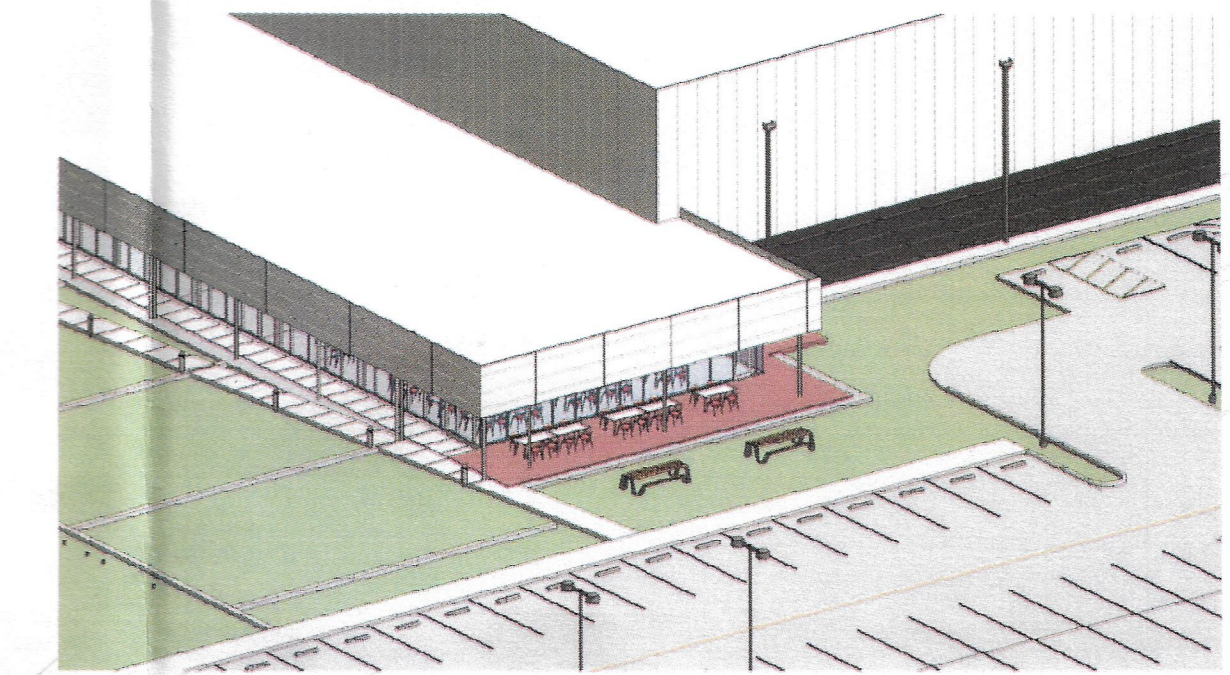


**PRELIMINARY**

SUBJECT TO CHANGE  
FOR REVIEW PURPOSES ONLY  
NOT FOR CONSTRUCTION

**AMENITY NOTES**

- 1. Amenity area 10% of the total office square footage for outdoor amenities = 3,400 sf



STAGE	DESCRIPTION	DATE	APPROVED

**DDS ENGINEERING, PLLC**  
LAND SURVEYING, ARCHITECTURAL, CIVIL AND ELECTRICAL ENGINEERING, CONSTRUCTION MATERIALS TESTING, AND SPECIAL INSPECTIONS  
148 CHESTER COURT  
BOWLING GREEN, KY 42103  
270-843-2247  
WWW.DDSENGINEERING.COM



**HOUSE FOODS AMERICA KY NEW FACILITY**  
6660 LEWIS LANE  
LOUISVILLE, KY 40272

**KAJIMA BUILDING & DESIGN GROUP, INC.**  
3490 PIEDMONT RD NE STE 900  
ATLANTA, GEORGIA, 30305

SCALE	1"=100'
DESIGNED BY	SHI
DRAWN BY	SHI
CHECKED BY	JWB
JOB NUMBER	22-5591
DRAWING NUMBER	15,604
DATE	04/10/2023
DISTRICT DEVELOPMENT PLAN	<b>C03.01</b>

**RECEIVED**  
AUG 28 2023  
PLANNING & DESIGN SERVICES

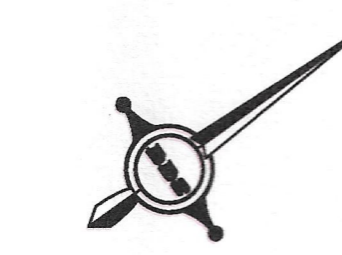


SCALE IN FEET  
1" = 100'  
CONTOUR INTERVAL = 1'

