

NOTES

- 1.) WASTEWATER: SANITARY SEWER WILL CONNECT TO THE MORRIS FORMAN WASTEWATER TREATMENT PLANT BY LATERAL EXTENSION AGREEMENT, SUBJECT TO FEES. SANITARY SEWER PATTERN DEPICTED FOR CONCEPTUAL PURPOSES ONLY. FINAL CONFIGURATION AND SIZE OF SEWER PIPES SHALL BE DETERMINED DURING THE CONSTRUCTION PLAN DESIGN PROCESS. SANITARY SEWER FACILITIES SHALL CONFORM TO MSD REQUIREMENTS.
- 2.) DRAINAGE / STORM WATER DETENTION: POST-DEVELOPED PEAK FLOWS WILL NOT EXCEED PRE-DEVELOPED PEAK FLOWS FROM DEVELOPMENT FOR THE 2.10 & 100 YEAR STORMS. FINAL CONFIGURATION AND SIZE OF DRAINAGE PIPES AND CHANNELS SHALL BE DETERMINED DURING THE CONSTRUCTION PLAN DESIGN PROCESS. DRAINAGE FACILITIES SHALL CONFORM TO MSD REQUIREMENTS. APPROXIMATE DETENTION VOLUME REQUIRED:
 $(2.8/12) \times (0.50-0.28) \times 4.46 \text{ AC} = 0.25 \text{ AC-FT.}$
- 3.) THE DEVELOPMENT LIES IN THE WORTHINGTON FIRE DISTRICT. CONSTRUCTION PLANS SHALL BE REVIEWED AND APPROVED BY THE JEFFERSONTOWN FIRE DISTRICT.
- 4.) NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN A FLOOD HAZARD AREA PER FEMA'S FIRM MAPPING, (21111C018E).
- 5.) THE DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE APPROVED PRELIMINARY PLAN. NO FURTHER SUBDIVISION OF LAND INTO A GREATER NUMBER OF LOTS THAN ORIGINALLY APPROVED SHALL OCCUR, WITHOUT THE APPROVAL OF PLANNING COMMISSION.
- 6.) CONSTRUCTION PLANS, BOND AND PERMIT ARE REQUIRED BY METRO PUBLIC WORKS PRIOR TO CONSTRUCTION APPROVAL.
- 7.) ALL STREETS AND RIGHTS OF WAY SHALL MEET THE REQUIREMENTS OF CHAPTER 6 OF THE LAND DEVELOPMENT CODE.
- 8.) MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE PARTICULATE EMISSIONS FROM REACHING EXISTING ROADS AND NEIGHBORING PROPERTIES.
- 9.) MOSQUITO CONTROL WILL BE PROVIDED IN ACCORDANCE WITH CHAPTER 96 OF THE LOUISVILLE JEFFERSON COUNTY METRO GOVERNMENT ORDINANCES.
- 10.) COMPATIBLE UTILITIES SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPROPRIATE AGENCIES.
- 11.) THE FINAL DESIGN OF THIS PROJECT MUST MEET ALL MS4 WATER QUALITY REGULATIONS ESTABLISHED BY MSD.
- 12.) A KARST SURVEY WAS PERFORMED BY MATT WOLFF ON MARCH 23, 2017 AND NO SURFACE EVIDENCE OF KARST FEATURES WAS FOUND IN ACCORDANCE WITH LDC CHAPTER 4.5.
- 13.) CURB AND GUTTER SHALL BE PROVIDED ALONG ALL STREETS IN THE DEVELOPMENT.
- 14.) IF SITE HAS THRU DRAINAGE AND EASEMENT PLAT WILL BE REQUIRED PRIOR TO MSD GRANTING CONSTRUCTION PLAN APPROVAL.
- 15.) MSD DRAINAGE BOND REQUIRED PRIOR TO CONSTRUCTION PLAN APPROVAL.

