

Louisville Metro Planning Commission Public Hearing - March 16, 2023

Louisville Metro Land Development & Transportation Committee - February 9, 2023

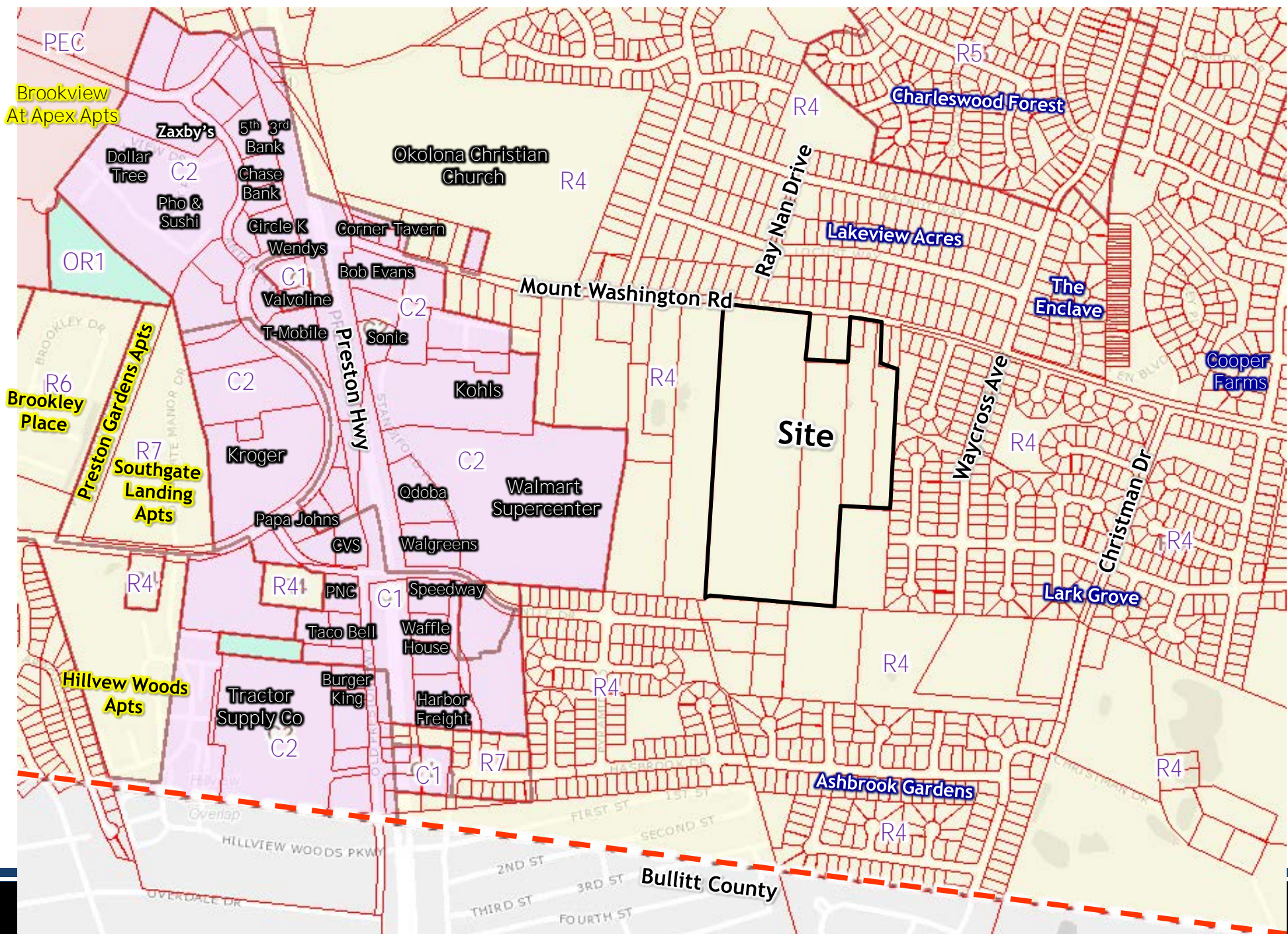
Louisville Metro Land Development & Transportation Committee - December 8, 2022

Neighborhood Meeting - March 22, 2022

Docket No. 21-ZONE-0136

Zone change from R-4 to R-7 to allow a 666-unit multifamily apartment community on property located at 5604, 5606, 5612, 5614 & 5616 Mt. Washington Road





Brookview
At Apex Apts

R6
Brookley
Place

R7
Preston Gardens Apts
Southgate
Landing
Apts

Hillview Woods
Apts

PEC

Zaxby's
Dollar Tree
C2
Pho & Sushi

5th 3rd
Bank
Chase Bank

Circle K
Wendys
C1
Valvoline
T-Mobile

C2

Kroger

Papa Johns
CVS

Tractor
Supply Co
C2

Okolona Christian
Church
R4

Corner Tavern
Bob Evans

C2

Kohls

Walmart
Supercenter
C2

Walgreens

Speedway

Taco Bell

Harbor
Freight

C1

Waffle House

Burger King

Mount Washington Rd

Ray Nan Drive

Site

Waycross Ave

Charleswood Forest

Lakeview Acres

The Enclave

Cooper
Farms

Lark Grove

Ashbrook Gardens

Bullitt County

HILLVIEW WOODS PKWY
OVERDALE DR

FIRST ST
SECOND ST
THIRD ST
FOURTH ST



SITE

Bullitt County

Brookview At Apex Apts

5th 3rd Bank Chase Bank Circle K

Okolona Christian Church

Charleswood Forest

Lakeview Acres

Mount Washington Rd

The Enclave

Cooper Farms

Brookley Place R6

Preston Gardens Apts

Southgate Landing Apts

Kroger

Kohls

Walmart Supercenter

Papa Johns CVS

Walgreens

PNC

Speedway

Taco Bell

Waffle House

Tractor Supply Co

Burger King

Harbor Freight

Hillview Woods Apts

Ashbrook Gardens

Lark Grove

HILLVIEW WOODS PKWY

THIRD ST SECOND ST

THIRD ST 3RD ST

FOURTH ST

Bullitt County

BENTWOOD DR



SITE

Bullitt County

Brookview At Apex Apts

5th 3rd Bank Chase Bank Circle K

Okolona Christian Church

Charleswood Forest

Lakeview Acres

Mount Washington Rd

The Enclave

Cooper Farms

Kohls

Walmart Supercenter

Kroger

Walgreens

Papa Johns CVS

Speedway

Taco Bell

Waffle House

Tractor Supply Co

Burger King

Harbor Freight

Hillview Woods Apts

Ashbrook Gardens

Lark Grove





SITE

Mt. Washington Road

Ray Nan Drive



View of site from Ray Nan Drive.



SITE

View of Mt. Washington Road from Ray Nan Drive looking east. Site is to the right.



SITE

House to be removed

Mt. Washington Road

Mt. Washington Rd



View of Mt. Washington Road looking west. Existing house to be removed is to the left.

← 5603 Mt Washington Rd
Louisville, Kentucky
Google Street View
Apr 2019 See more dates



SITE

House to be removed

Mt. Washington Road



Map
Washington Rd
Lang Self Sto
008 Ave

Google

View of existing house at 5604 Mt. Washington Road to be removed.

SITE



Mt. Washington Road

Mud Lane

Preston Hwy

Preston Hwy

View of Preston Hwy Intersection looking south. Site on left along Mt. Washington Road.



