

GENERAL NOTES

- BOUNDARY SURVEY BY OTHERS.
- TOPOGRAPHIC INFORMATION OBTAINED FROM LOJIC.
- THE PROPERTY DOES NOT LIE WITHIN A 100 YEAR FLOOD ZONE AS INDICATED BY FEMA FLOOD INSURANCE RATE MAP NO. 21111C0066E, DATED DECEMBER 5, 2006.
- THE SOIL TYPES AT FINISHED GRADE ARE LAWRENCE SILT LOAM (HYDROLOGIC SOIL GROUP C), LOWELL SILT LOAM (HYDROLOGIC SOIL GROUP B) AND FAIRMOUNT FLAGGY SILT CLAY (HYDROLOGIC SOIL GROUP D).
- SITE LIGHTING WILL BE PROVIDED PER SECTION 4.1.3 OF THE LOUISVILLE METRO LAND DEVELOPMENT CODE.
- ALL MECHANICAL AREAS SHALL BE SCREENED IN ACCORDANCE WITH SECTION 10.2.6 OF THE LOUISVILLE METRO LAND DEVELOPMENT CODE.
- ALL SERVICE STRUCTURES SHALL BE SCREENED IN ACCORDANCE WITH SECTION 10.2.6 OF THE LOUISVILLE METRO LAND DEVELOPMENT CODE.
- TREE CANOPY WILL BE PROVIDED PER CHAPTER 10, PART 1 OF THE LOUISVILLE METRO LAND DEVELOPMENT CODE.
- COMPATIBLE UTILITIES SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPROPRIATE AGENCIES.
- THE FINAL DESIGN OF THIS PROJECT MUST MEET ALL MS4 WATER QUALITY REGULATIONS ESTABLISHED BY MSD. SITE LAYOUT MAY CHANGE AT THE DESIGN PHASE DUE TO PROPER SIZING OF GREEN BEST MANAGEMENT PRACTICES.
- ONSITE SEWAGE DISPOSAL SYSTEM WILL REQUIRE APPROVAL FROM THE DEPARTMENT OF PUBLIC HEALTH AND WELLNESS.
- MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE PARTICULATE EMISSIONS FROM REACHING EXISTING ROADS AND NEIGHBORING PROPERTIES.

- DRAINAGE FROM THE SITE WILL BE COLLECTED IN A STORM SEWER SYSTEM THAT IS TO DISCHARGE INTO POPE LICK CREEK. SITE IS SUBJECT TO REGIONAL FACILITY FEES.
- KDOW AND ACOE APPROVAL REQUIRED PRIOR TO MSD CONSTRUCTION PLAN APPROVAL.
- RIGHT-OF-WAY BY DEED OR MINOR PLAT MUST BE RECORDED PRIOR TO CONSTRUCTION APPROVAL BY TRANSPORTATION PLANNING.
- VEGETATION REMOVAL IS REQUIRED ALONG THE EASTERN PORTION OF THE PROPERTY ALONG TAYLORSVILLE ROAD. THIS SHALL BE INCLUDED IN THE KYTC PERMIT FOR WORK WITHIN THE RIGHT-OF-WAY.
- 50' SCENIC CORRIDOR BUFFER/SETBACK TO CONTAIN 3' EARTH BERMING, SHRUB MASSSES, AND LARGE DECIDUOUS TREES. A MINIMUM OF ONE TREE FOR EVERY 50 FEET OF ROADWAY FRONTAGE. TREES SHALL BE PLANTED 10' FROM THE RIGHT-OF-WAY.
- KYTC COMMENTS**
- ADDITIONAL RIGHT-OF-WAY MAY BE REQUIRED ACROSS THE FRONTAGE OF THIS TRACT TO MEET THE CURRENT METRO LAND DEVELOPMENT CODE AS DETERMINED BY LOUISVILLE METRO TRANSPORTATION PLANNING AND PUBLIC WORKS DEPARTMENTS.
- CALCULATIONS WILL BE REQUIRED FOR ANY RUNOFF DEEMED NECESSARY TO BE TAKEN TO THE STATE RIGHT-OF-WAY. PROPOSALS TO ALTER OR SIGNIFICANTLY INCREASE A DRAINAGE AREA OR RUNOFF FACTORS OR TO CHANGE IN ANY WAY THE PERFORMANCE OF AN EXISTING DRAINAGE STRUCTURE SHALL BE ACCOMPANIED BY A COMPLETE DRAINAGE SURVEY AND HYDROLOGIC ANALYSIS (UPSTREAM AND DOWNSTREAM) BASED ON 25-YEAR AND 100-YEAR STORMS. THIS ANALYSIS SHALL INCLUDE A COMPARISON OF EXISTING AND PROPOSED CONDITIONS. REQUESTS TO ALTER DRAINAGE ON A RIGHT-OF-WAY SHALL RESULT IN CONDITIONS THAT ARE EQUAL TO OR BETTER THAN THE EXISTING FACILITIES.