WM#10864

- GENERAL NOTES:**
- Wheel stops and protective curbing. Concert wheel stops or curbing at least six (6) inches high and six (6) inches wide shall be provided to prevent vehicles from overhanging abutting properties or public rights-of-way, to protect landscape area and to protect adjacent properties. Such wheel stops or curbing shall be located at least three (3) feet from any adjacent wall, fence, property line, woody vegetation, walkway or structure.
  - Street trees required.
  - For 22-DDP-0132-14045 Dixie Hwy no known historic or cultural resources will be affected.
  - Each proposed lot/building must connect to its own sanitary sewer PSC with a minimum six-inch sanitary sewer.
  - Owner must provide documentation of connect to sanitary sewer, PSC, with a minimum six-inch sanitary sewer.
  - All construction and sales trailers must be permitted by the Department of Public Health and Wellness in accordance with chapter 115 of Louisville Jefferson County Metro Ordinances.
  - Mosquito control in accordance with chapter 96 of Louisville Jefferson County Metro Ordinances.
  - Must comply with all current Metro Smoking Ordinances.
  - Plans must be submitted to the Health Dept. prior to construction.
  - Compatible utilities shall be placed in a common trench unless otherwise required by the responsible agencies.
  - Refuse area will be screened per chapter 10.

- MSD NOTES**
- Construction plans and documents shall comply with Louisville and Jefferson County Metropolitan Sewer District's Design Manual and Standard Specifications and other local, state, and federal ordinances.
  - Increased run off volume and fill in the floodplain has to be mitigated in the offsite mitigation basin.
  - LOMAR shall be submitted to the ACOE prior to certification of occupancy.
  - The final design of this project must meet all ms4 water quality regulations established by MSD. Site layout may change at the design phase due to proper sizing of Green Best Mgmt. Practices.
  - Sanitary sewer service provided by new PSC, subject to Fee's and any applicable charges.
  - An EPSC plan shall be developed and approved in accordance with MSD Design Manual and Standard Specifications prior to construction plan approval.
  - Sanitary sewer service to be approved by MSD.
  - All retail shops must have individual connections per MSD's fat, oil, and grease policy.



Lot 1B  
Riverport Phase 5  
D.B. 12227, Pg. 318  
Louisville and Jefferson County Riverport Authority  
D.B. 10364, Pg. 424  
ZONE: EZ-1  
ADDRESS: LEWIS LANE, LOUISVILLE, KY 40272  
FORM DISTRICT: SUBURBAN WORKPLACE