SITE

Mt. Washington Road

Preston Hwy

Mud Lane



View of Preston Hwy. Intersection from Mud Lane looking east towards site.

Mud Lane has dedicated left, through, and right turn lanes exiting to Preston. Also has two lanes entering.

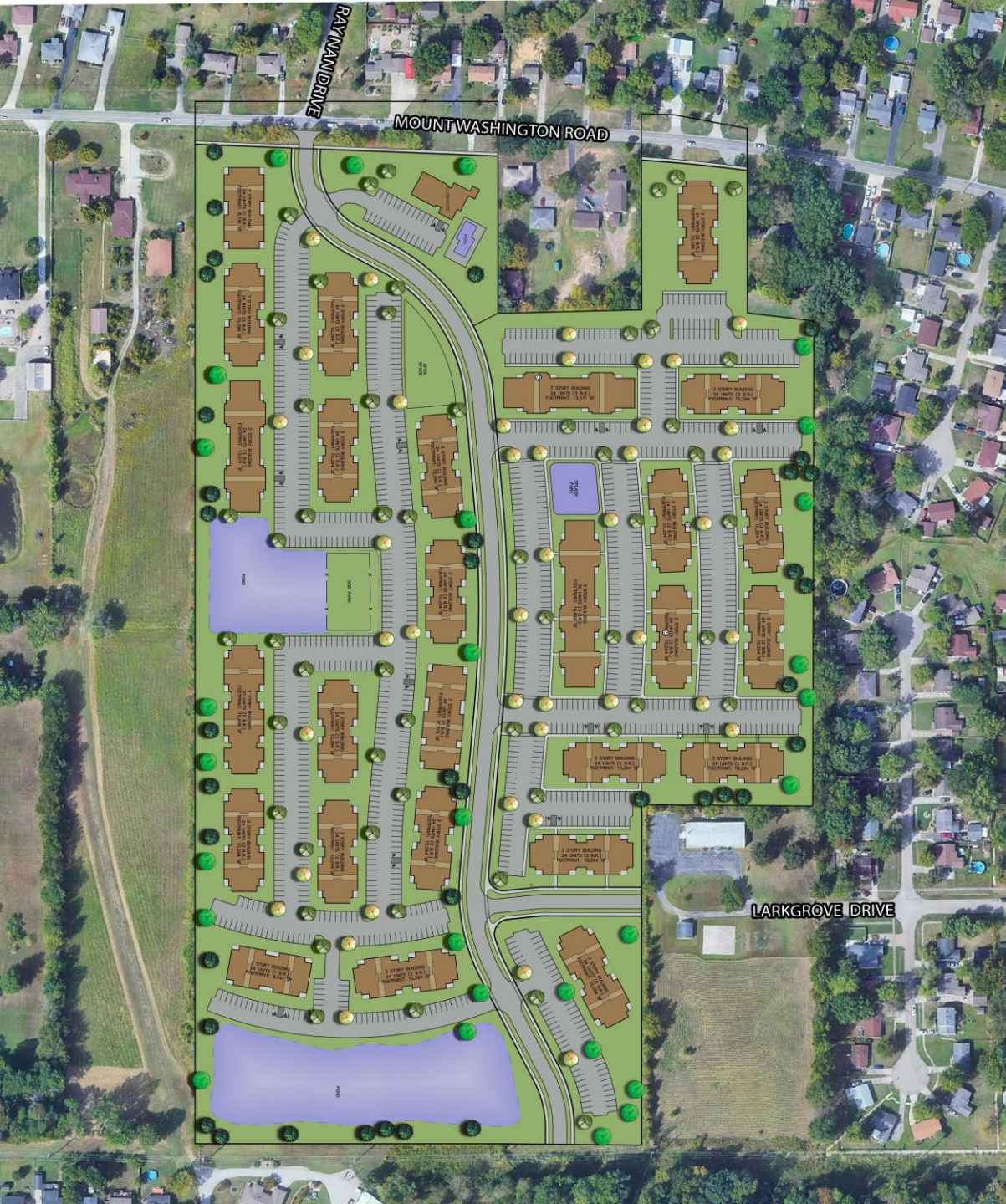
5234 Mt Washington Rd
Louisville, Kentucky
Google Street View
Jul 2021 See more dates



View of Mt. Washington Road looking west at Preston Hwy Intersection. Site is behind us in this picture.

Mt. Washington intersection not improved. Only one lane entering, and no dedicated left turn lane.





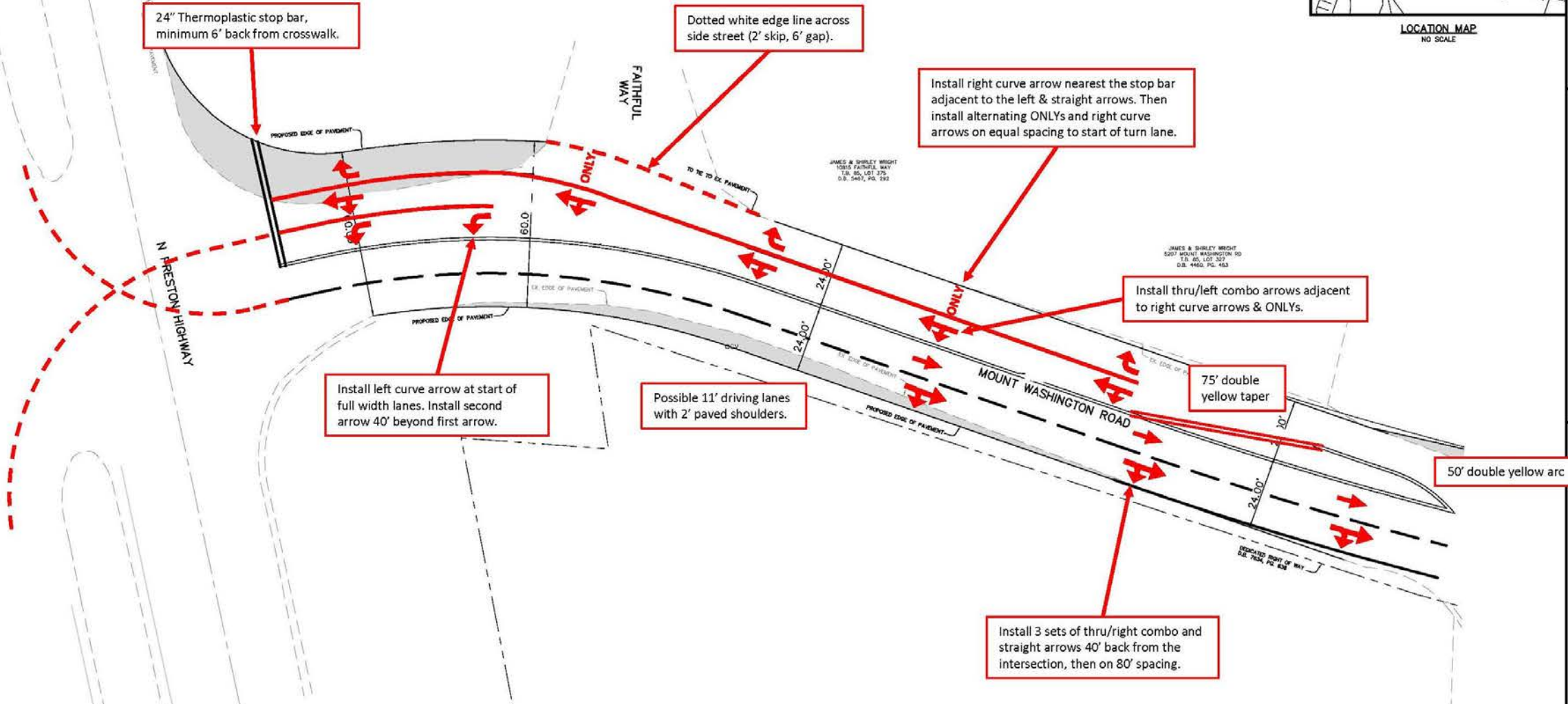
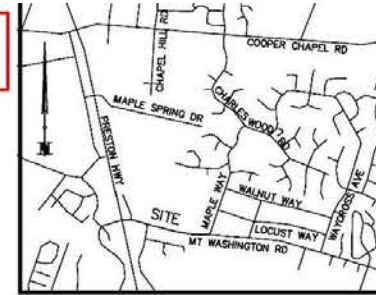
“Conceptual Site Plan”