UTILITY NOTES

ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY KENTUCKY 811 (PHONE 811, WWW.KENTUCKY811.COM) FORTY EIGHT HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND WATERLINES). WHEN CONTACTING KENTUCKY 811 CALL CENTER, PLEASE STATE THAT THE WORK TO BE DONE IS FOR A PROPOSED MSD SEWER OR DRAINAGE FACILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

BENCH MARK (NAVD 88 DATUM)

GPS-48 - THE STATION IS ±2000' SW OF THE HIGHWAY 22/GENE SNYDER FREEWAY INTERCHANGE AT THE SOUTHWEST CORNER OF SPRINGDALE RD. AND HIGHWAY 22 (BROWNSBORO RD.), 195' NORTHWEST OF THE CENTERLINE OF HWY. 22, 42.5' SW OF THE WESTERN CURB OF SPRINGDALE RD. 34.5' SW OF THE WESTERN EDGE OF A CONCRETE WALK PARALLELING SPRINGDALE.
ELEV. 670.30



SWPPP NOTES

THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED EPSC PLAN MUST BE REVIEWED AND APPROVED BY MSD'S PRIVATE DEVELOPMENT REVIEW OFFICE. EPSC BMP'S SHALL BE INSTALLED PER THE PLAN AND MSD STANDARDS.

DETENTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PERFORM AS SEDIMENT BASINS DURING CONSTRUCTION UNTIL THE CONTRIBUTING DRAINAGE AREAS ARE SEEDED AND STABILIZED. ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOILS TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.

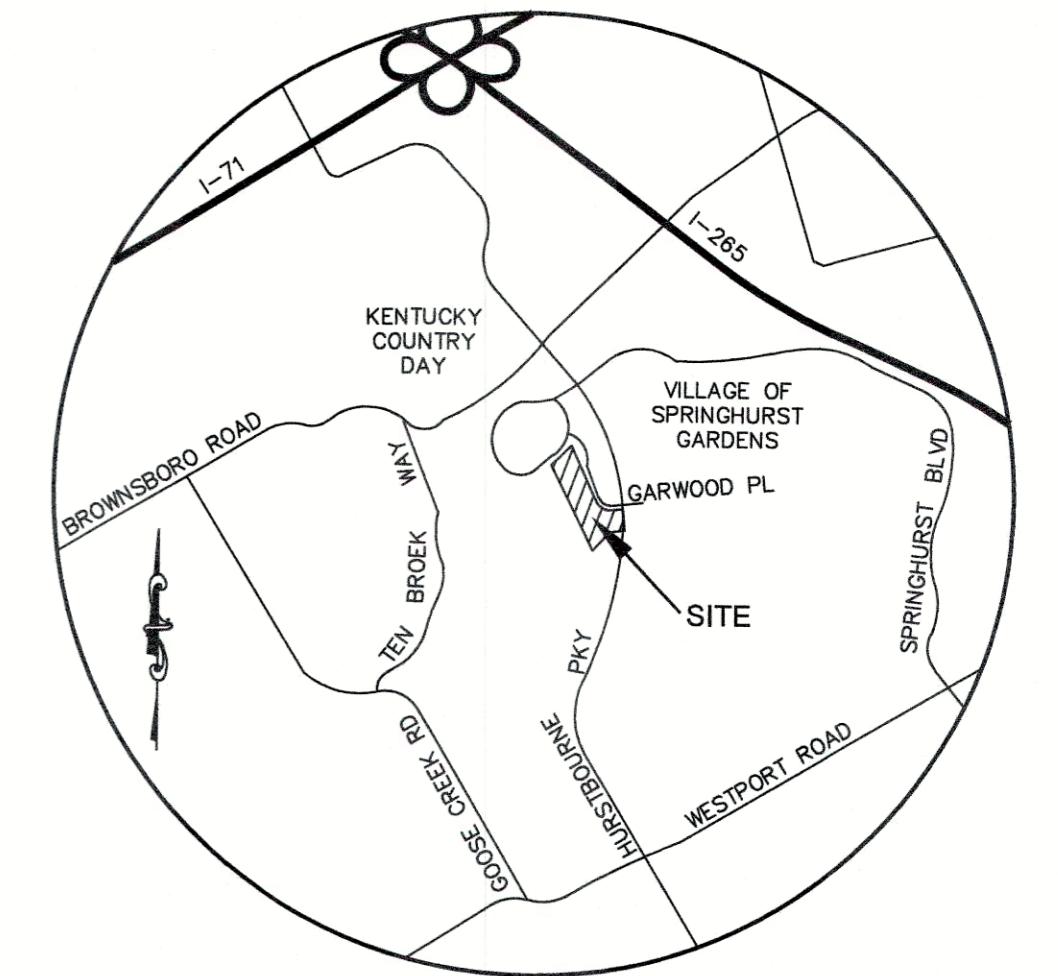
SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES, AND CATCH BASINS. STOCKPILES SHALL BE SEEDING, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCING. ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING STRUCTURES PER MSD STANDARD DRAWING ER-02.

