAY OR STRUCTURE.
- 6.) ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACCEPTABLE "A.D.A." REQUIREMENTS FOR HANDICAP ACCESSIBILITY.
- 7.) ALL SIGNS SHALL BE IN ACCORDANCE WITH CHAPTER 8 OF THE LDC.
- 8.) CONSTRUCTION PLANS, BOND & PERMIT ARE REQUIRED BY METRO PUBLIC WORKS PRIOR TO CONSTRUCTION APPROVAL.
- 9.) MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE PARTICULATE EMISSIONS FROM REACHING EXISTING ROADS AND NEIGHBORING PROPERTIES.

- 11.) DUMPSTERS WILL BE LOCATED INSIDE THE BUILDING.
- 10.) ALL SERVICE STRUCTURES SHALL BE SCREENED IN ACCORDANCE WITH CHAPTER 10 OF THE LAND DEVELOPMENT CODE. SERVICE STRUCTURES INCLUDE BUT ARE NOT LIMITED TO: PROPANE TANKS, DUMPSTERS, HVAC UNITS, ELECTRIC TRANSFORMERS AND TELECOM BOXES.
- 12.) BIKE PARKING WILL BE LOCATED INSIDE THE BUILDING OR ON BIKE RACKS AS SHOWN. FINAL DECISIONS WILL BE MADE ONCE TENANTS ARE KNOWN.
- 13.) STREET TREES WILL BE PROVIDED ON ALL PUBLIC RIGHTS-OF-WAY PER LDC CHAPTER 10 REQUIREMENTS.
- 14.) LOADING AREAS WILL BE SCREENED FROM ADJACENT STREETS AND RESIDENTIAL USES AS REQUIRED BY THE LAND DEVELOPMENT CODE. SCREENING MAY INCLUDE (BUT IS NOT LIMITED TO) FENCING AND LANDSCAPING.

EPSC NOTES

- THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED EPSC PLAN MUST BE REVIEWED AND APPROVED BY M.S.D.'S PRIVATE DEVELOPMENT REVIEW OFFICE. EPSC BMPs SHALL BE INSTALLED PER THE PLAN AND M.S.D. STANDARDS.
- ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOILS TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.
- SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES, AND CATCH BASINS. STOCKPILES SHALL BE SEEDED, MULCHED, AND ADEQUATELY CONTAINED THROUGHOUT THE USE OF SILT FENCING.
- ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING STRUCTURES PER M.S.D. STANDARD DRAWING ER-02.

WHERE CONSTRUCTION OR LAND DISTURBANCE ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NOT LATER THAN 14 CALENDAR DAYS AFTER THE ACTIVITY HAS CEASED.

EPSC CONCEPT PLAN

- INSTALL SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE.
- EXISTING TEMPORARY SEDIMENT BASIN SHALL BE CHECKED & MAINTAINED THROUGHOUT PROJECT.
- BEGIN SITEWORK GRADING AND STORM SEWER CONSTRUCTION.
- REMOVE TEMPORARY SEDIMENT BASIN & STABILIZE SITE.
- REMOVE SILT FENCE AND INLET PROTECTION ONCE VEGETATION IS ESTABLISHED.

UTILITY NOTES

- 1.) ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER "B.U.D." (TOLL FREE PHONE NO. 1-800-382-5544) 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS AND WATER LINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.
- 2.) THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, NATURE, AND STATUS OF ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION AREA WHETHER SHOWN ON THE PLANS OR NOT, AND SHALL EXTEND, ADJUST OR RECONSTRUCT TO THE SIZE AND LOCATION AS SHOWN ON THE ARCHITECTS PLANS.

SITE DATA

EXISTING ZONING: EXISTING FORM DISTRICT: SUBURBAN WORKPARK E21
PROPOSED USE: VACANT/INDUSTRIAL
BUILDING HEIGHT: 45'
GROSS SITE AREA: 99.19 ACS
AREA IN ROW: 14.45 ACS
NET AREA: 97.74 ACS

	TRACT 1	TRACT 2	TRACT 3	TRACT 4	TRACT 5	TOTAL
SITE AREA (SF):	20,23	20,80	9,49	25,32	21,90	97,74
BUILDING (SF):	244,350	294,500	80,000	135,100	181,800	945,750
FAR:	0.28	0.33	0.22	0.12	0.19	0.22

PARKING CALCULATIONS

	MIN. PARKING REQUIRED:	1 PARKING SPACE/10,000 SF OF BUILDING	1 PARKING SPACE/500 SF OF BUILDING
MAX. PARKING ALLOWED:			
MIN. MAX.			
TRACT 1:	24 SPACES	489 SPACES	198 SPACES
TRACT 2:	29 SPACES	589 SPACES	216 SPACES
TRACT 3:	9 SPACES	180 SPACES	93 SPACES
TRACT 4:	14 SPACES	270 SPACES	137 SPACES
TRACT 5:	18 SPACES	364 SPACES	149 SPACES
(EACH TRACT HAS 8 H.C. PARKING SPACES FOR A TOTAL OF 40 H.C. SPACES.)			