Mt. Washington/Preston Hwy. Road & Intersection Improvements

- Extend/re-install 6" white thermoplastic crosswalks.
- Install 6-inch white thermoplastic dual left turn intersection tracking (2' skip, 6' gap). Break for crosswalks.

- All long line striping shall be 6-inch permanent paint.
- All intersection markings (stop bar, arrows, etc.) shall be thermoplastic

At locations with earth shoulders, adjust lane widths to provide for an approximate 2' paved shoulder where possible.

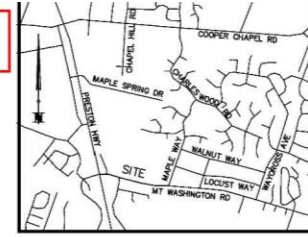


“Conceptual Site Plan”

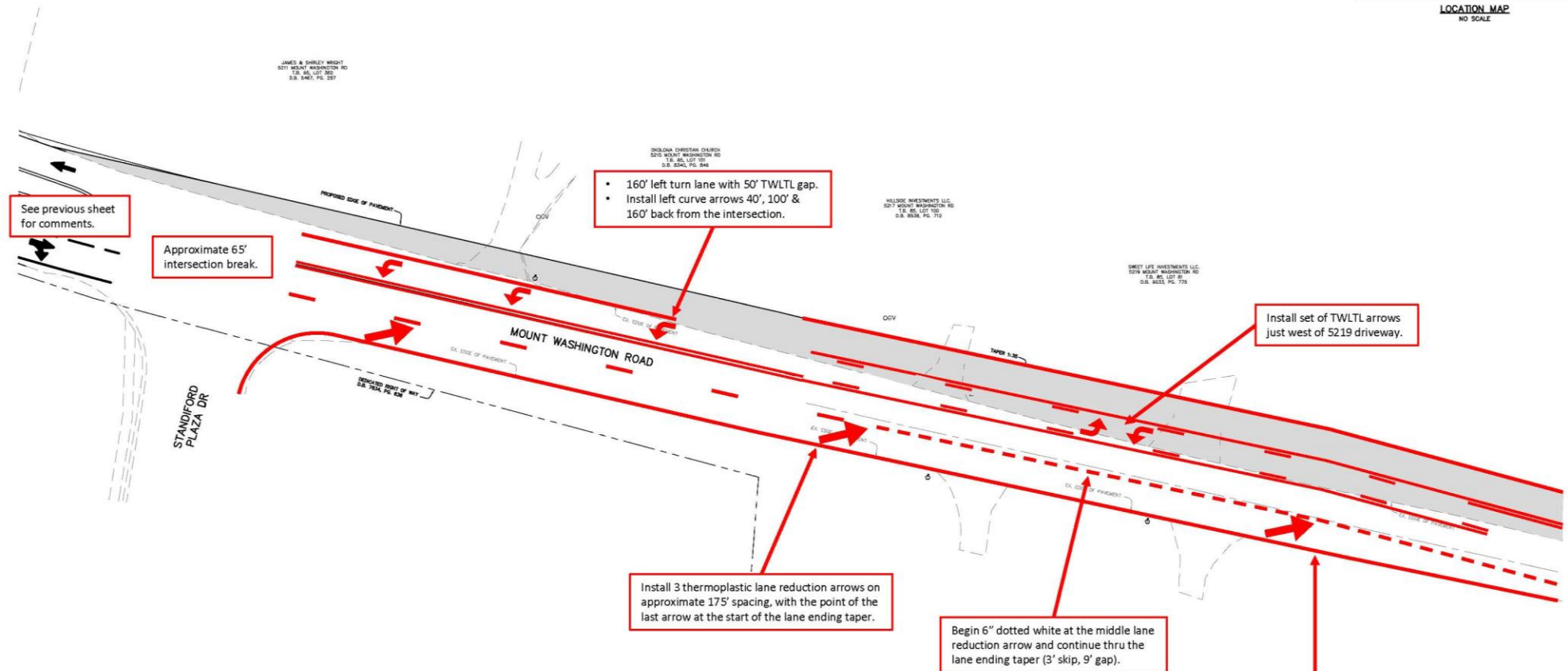
Mt. Washington/Preston Hwy. Road & Intersection Improvements

- All long line striping shall be 6-inch permanent paint.
- All intersection markings (stop bar, arrows, etc. shall be thermoplastic)

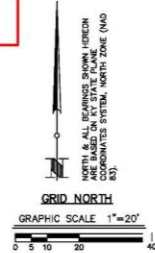
At locations with earth shoulders, adjust lane widths to provide for an approximate 2' paved shoulder where possible.



LOCATION MAP
NO SCALE



PROPOSED EOP, CURB & GUTTER BOTH SIDES
ADDITIONAL PAVEMENT

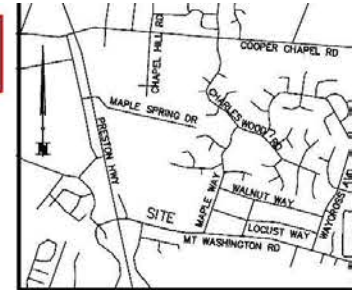


“Conceptual Site Plan”