WHERE CONSTRUCTION OR LAND DISTURBANCE ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 CALENDAR DAYS AFTER THE ACTIVITY HAS CEASED.

SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGE INTO A STREAM, POND, SWALE OR CATCH BASIN.

EPSC PHASING

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. INSTALL PERIMETER SILT FENCING AND DITCH CHECKS.
3. IF APPLICABLE, CONSTRUCT DETENTION BASIN TO BE UTILIZED AS A TEMPORARY SEDIMENT BASIN DURING CONSTRUCTION.
4. BEGIN SITE GRADING.
5. CONSTRUCT SANITARY SEWERS.
6. CONSTRUCT STORM DRAINAGE AND INSTALL ASSOCIATED INLET PROTECTION.
7. CONSTRUCT ROADWAYS.
8. ESTABLISH VEGETATION.
9. REMOVE EPSC MEASURES ONCE DISTURBED AREA IS STABILIZED.



LOCATION MAP
NO SCALE

LEGEND

- EX. 2' CONTOUR
- EX. 10' CONTOUR
- PROP. STORM SEWER
- EX. STORM SEWER
- PROP. SANITARY SEWER
- EX. SANITARY SEWER
- PROPOSED FLOW ARROW
- TREE CANOPY PROTECTION AREA (TCPA)
- EXISTING TREE LINE
- PROPOSED TREE LINE
- SILT FENCE
- TREE PROTECTION FENCE
- TREE PROTECTION & SILT FENCE
- TEMPORARY CONSTRUCTION ENTRANCE
- ZONING LINE
- WAIVER REQUEST

SITE DATA

EXISTING ZONING: R-4/R-5A
 EXISTING FORM DISTRICT: NEIGHBORHOOD VACANT
 PROPOSED USE: SINGLE-FAMILY RESIDENTIAL
 GROSS SITE AREA: 4.44 ACRES/193,309 SF
 AREA IN R.O.W.: 1.08 ACRES/47,194 SF
 NET SITE AREA: 3.36 ACRES/146,115 SF
 BUILDABLE LOTS: 12 LOTS
 GROSS DENSITY: 2.70 DU/AC
 NET DENSITY: 3.57 DU/AC

YARD REQUIREMENTS

FRONT YARD: R-4/ R-5A 30' / 20'
 STREET SIDE YARD: 30' / 20'
 SIDE YARD: 5' / 5'
 REAR YARD: 25' / 25'