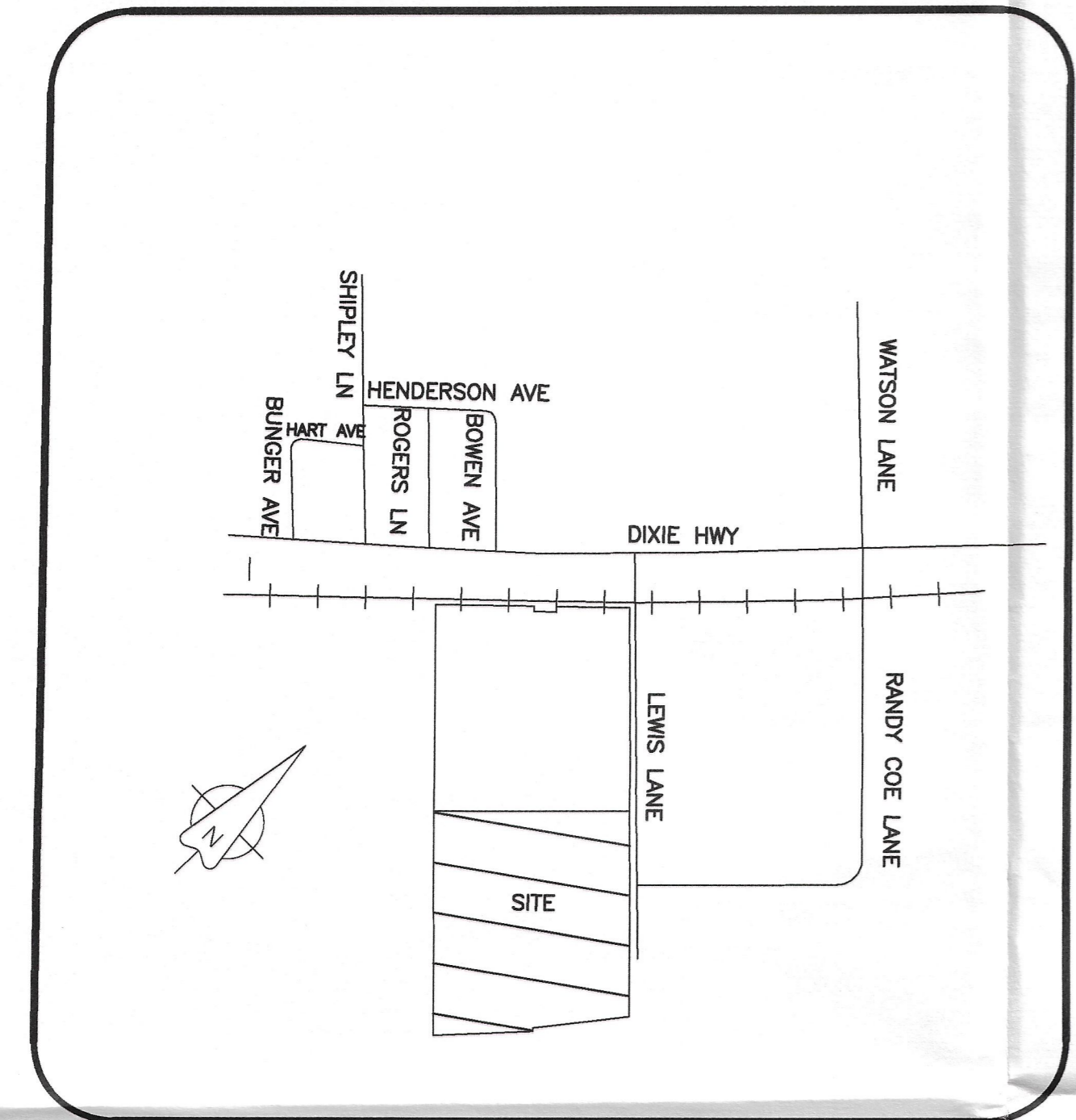
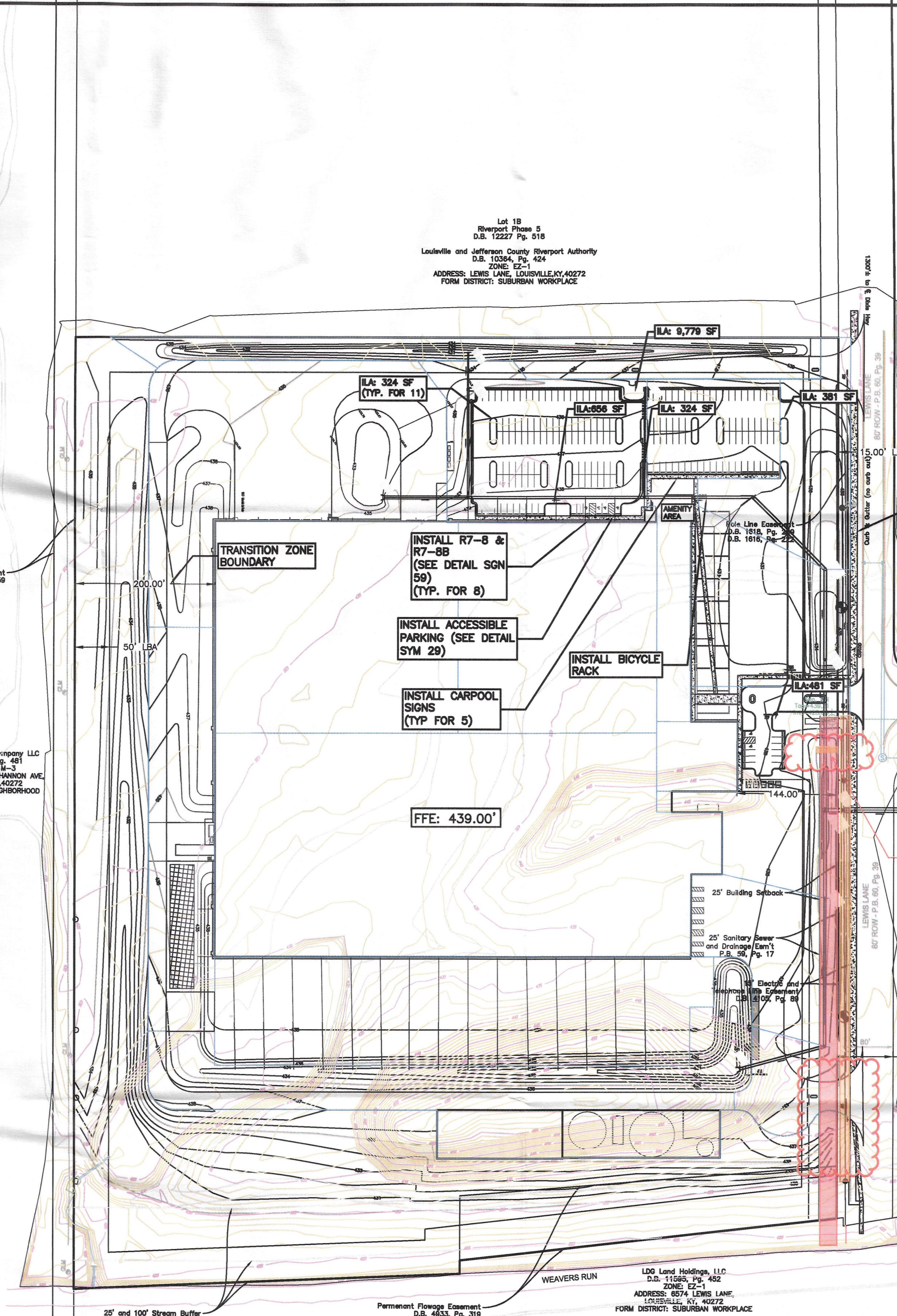
Parcel 2  
Riverport Phase 5  
P.B. 06, Pg. 17  
ZONE: EZ-1  
ADDRESS: 6650 RANDY COE LN,  
LOUISVILLE, KY 40272  
FORM DISTRICT: SUBURBAN WORKPLACE