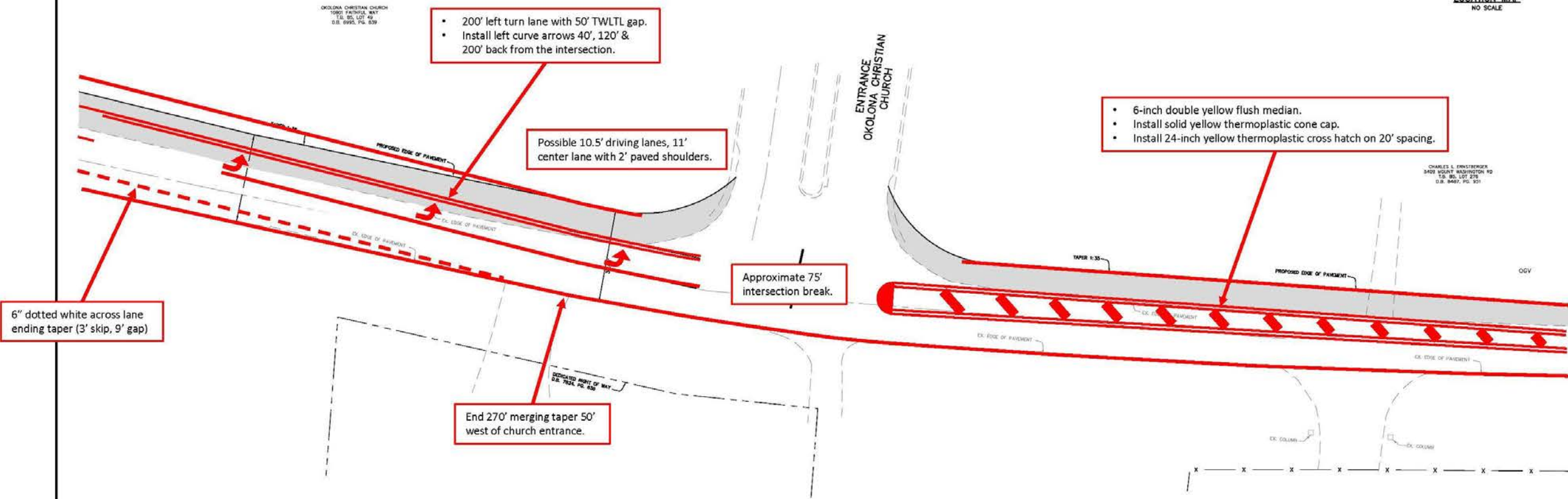
Mt. Washington/Preston Hwy. Road & Intersection Improvements

- All long line striping shall be 6-inch permanent paint.
- All intersection markings (stop bar, arrows, etc. shall be thermoplastic)

At locations with earth shoulders, adjust lane widths to provide for an approximate 2' paved shoulder where possible.



LOCATION MAP
NO SCALE

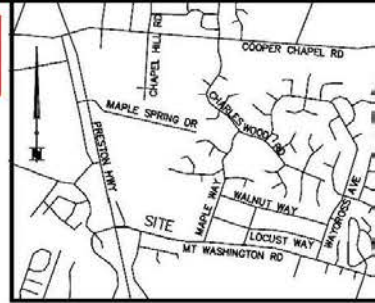


“Conceptual Site Plan”

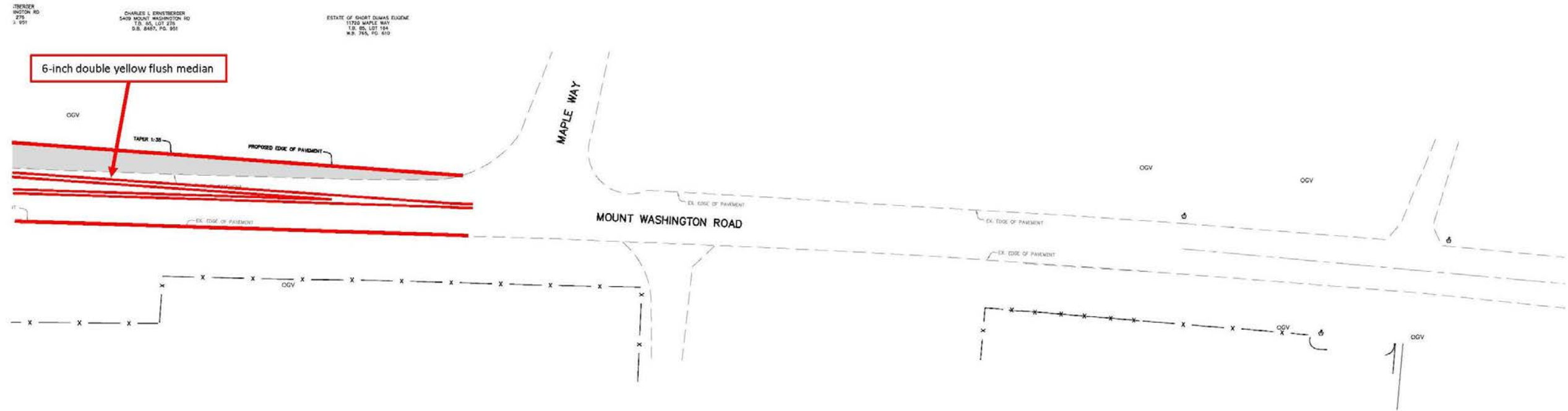
Mt. Washington/Preston Hwy. Road & Intersection Improvements

- All long line striping shall be 6-inch permanent paint.
- All intersection markings (stop bar, arrows, etc. shall be thermoplastic)

At locations with earth shoulders, adjust lane widths to provide for an approximate 2' paved shoulder where possible.



LOCATION MAP
NO SCALE



final report

May 18, 2022

Traffic Impact Study

Apartments
Mt. Washington Road (KY 2053)
Louisville, KY

Prepared for

Louisville Metro Planning Commission
Kentucky Transportation Cabinet



MAY 27 2022

PLANNING & DESIGN
SERVICES

21-20NE-0130

CONCLUSIONS

Based upon the volume of traffic generated by the development and the amount of traffic forecasted for the year 2026 and 2036, there will be an impact to the existing highway network. The proposed improvements of left and right turn lanes at the entrance and improvements at the intersection of Preston Highway with Mt. Washington Road will mitigate the impacts. On Preston Highway a southbound left turn lane will be added to create dual left turn lanes. On Mt Washington Road westbound a thru lane will be added.