TREE CANOPY CALCULATIONS

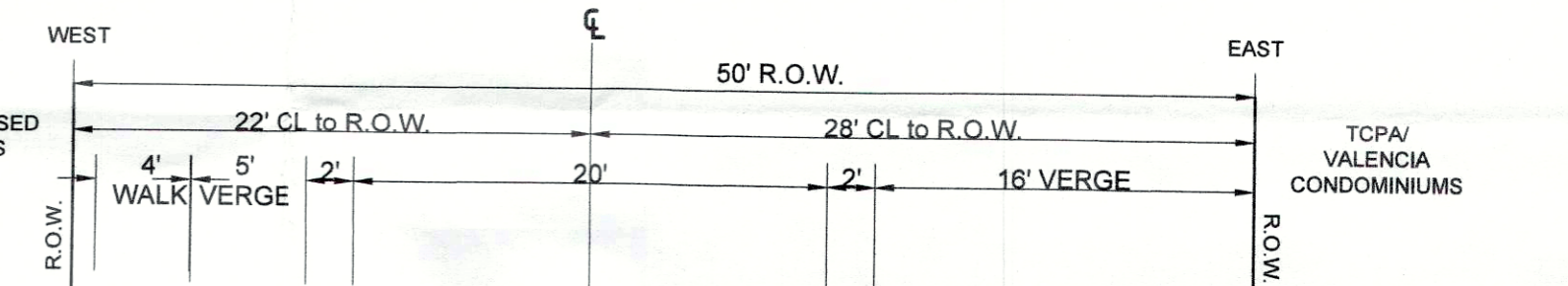
EXISTING SITE AREA: 4.44 ACRES/193,309 SF
 EXISTING TREE CANOPY: 91,880 SF (48%)
 EXISTING TREE CANOPY TO REMAIN: 17,790 SF (9%)
 TOTAL TREE CANOPY REQUIRED: 36,728 SF (19%)
 ADDITIONAL TREE CANOPY REQUIRED: 18,939 SF (10%)
 PROPOSED TREE CANOPY: 21,120 SF (11%)
 8- TYPE "A" 3" CAL. STREET TREES (1200SF) = 9,600 SF
 1 TREES PER LOT:
 12- TYPE "A", 3" CAL. TREES (960SF) = 11,520 SF

IMPERVIOUS CALCULATIONS

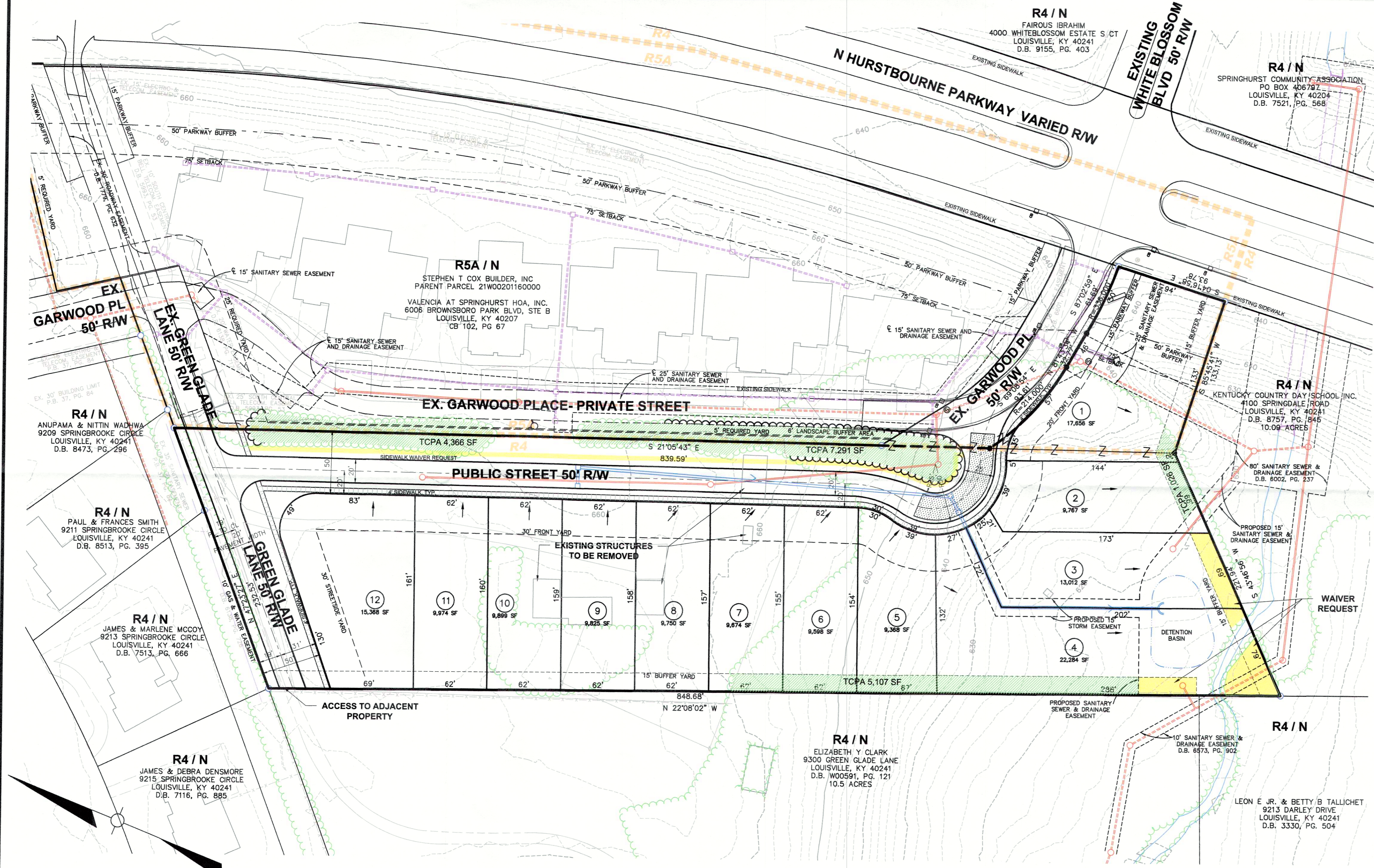
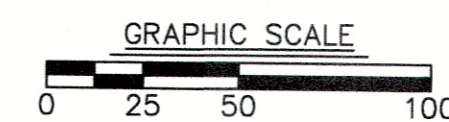
SITE AREA: 4.44 ACRES/193,309 SF
 EXISTING IMPERVIOUS AREA: 0 SF
 PROPOSED IMPERVIOUS AREA (ROADS ONLY): .43ACS/18,830 SF
 *LOTS WILL BE CUSTOM BUILT HOMES

