

X:\AA-Projects-2018\18014 - CDJR of Louisville Preliminary\18014 - CO3 - ZONING PREAPPLICATION PLAN - CDJR OF LOUISVILLE.dwg PLOT DATE: June 12, 2018 - 3:30pm



**OWNER**  
 TT OF C LOUISVILLE, INC.  
 505 S FLAGLER DR, STE 1400  
 WEST PALM BEACH, FL 33401

**SITE DATA**  
 5315 DIXIE HWY  
 LOUISVILLE, KY 40216  
 TAX BLOCK 1026, LOT 467  
 D.B. 11085, PG. 521  
 D.B. 11080, PG. 512  
 SITE AREA ±0.787 ACRES (34,282 SF)  
 FORM DISTRICT SUBURBAN MARKETPLACE CORRIDOR  
 EX. ZONING C-1  
 PR. ZONING C-2  
 EX. LAND USE AUTOMOBILE REPAIR  
 PR. LAND USE AUTOMOBILE SALES & SERVICE  
 EX. FLOOR AREA 7,227 S.F.  
 PR. FLOOR AREA 2,925 S.F.  
 PR. FLOOR AREA RATIO 0.09%

**SETBACK DATA**  
 MIN. FRONT YARD(MAJ. ART) 65' FROM ROAD CENTER LINE  
 MAX. FRONT YARD 275'  
 STREET SIDE YARD N/A  
 SIDE YARD 0'  
 REAR YARD 0'  
 MAX. BUILDING HEIGHT 60'

**LANDSCAPE DATA**  
 THIS PROJECT DOES NOT MEET THE REQUIREMENTS TO TRIGGER CHAPTER 10 REQUIREMENTS OR REVIEW. LANDSCAPE PLAN APPROVAL FROM PDS IS NOT REQUIRED.  
 EXISTING V.U.A. 24,886 SF  
 PROPOSED V.U.A. 0 SF

**IMPERVIOUS AREA**  
 PRE 29,853 S.F.  
 POST 28,728 S.F.  
 NET DECREASE OF 1,125 S.F.  
 PERCENTAGE OF CHANGE -4%

**PARKING SUMMARY**  
 \*THE 8 REQUIRED PARKING SPACES FOR THIS SITE WILL BE PROVIDED BY THE ADJACENT PROPERTY LOCATED AT 5311 DIXIE HWY

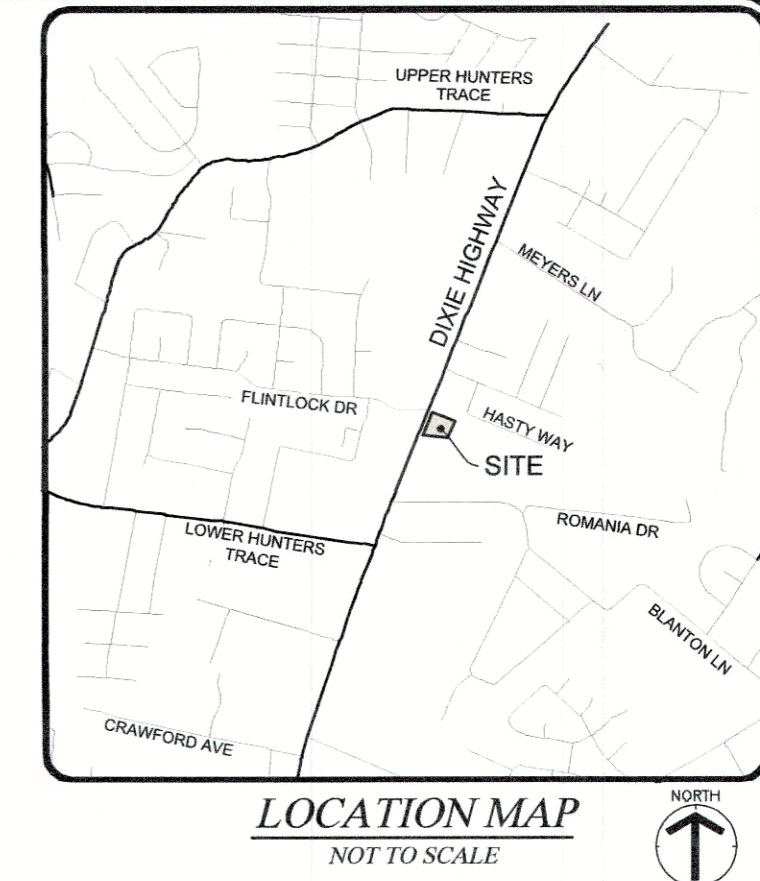
**5315 DIXIE HWY**  
 MOTOR VEHICLE SALES(OUDOOR DISPLAY) 11,799 S.F.  
 MINIMUM PARKING REQUIRED (1 SPACE/1,000 S.F.) 2 SPACES  
 MAXIMUM PARKING PERMITTED (1 SPACE/2,000 S.F.) 2 SPACES  
 AUTO SERVICE ESTABLISHMENT  
 MINIMUM PARKING REQUIRED (1 SPACE PER EMPLOYEE & 2 PER BAY) 6 SPACES  
 MAXIMUM PARKING PERMITTED (1 SPACE PER EMPLOYEE & 2 PER BAY) 18 SPACES  
 EMPLOYEES ON SHIFT 2  
 SERVICE BAYS 4