Mount Washington Rd

SITE

Potential Lark Grove Drive connection

Ashbrooke Gardens Sec. 3
21-MSUB-0012

ANTLE DR

MINFORD CT

PYRAMID RD

HASBROOK DR

GINGER RD

ALTSCHELLER PL

WANDAGA CT

WAYCROSS AVE

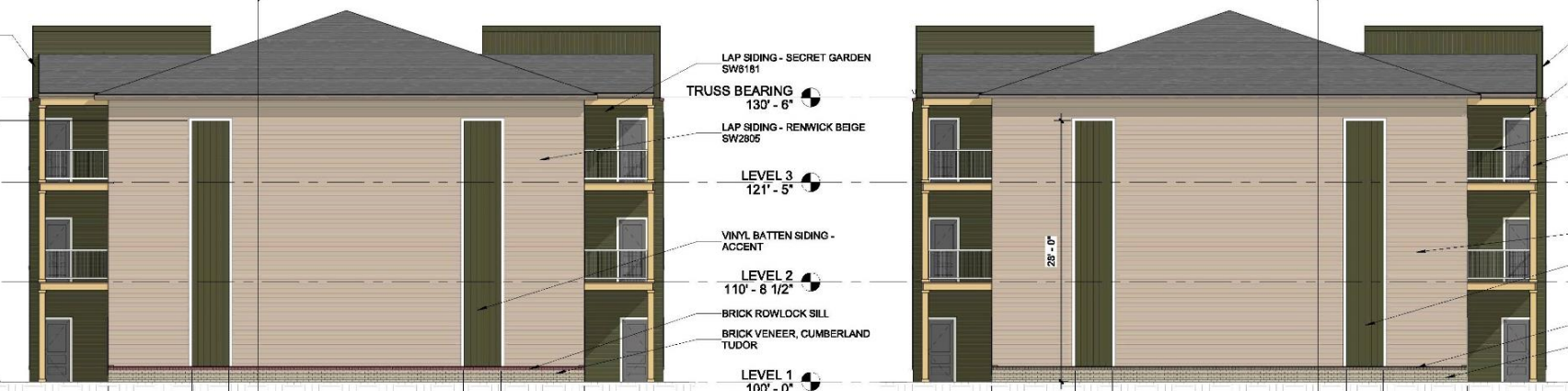
Side Walk Options



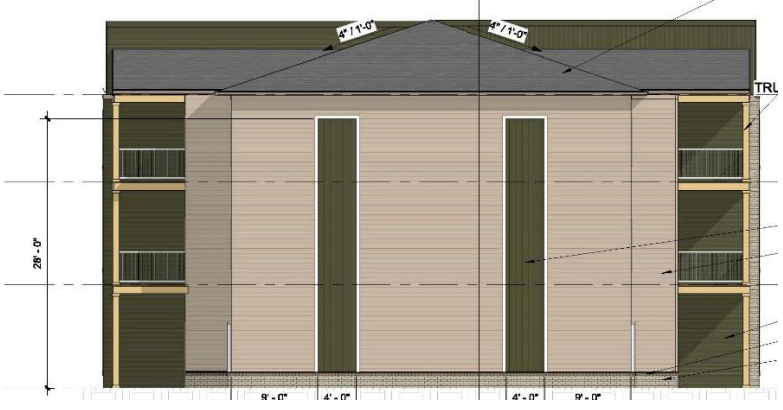
Side Walk Options



1-Bedroom - 24 Unit Bldg Elevations



2-Bedroom - 24 Unit Bldg Elevations





2-Bedroom - 30 Unit
Bldg Elevations



MODULAR STONE, FIELD
STONE

3-Bedroom - 24 Unit Bldg Elevations





1 Bed, 1 Bath
(DELUXE OPTION AVAILABLE)

931-1031 SqFt



2 Bed, 2 Bath
(DELUXE OPTION AVAILABLE)

1135-1216 SqFt



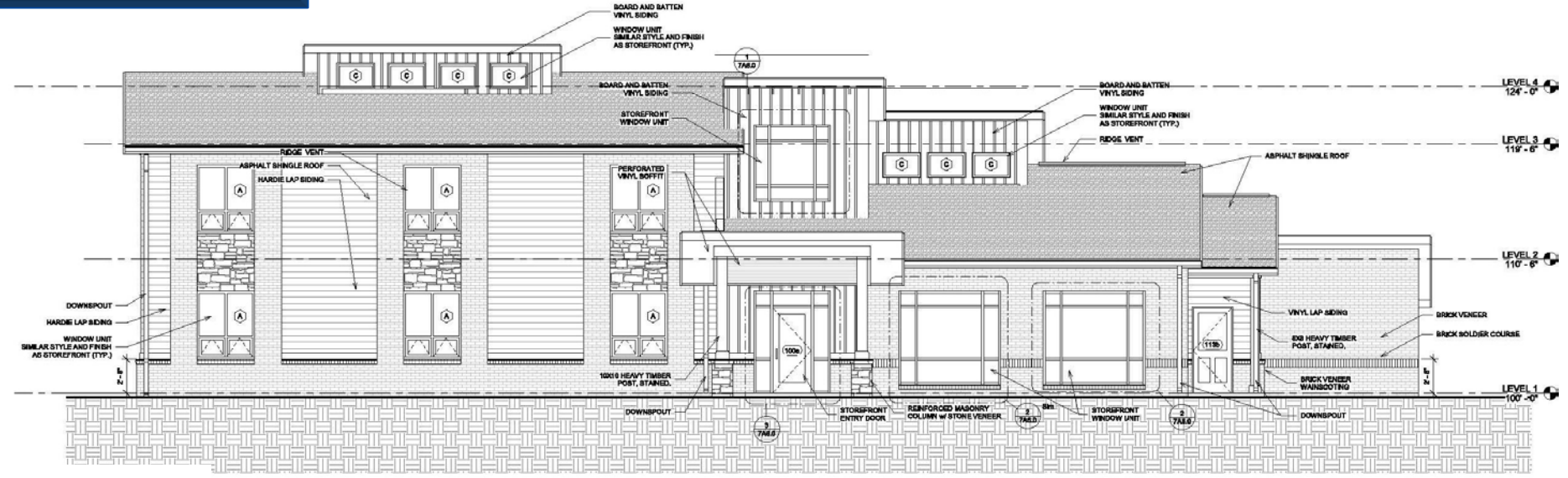
3 Bed, 2 Bath
(DELUXE OPTION AVAILABLE)