WAIVER REQUEST

1. WAIVER FROM LDC CHAPTER 7.11.9.E.3.D & 5.8.1.B TO PROVIDE SIDEWALKS ONLY ON THE WESTERN SIDE OF THE PROPOSED STREET. SIDEWALK CONNECTIVITY TO HURSTBOURNE PARKWAY WILL BE PROVIDED ON BOTH SIDES OF GARWOOD PLACE.
2. WAIVER OF LDC CHAPTER 7.3.30, D AND F TO ALLOW AN MSD DRAINAGE EASEMENT AND DETENTION TO OVERLAP A 15'-FT REQUIRED BUFFER AND REAR YARD SETBACK BY MORE THAN 15% FOR LOTS 3 AND 4 OF THE PRELIMINARY SUBDIVISION PLAN.



PROPOSED STREET CROSS-SECTION
NOT TO SCALE



SABAK, WILSON & LINGO, INC
 ENGINEERS, LANDSCAPE ARCHITECTS & PLANNERS
 THE HENRY CLAY
 608 S. THIRD STREET,
 LOUISVILLE, KENTUCKY 40202
 (502) 584 - 6271

NO. REVISION	DATE
1	5/25/17
2	6/29/17

NO. REVISION AGENCY COMMENTS / REVISIONS 1 AGENCY COMMENTS / REVISIONS 2

SHEET TITLE: REVISIED GENERAL MAJOR PRELIMINARY SUBDIVISION PLAN
 PROJECT TITLE: GARWOOD PLACE SUBDIVISION
 9400 GREEN GLADE LANE, LOUISVILLE, KY 40241

WM # 11619
 CASE # 17SUBDIV1005

OWNER
 ESTATE OF PEGGY OTHEA HOWERTON
 5390 OLD LAGRANGE ROAD
 LOUISVILLE, KY 40241
 D.B. W00619, PG. 694

OWNER
 STEPHEN T COX BUILDER, INC
 4302 SANCUTARY BLUFF LANE
 LOUISVILLE, KY 40241
 NO DB/PG LISTED

DEVELOPER
 RALLE HOMES
 301 BARCELONA DRIVE
 LOUISVILLE, KY 40245

DESIGN SERVICES

RECEIVED
 JUN 05 2017
 DESIGN SERVICES

JOB NO. 3013
 SCALE: 1"=50'
 DATE: 03/27/17
 DRAWING NO:

PSP

SHEET 1 OF 1