**5311 DIXIE HWY - PER 9-139-85**  
 PARKING MINIMUM REQUIRED 51 SPACES  
 (24,748 SF OUDOOR DISPLAY, 1,000 SF INDOOR DISPLAY, 17 SERVICE BAYS, 25 EMPLOYEES)  
 PARKING MAXIMUM PERMITTED 108 SPACES  
 (24,748 SF OUDOOR DISPLAY, 1,000 SF INDOOR DISPLAY, 17 SERVICE BAYS, 25 EMPLOYEES)  
 PARKING PROVIDED 77 SPACES  
 (INCLUDING 4 HANDICAPPED)

- GENERAL NOTES**
- DOMESTIC WATER SUPPLY: SUBJECT SITE TO BE SERVED BY THE LOUISVILLE WATER COMPANY. THE NECESSARY WATER SYSTEM IMPROVEMENTS REQUIRED TO SERVICE THE DEVELOPMENT SHALL BE AT THE OWNER / DEVELOPER'S EXPENSE.
  - THE DEVELOPMENT LIES IN THE PLEASURE RIDGE PARK FIRE DISTRICT.
  - ALL SITE LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD AND AWAY FROM ALL ADJUTING RESIDENTIAL AREAS.
  - ALL DUMPSTER PADS, TRANSFORMERS, AC UNITS TO BE SCREENED IN COMPLIANCE WITH CHAPTER 10.
  - MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT PARTICULATE MATTER FROM REACHING EXISTING ROADS AND NEIGHBORING PROPERTIES.
  - COMPATIBLE UTILITY LINES (ELECTRIC, PHONE, CABLE) SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED/PERMITTED BY APPROPRIATE AGENCIES.
  - KYTC APPROVAL IS REQUIRED PRIOR TO MSD CONSTRUCTION PLAN APPROVAL.
  - A CROSS ACCESS AGREEMENT WILL BE ESTABLISHED BETWEEN THE ADJACENT PROPERTY TO THE NORTH (5311 DIXIE HWY) AND THIS SITE (5315 DIXIE HWY), PRIOR TO PERMITTING.