1,458-1,559 SqFt

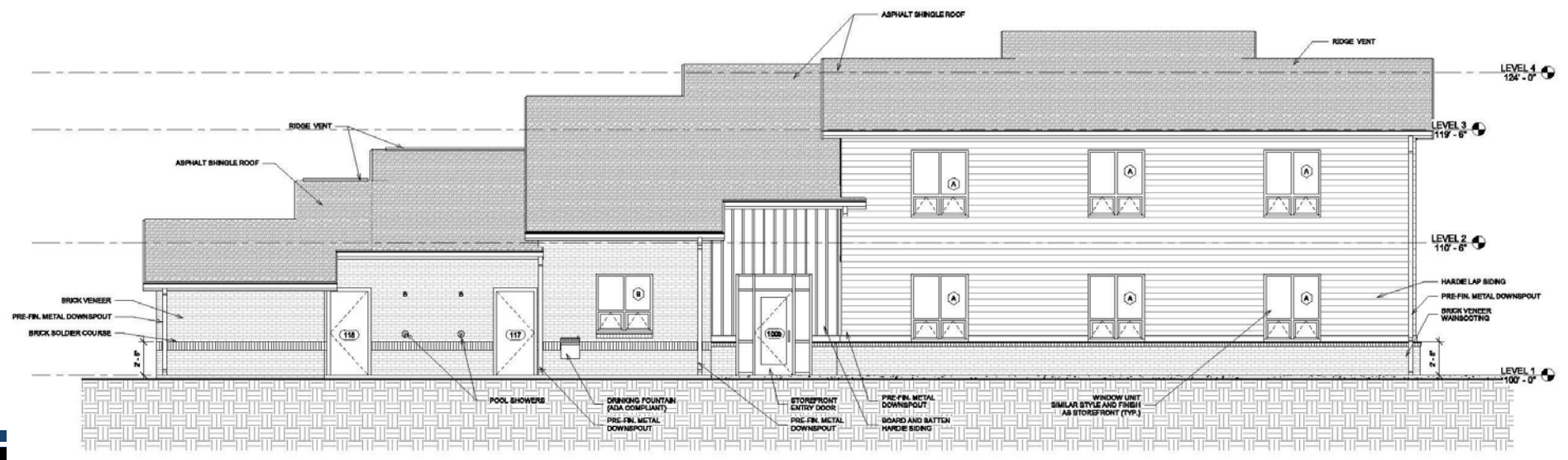
Living Room



Clubhouse

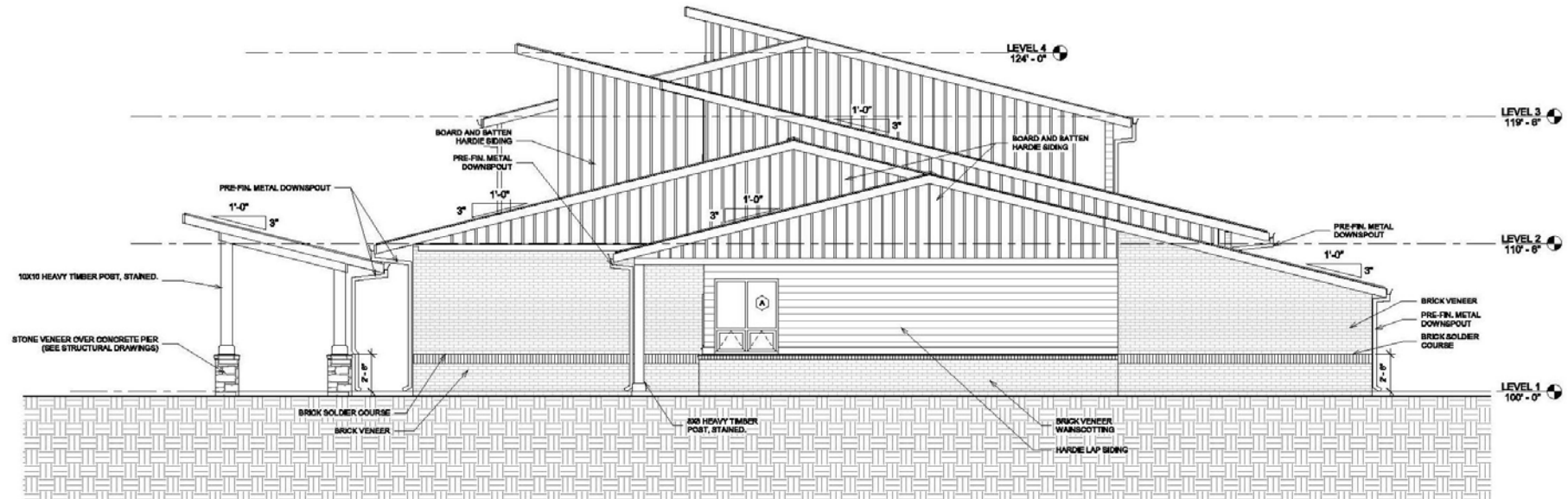


West Elevation

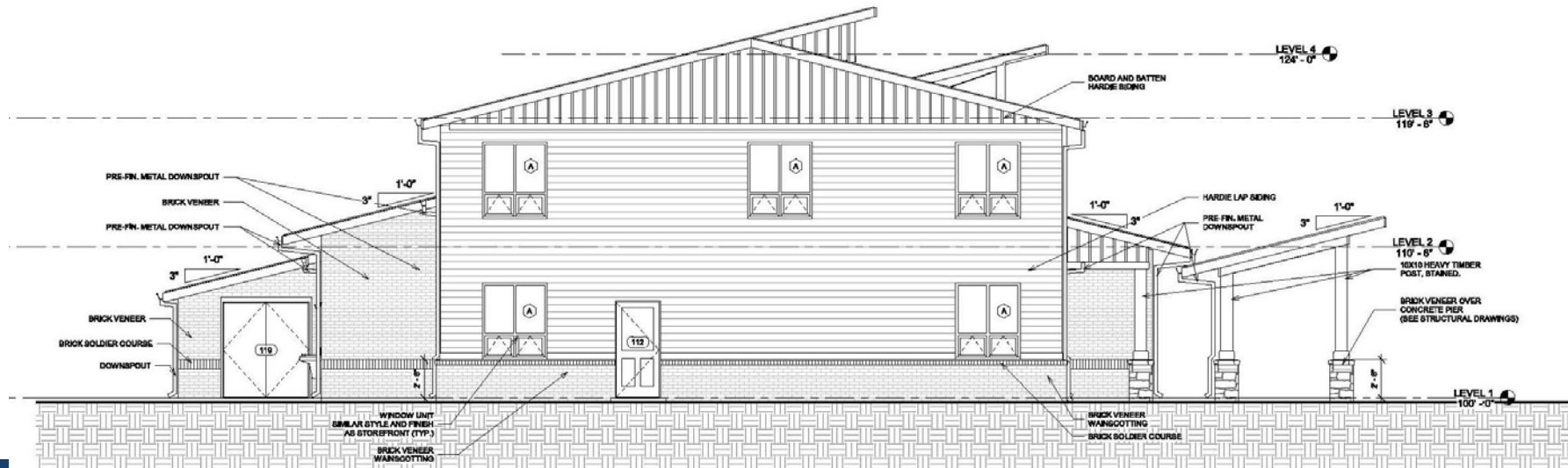


East Elevation

Clubhouse



South Elevation



North Elevation

Mail Center



Dog Park



Playground



Covington
PLAYGROUND RULES

- PLAYGROUND IS FOR THE USE OF COVINGTON BY THE LEASE TENANTS
- PROPER ADULT SUPERVISION IS REQUIRED AT ALL TIMES
- USE OF PLAYGROUND EQUIPMENT IS AT YOUR OWN RISK
- NO RIDING, PLAYING, PUSHING, OR BUMPING
- DO NOT USE EQUIPMENT WHEN WET
- NO EATING, DRINKING, OR FOOTBALL
- NO CLIMBING ON THE FENCE