- THERE SHALL BE NO COMMERCIAL SIGNS IN THE RIGHT-OF-WAY.
- THERE SHALL BE NO LANDSCAPING WITHIN THE RIGHT-OF-WAY WITHOUT AN ENCROACHMENT PERMIT.
- SITE LIGHTING SHALL NOT SHINE IN THE EYES OF DRIVERS. IF IT DOES, IT SHALL BE RE-AIMED, SHIELDED OR TURNED OFF.
- RADIUSES FOR NEW COMMERCIAL ENTRANCE SHALL BE 35 FEET MINIMUM WITHIN STATE RIGHT-OF-WAY.
- ALL DRAINAGE STRUCTURES WITHIN THE STATE RIGHT-OF-WAY SHALL BE STATE DESIGN.
- ALL NEW AND EXISTING SIDEWALKS SHALL BE EITHER BROUGHT UP TO OR BUILT TO ADA CURRENT STANDARDS.
- A TRAFFIC STUDY IS REQUIRED FOR THIS DEVELOPMENT.
- KYTC IS OKAY WITH THE CONCEPT ON THE ZONING PLAN WITH THE EXCEPTION OF THE COMMENTS IN THIS REVIEW. THIS IS JUST A PRELIMINARY OKAY. KYTC WILL REVIEW AGAIN IF OR WHEN CONSTRUCTION PLANS ARE SUBMITTED, AND RESERVE THE RIGHT TO CHANGE OR QUALIFY THE APPROVAL WHEN CONSTRUCTION PLANS ARE SUBMITTED FOR REVIEW.
- AN ENCROACHMENT PERMIT AND BOND WILL BE REQUIRED FOR ALL WORK DONE IN THE RIGHT-OF-WAY.

SITE DATA CHART

EXISTING ZONING DISTRICT: R-R
 PROPOSED ZONING DISTRICT: C-1
 FORM DISTRICT: NEIGHBORHOOD COUNCIL DISTRICT: 20 - STUART BENSON
 EXISTING USE: CHURCH
 PROPOSED USE: RESTAURANT/RETAIL STORES
 EXISTING SQUARE FOOTAGE: 2,875± SF
 PROPOSED SQUARE FOOTAGE: 27,000 SF TOTAL
 RESTAURANTS: 8,000 SF/RETAIL STORES: 19,000 SF
 PROPOSED BUILDING HEIGHT: 6,000 SF RESTAURANT - 26'
 9,100 SF RETAIL/RESTAURANT - 21'
 11,900 SF RETAIL - 31'
 PROPOSED SIGN: 60 S.F. TOTAL, 6' MAX. HEIGHT
 FAR: (27,000/256,200) = 0.105
 ACREAGE: 5.882 ACRES

PARKING CALCULATIONS

MINIMUM PARKING REQUIREMENTS:	= 140
6,000 SF RESTAURANT (1 PARKING SPACE PER 125 SF = 48 SPACES)	
2,000 SF RESTAURANT WITH DRIVE THRU (1 PARKING SPACE PER 125 SF = 16 SPACES)	
19,000 SF RETAIL STORES (1 PARKING SPACE PER 250 SF = 76 SPACES)	
MAXIMUM PARKING REQUIREMENTS:	= 287
6,000 SF RESTAURANT (1 PARKING SPACE PER 50 SF = 120 SPACES)	
2,000 SF RESTAURANT WITH DRIVE THRU (1 PARKING SPACE PER 50 SF = 40 SPACES)	
19,000 SF RETAIL STORES (1 PARKING SPACE PER 150 SF = 127 SPACES)	
PARKING PROPOSED: (INCLUDES 7 HANDICAP SPACES)	= 151
LONG TERM BICYCLE PARKING REQUIREMENTS: (PER TABLE 9.2.1)	= 4
LONG TERM BICYCLE PARKING PROPOSED:	= 4
SHORT TERM BICYCLE PARKING REQUIREMENTS: (PER TABLE 9.2.1)	= 6
SHORT TERM BICYCLE PARKING PROPOSED:	= 6

LANDSCAPE CALCULATIONS

VEHICULAR USE AREA (VUA) = 79,890 S.F.
 INTERIOR LANDSCAPE AREA (ILA) = VUA x 0.075 (7.5%)
 ILA REQUIRED = 5,992 S.F.
 ILA PROPOSED = 6,488 S.F.
 ILA PLANTING REQUIREMENTS SHALL CONFORM TO CHAPTER 10.2.13 OF THE LAND DEVELOPMENT CODE.