BICYCLE PARKING

	MIN BICYCLE PARKING REQUIRED	3 SPACES OR 10% OF REQUIRED PARKING
TRACT 1:	12 SPACES	12 SPACES
TRACT 2:	15 SPACES	16 SPACES
TRACT 3:	5 SPACES	8 SPACES
TRACT 4:	7 SPACES	8 SPACES
TRACT 5:	9 SPACES	10 SPACES

ILA CALCULATIONS

	VIA AREA	7.5% ILA REQUIRED	ILA PROVIDED
TRACT 1:	278,415 SF	20,881 SF	37,670 SF
TRACT 2:	263,998 SF	19,799 SF	22,724 SF
TRACT 3:	96,746 SF	7,256 SF	14,582 SF
TRACT 4:	188,859 SF	14,164 SF	31,668 SF
TRACT 5:	204,734 SF	15,355 SF	30,585 SF

TREE CANOPY CALCULATIONS

	EXISTING CANOPY	PRESERVED CANOPY	TOTAL LOT AREA	TREE CANOPY REQUIRED (25%)
TRACT 1:	<50%	0 SF	881,174 SF	220,294 SF
TRACT 2:	<50%	0 SF	905,986 SF	226,497 SF
TRACT 3:	<50%	0 SF	413,399 SF	103,350 SF
TRACT 4:	<50%	0 SF	1,102,771 SF	275,693 SF
TRACT 5:	<50%	0 SF	953,918 SF	238,480 SF
TOTAL:	<50%	0 SF	4,257,249 SF	1,064,314 SF

* ASSUMING 5% REDUCTION FOR GREEN TECHNOLOGY.

AMENITY AREA

	OFFICE AREA	10% AMENITY REQUIRED	AMENITY PROVIDED
TRACT 1:	7,500 SF	750 SF	750 SF
TRACT 2:	7,500 SF	750 SF	750 SF
TRACT 3:	7,500 SF	750 SF	750 SF
TRACT 4:	7,500 SF	750 SF	750 SF
TRACT 5:	7,500 SF	750 SF	750 SF

(AMOUNT OF OFFICE SPACE IS AN ESTIMATE. AMENITY AREA SIZES WILL BE ADJUSTED ACCORDINGLY WHEN ARCHITECTURAL PLANS ARE COMPLETE.)

IMPERVIOUS AREA CALCULATIONS

SITE AREA:	4,320,611 SF (99.19 ACS)
EXISTING IMPERVIOUS AREA:	900,237 SF (20.67 ACS)
PROPOSED IMPERVIOUS AREA:	2,075,660 SF (47.65 ACS)
DIFFERENCE:	1,175,423 SF (26.98 ACS)

PREVIOUSLY APPROVED REQUESTS

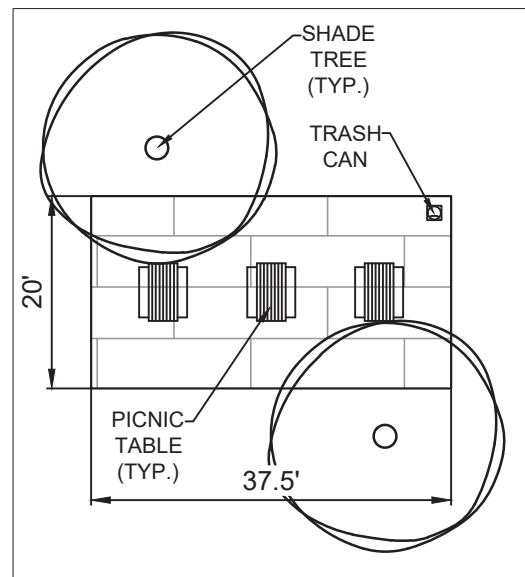
1. VARIANCE TO ENCRACH INTO 100' STREAM BUFFER FOR WEAVERS RUN.
2. WAIVER TO ENCRACH INTO THE PROPERTY PERMETER LANDSCAPE BUFFER ADJACENT TO THE KNOTT PROPERTY. (NO LONGER REQUIRED)
3. MODIFIED VARIANCE TO ENCRACH INTO 100' STREAM BUFFER FOR WEAVERS RUN.

NEW REQUESTS

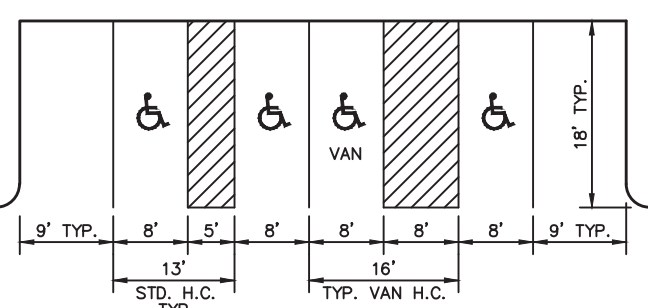
1. WAIVER TO ENCRACH INTO THE REQUIRED PROPERTY PERMETER LANDSCAPE BUFFER ALONG THE MSD PROPERTY TO THE EAST.

LEGEND

- EX. STORM SEWER
- PROP. STORM SEWER
- EX. SANITARY SEWER
- PROP. SANITARY SEWER
- FM
- PROP. FORCE MAIN
- EX. PROPERTY LINE TO BE REMOVED
- EX. GAS LINE
- EX. OVERHEAD UTILITY LINE
- EX. UTILITY POLE
- EX. WATER LINE
- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- LIMITS OF DISTURBANCE
- EX. ZONING BOUNDARY
- EX. FORM DISTRICT BOUNDARY
- PROP. FLOW ARROW
- JURISDICTIONAL WETLAND
- IMPACTED WETLAND
- 20-30% SLOPES
- 30%+ SLOPES



AMENITY AREA DETAIL



TYPICAL PARKING SPACES



NO.	REVISION	DATE
1	REVISION	06/25/23
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