**75 VEHICLE DISPLAY SPACES AVAILABLE**

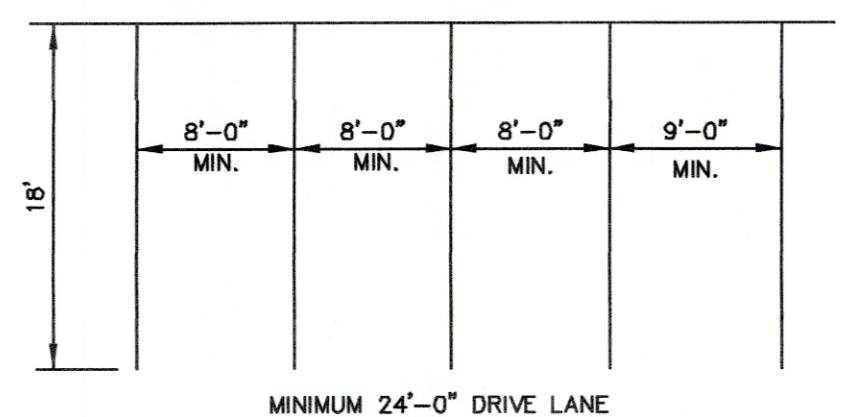
**SITE DISTURBANCE AREA**  
 TOTAL SITE DISTURBANCE AREA 34,282 SF(0.787 ACRES)



- LEGEND**
- EX. TREE
  - EX. FIRE HYDRANT
  - EX. LIGHT POLE
  - EX. UTILITY POLE
  - EX. SIGN
  - EX. PROPERTY LINE
  - EX. FENCE
  - EX. WATER LINE
  - EX. GAS LINE
  - EX. OVERHEAD ELECTRIC
  - EX. UNDERGROUND ELECTRIC
  - EX. SWALE
  - EX. STORM SEWER
  - EX. SANITARY SEWER
  - EX. CONCRETE
  - EX. EDGE OF PAVEMENT
  - PR. STORM SEWER
  - PR. SANITARY SEWER
  - PR. PROPERTY SERVICE CONNECTION
  - PR. ELECTRIC W/ TRANSFORMER
  - PR. WATER LINE
  - PR. GAS LINE
  - PR. SWALE
  - PR. CONCRETE
  - PR. EDGE OF PAVEMENT
  - PR. FENCE
  - PR. SILT FENCE
  - PR. FIRE HYDRANT
  - PR. LIGHT POLE
  - PR. SIGN
  - LIMITS OF EXISTING BUILDING TO BE REMOVED
  - LIMITS OF EXISTING BUILDING TO REMAIN
  - PR. DRAINAGE FLOW ARROWS

**UTILITY NOTE:**  
 ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY KENTUCKY 811 (PHONE NO. 811) FORTY EIGHT HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