Clubhouse



Clubhouse Interior



Gym



Pond Amenity



Pond Amenity



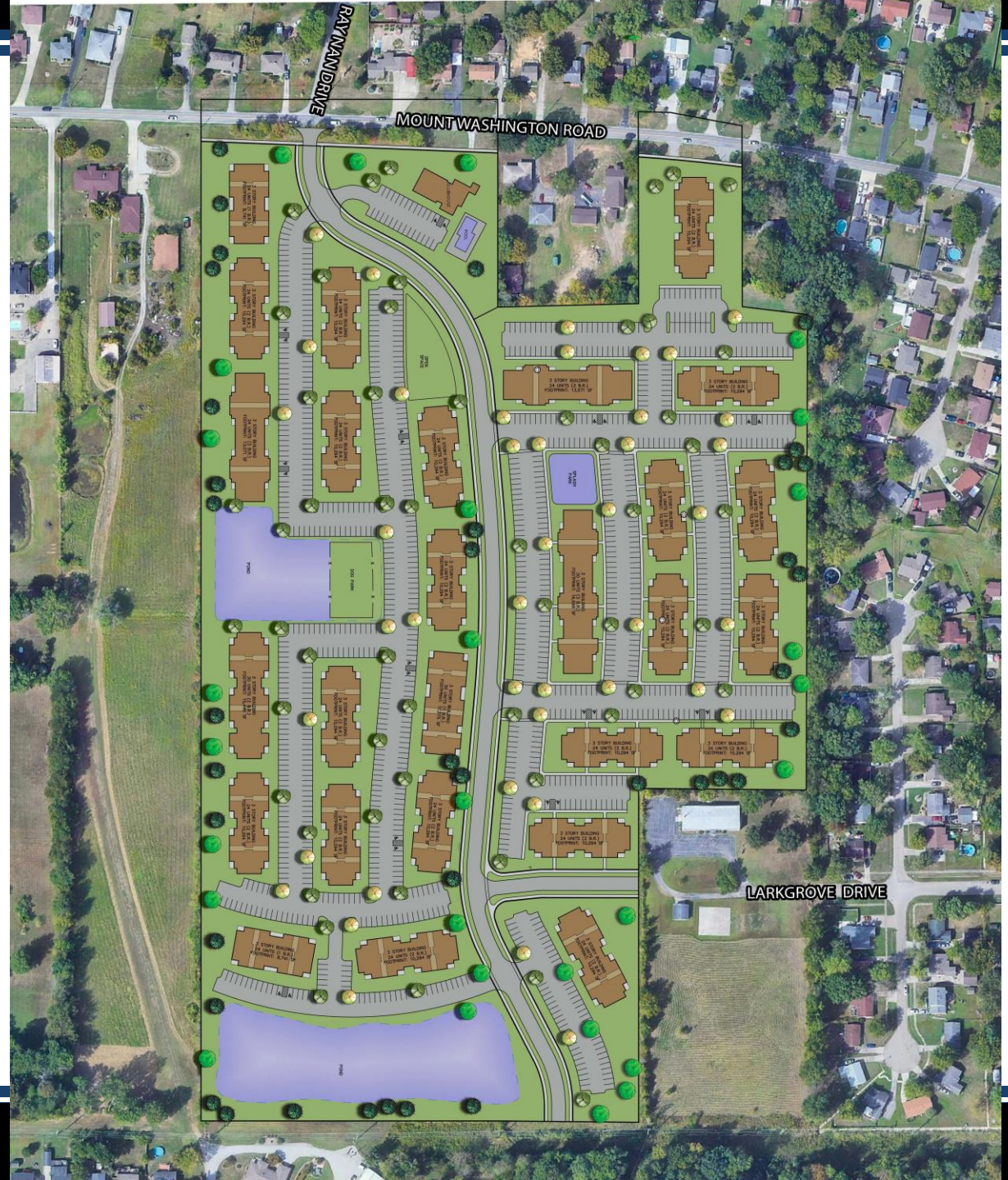
Pool Area



Pool Area



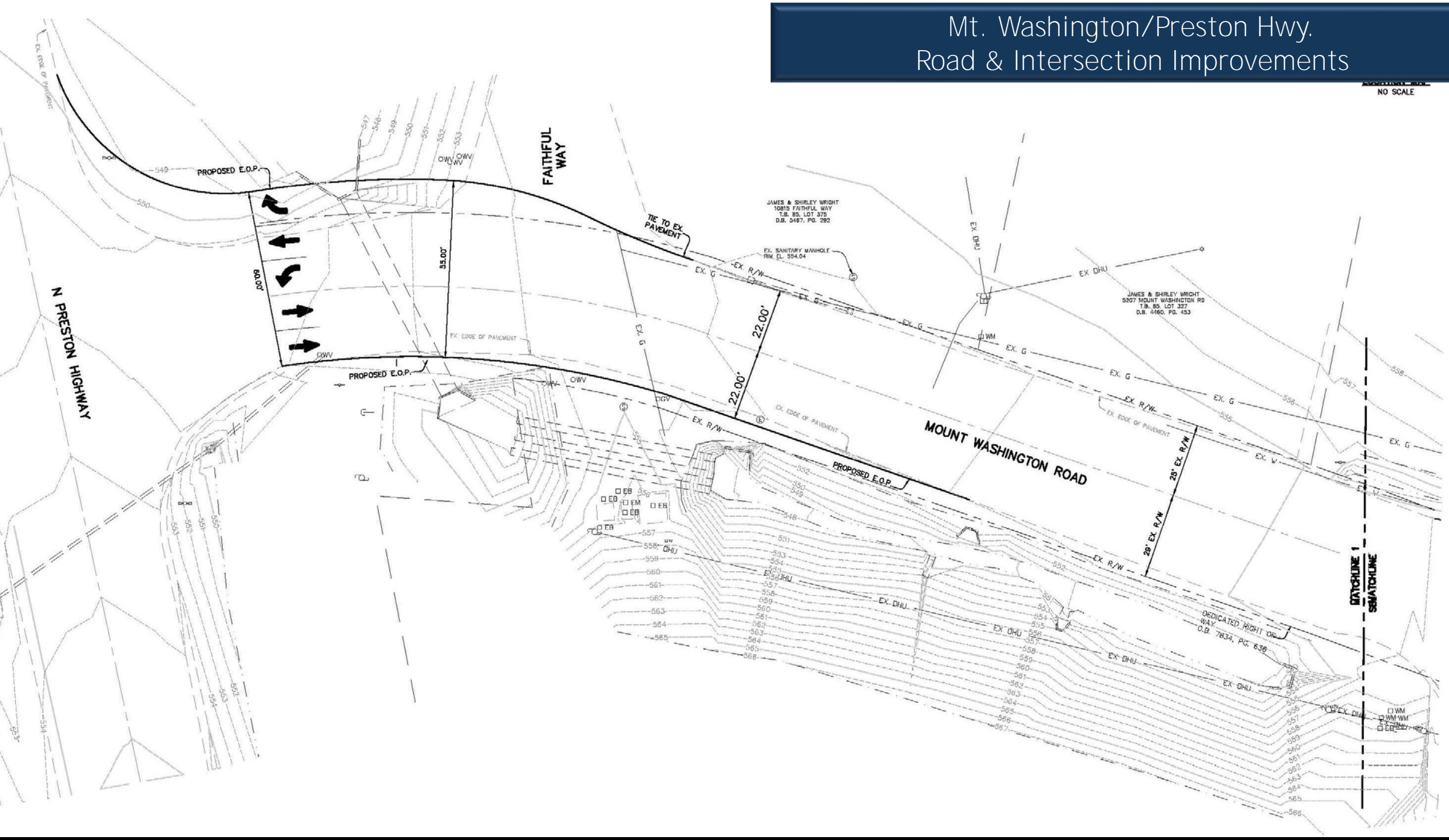
Questions?