Parcel 3  
Riverport Phase 5  
P.B. 06, Pg. 17  
ZONE: EZ-1  
ADDRESS: BOHANNON AVE,  
LOUISVILLE, KY 40272  
FORM DISTRICT: SUBURBAN WORKPLACE

LDG Land Holdings, LLC  
D.B. 11085, Pg. 482  
ZONE: EZ-1  
ADDRESS: 6574 LEWIS LANE,  
LOUISVILLE, KY 40272  
FORM DISTRICT: SUBURBAN WORKPLACE

30' LG&E Easement  
D.B. 4466, Pg. 59

Koornce Cement Company LLC  
D.B. 11640, Pg. 461  
ZONE: R-4, R-3  
ADDRESS: 14301 BOHANNON AVE,  
LOUISVILLE, KY 40272  
FORM DISTRICT: NEIGHBORHOOD



VICINITY MAP  
(NOT TO SCALE)

SITE DATA TABLE	
OWNER'S NAME	HOUSE FOODS HOLDING USA INC.
OWNER'S ADDRESS	7351 ORANGEWOOD AVENUE, GARDEN GROVE, CA 92841
SITE ADDRESS	6660 LEWIS LANE, LOUISVILLE, KY, 40272
TAX BLOCK	1059-0633-0000
ZONING OF PROPERTY	EZ-1
EXISTING USE	VACANT
PROPOSED USE	FOOD MANUFACTURING
SITE FORM DISTRICT	SUBURBAN WORKPLACE

PARKING REQUIREMENTS	
PROPOSED PARKING SPACES	191
MINIMUM SPACE REQUIREMENT	183
MAXIMUM SPACE REQUIREMENT	1,014
OFFICE : 33,000 SQ FT.	MANUFACTURING : 397,000 SQ FT.
MIN.=33000/400= 82.5 SPACES	MIN.=397,000/4000=99.25 SPACES
MAX.=33000/150= 220 SPACE	MAX.=397,000/500= 794 SPACES
MINIMUM= 83+100= 183	
MAXIMUM= 220+794=1,014	

TYPICAL PARKING DIMENSION	BICYCLE PARKING CALCULATIONS
STALL WIDTH 9'	BICYCLE SPACES 5
STALL LENGTH 18'	
TWO-WAY LENGTH 25'	

ROADWAY CLASSIFICATION	
LEWIS LANE	LOCAL
RANDY COE LANE	LOCAL
DIXIE HWY	URBAN OTHER PRINCIPAL ARTERIAL

BUILDING REQUIREMENTS	
MINIMUM FRONT SETBACK	25'
MINIMUM SIDE YARDS	0'
MINIMUM REAR YARD SETBACK	0'
TRANSITION ZONE BOUNDARY	200'
LANDSCAPE BUFFER AREA FROM R4	50'
PROPOSED HEIGHT REQUIREMENT	50'

GROSS FOOTAGE	
GROSS BUILDING FOOTPRINT AREA	430,000 SF
FLOOR AREA RATIO MAXIMUM	5.0
FLOOR AREA RATIO PROPOSED	1.62 SF
GROSS ACREAGE OF SITE	33.00 ACRES
GROSS FLOOR AREA OF BUILDING	430,000 SF
NET OF IMPERVIOUS AREA	13.14 ACRES
EXISTING IMPERVIOUS AREA	0 ACRES

LANDSCAPING	
TREE CANOPY CALCULATIONS 30%:	875556 SF
EXISTING TREE CANOPY	0%
PRESERVED TREE CANOPY	0%
TOTAL VUA SF	252,721 SF
ILA CALCULATIONS	7.5%
ILA REQUIRED SF	18,954 SF
ILA PROVIDED SF	19,716 SF

QUANTITIES	
CONCRETE PAVEMENT	13,899± SQ YD
HEAVY DUTY ASPHALT	6,896± SQ YD
LIGHT DUTY ASPHALT	9,242± SQ YD
CONCRETE SIDEWALK	17,726± SQ YD
RAMPS AND LANDINGS	50± SQ YD

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22-DDP-C132