Revision	Date	Description	Detailled by



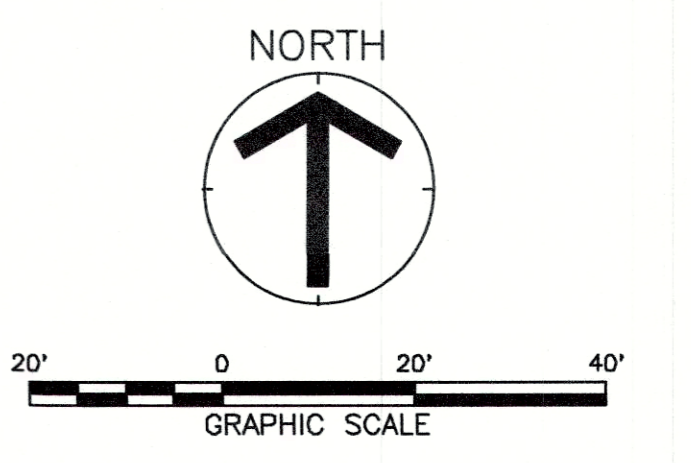
TYPICAL PARKING/DISPLAY SPACE LAYOUT  
 NOT TO SCALE



- MSD NOTES**
- CONSTRUCTION PLANS AND DOCUMENTS SHALL COMPLY WITH LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT'S DESIGN MANUAL AND STANDARD SPECIFICATIONS AND OTHER LOCAL, STATE AND FEDERAL ORDINANCES.
  - WASTEWATER: SANITARY SEWER SERVICE WILL BE PROVIDED BY THE EXISTING PROPERTY SERVICE CONNECTION AND IS SUBJECT TO APPLICABLE FEES. SANITARY SEWER FLOW WILL BE TREATED AT THE DEREK R. GUTHRIE WATER QUALITY TREATMENT CENTER.
  - DRAINAGE: DRAINAGE PATTERN DEPICTED BY ARROWS ( ) IS FOR CONCEPT PURPOSES ONLY. FINAL CONFIGURATION AND SIZE OF DRAINAGE PIPES, CHANNELS AND WATER QUALITY METHODS SHALL BE DETERMINED DURING THE CONSTRUCTION PLAN DESIGN PROCESS. DRAINAGE FACILITIES SHALL CONFORM TO MSD REQUIREMENTS. USE OF EX. DRAINAGE CONNECTIONS & STORM WATER REQUIREMENTS SHALL BE COORDINATED WITH MSD.
  - NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN A FLOOD HAZARD AREA PER FEMA'S FIRM MAPPING, (2111100072E - DATED: REV. DECEMBER 5, 2006).
  - AN EPSC PLAN WILL BE SUBMITTED TO MSD FOR APPROVAL PRIOR TO ANY CONSTRUCTION ACTIVITY.
  - THIS PROJECT IS SUBJECT TO MS4 WATER QUALITY REGULATIONS ONCE THE INCREMENTAL AREA OF DISTURBANCE SUMS EQUAL TO OR GREATER THAN 1 ACRE OF DISTURBANCE PER THIS PRELIMINARY DEVELOPMENT PLAN, THE AREA OF DISTURBANCE IS 34,282 SF.
  - THERE SHALL BE NO INCREASE IN STORM WATER ONTO 5317 DIXIE HWY AS A RESULT OF THIS PROJECT.

- EROSION CONTROL NOTES**
- THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED SWPPP PLAN MUST BE REVIEWED AND APPROVED BY MSD'S PRIVATE DEVELOPMENT REVIEW OFFICE. SWPPP BMP'S SHALL BE INSTALLED PER THE PLAN AND MSD STANDARDS.
  - ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.
  - SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES, AND CATCH BASINS. SOIL STOCKPILES SHALL BE SEEDED, MULCHED, AND ADEQUATELY CONTAINED THROUGH USE OF SILT FENCE.
  - WHERE CONSTRUCTION OR LAND DISTURBANCE ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 CALENDAR DAYS AFTER THE ACTIVITY HAS CEASED.
  - SEDIMENT LADEN GROUND WATER ENCOUNTERED DURING THE TRENCHING, BORING, OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE, AND/OR CATCH BASIN.

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 PLANNING &  
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CASE# 18ZONE1027 WM# 11773

**HERITAGE ENGINEERING, LLC**  
 642 South 4th Street  
 Louisville, KY 40202  
 (502) 562-1412  
 (502) 562-1413 Fax

ENGINEER:  
 603 North Shore Drive  
 Louisville, KY 40210  
 (812) 280-8201  
 (812) 280-8281 Fax

PROJECT:  
**CHRYSLER, DODGE, JEEP, RAM OF LOUISVILLE**  
 LOUISVILLE, KENTUCKY 40216

DEVELOPMENT PLAN FOR  
**CDJR OF LOUISVILLE**  
 5315 DIXIE HWY  
 LOUISVILLE, KY 40216

JOB NO: 18014  
 HORIZ. SCALE: 1"=20'  
 VERT SCALE: N/A  
 DESIGNED BY: SQH  
 DETAILED BY: SQH  
 CHECKED BY: SWH  
 DATE: APRIL 16, 2018

SHEET  
**C03**

18 ZONE 1027