Rebuttal Slides

Mt. Washington/Preston Hwy. Road & Intersection Improvements

NO SCALE

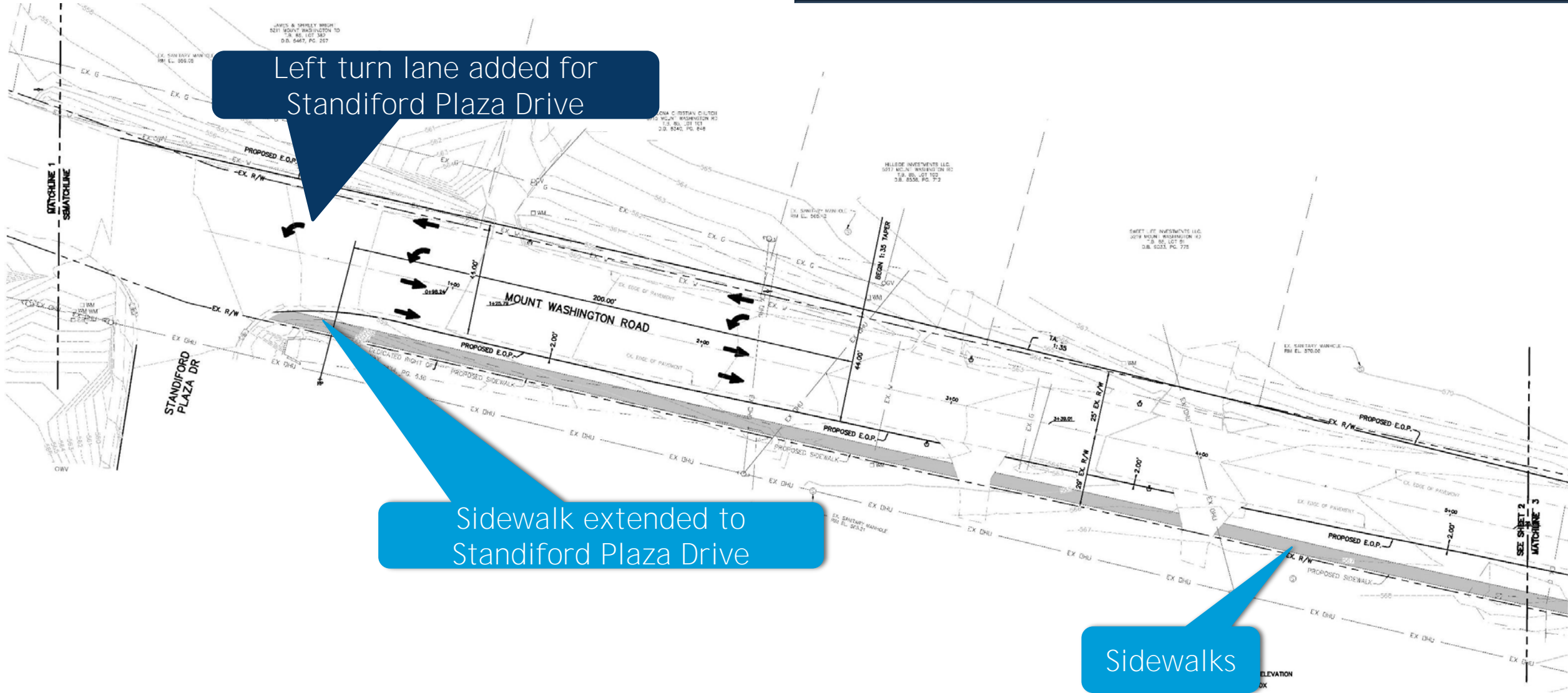


Mt. Washington/Preston Hwy. Road & Intersection Improvements

Left turn lane added for
Standiford Plaza Drive

Sidewalk extended to
Standiford Plaza Drive

Sidewalks

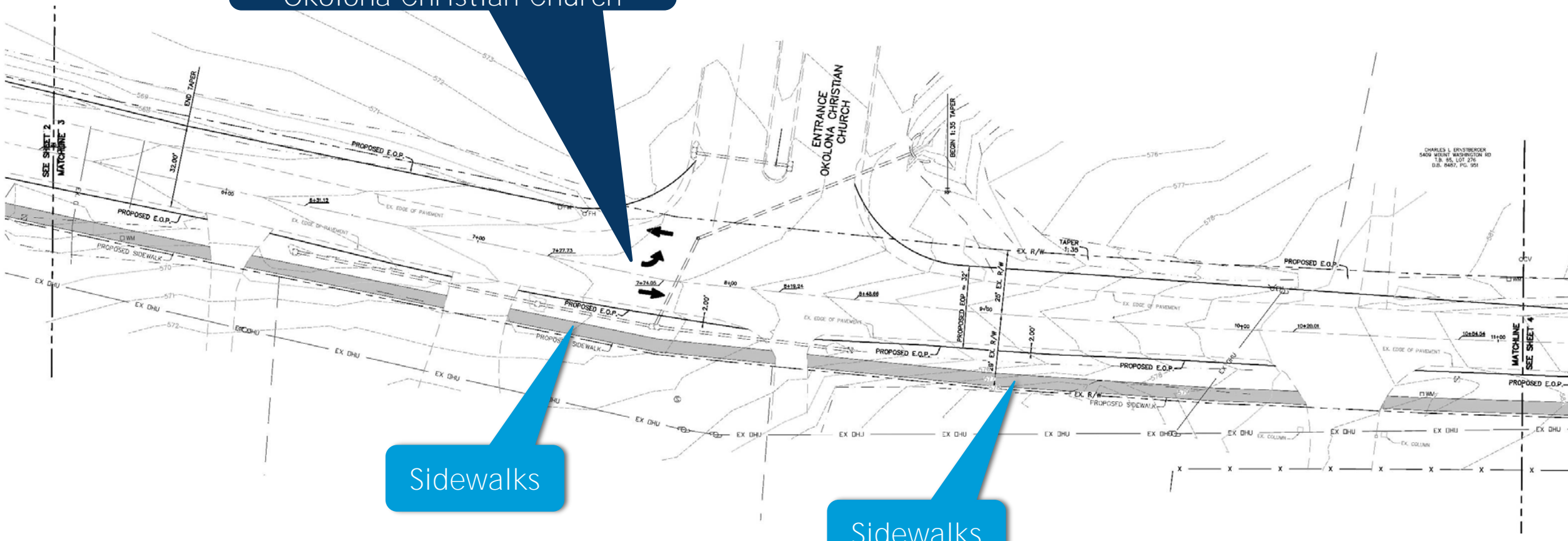


Mt. Washington/Preston Hwy. Road & Intersection Improvements

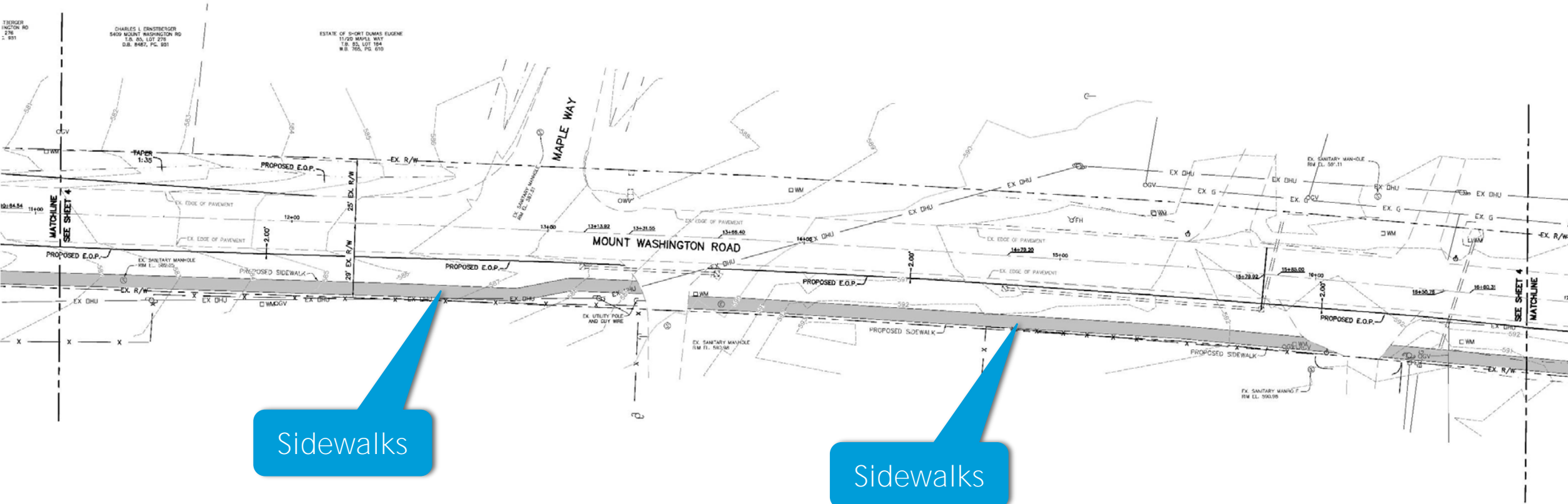
Left turn lane added for
Okolona Christian Church

Sidewalks

Sidewalks



Mt. Washington/Preston Hwy. Road & Intersection Improvements



Sidewalks

Sidewalks

Mt. Washington/Preston Hwy. Road & Intersection Improvements