TREE CANOPY CALCULATIONS

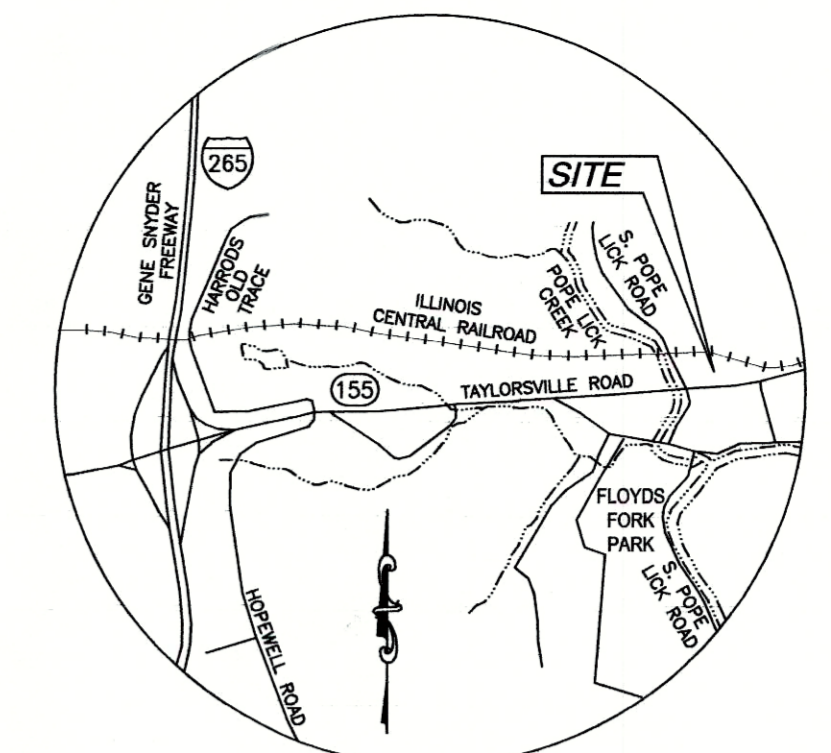
THE EXISTING TREE CANOPY AREA BASED ON LOJIC AERIAL MAP IS ESTIMATED TO BE AROUND 50 PERCENT (±).
 FROM TABLE 10.1.1:
 TREE CANOPY CATEGORY FOR COMMERCIAL USE IN NEIGHBORHOOD FORM DISTRICT IS CLASS C.
 FROM TABLE 10.1.2:
 PRESERVED TREE CANOPY COVERAGE AREA = 0%*
 *THIS PERCENTAGE MAY CHANGE BASED ON A FIELD RUN TOPOGRAPHIC SURVEY THAT IS TO BE DONE AFTER THE PROPERTY IS REZONED.
 NEW TREE CANOPY COVERAGE AREA = 20%
 TOTAL TREE CANOPY COVERAGE AREA REQUIRED = 20% OR 55,321 S.F.
 FROM TABLE 10.1.3:
 TREE CANOPY CREDIT FOR 1-3/4" CALIPER TYPE 'A' TREES PROVIDED AT 720 S.F. EACH 55,321 S.F. / 720 S.F. PER TREE = 77 TREES (MIN.)
 THEREFORE, TO PROVIDE 20% TREE CANOPY COVERAGE REQUIRED BY CHAPTER 10, PART 1 OF THE LOUISVILLE METRO LAND DEVELOPMENT CODE, A MINIMUM OF 77 1-3/4" CALIPER TYPE 'A' TREES SHALL BE PROVIDED.

VARIANCE

CHAPTER 5.3.1.C.5 -
 A VARIANCE IS REQUESTED TO ALLOW THE 1-STORY, 9,100 S.F. PROPOSED BUILDING TO EXCEED THE REQUIRED 80' MAXIMUM FRONT YARD SETBACK FROM TAYLORSVILLE ROAD (KY HWY 155).

CHAPTER 5.3.1.C.5 -
 A VARIANCE IS REQUESTED TO ALLOW A PORTION OF THE ASPHALT PARKING LOT, CONCRETE CURB AND RETAINING WALL TO ENCRACH INTO THE 30' REAR SETBACK.

CHAPTER 10.2.7 -
 A WAIVER IS REQUESTED TO ALLOW A PORTION OF THE ASPHALT PARKING LOT, CONCRETE CURB AND RETAINING WALL TO ENCRACH INTO THE 25' LANDSCAPE BUFFER AREA.

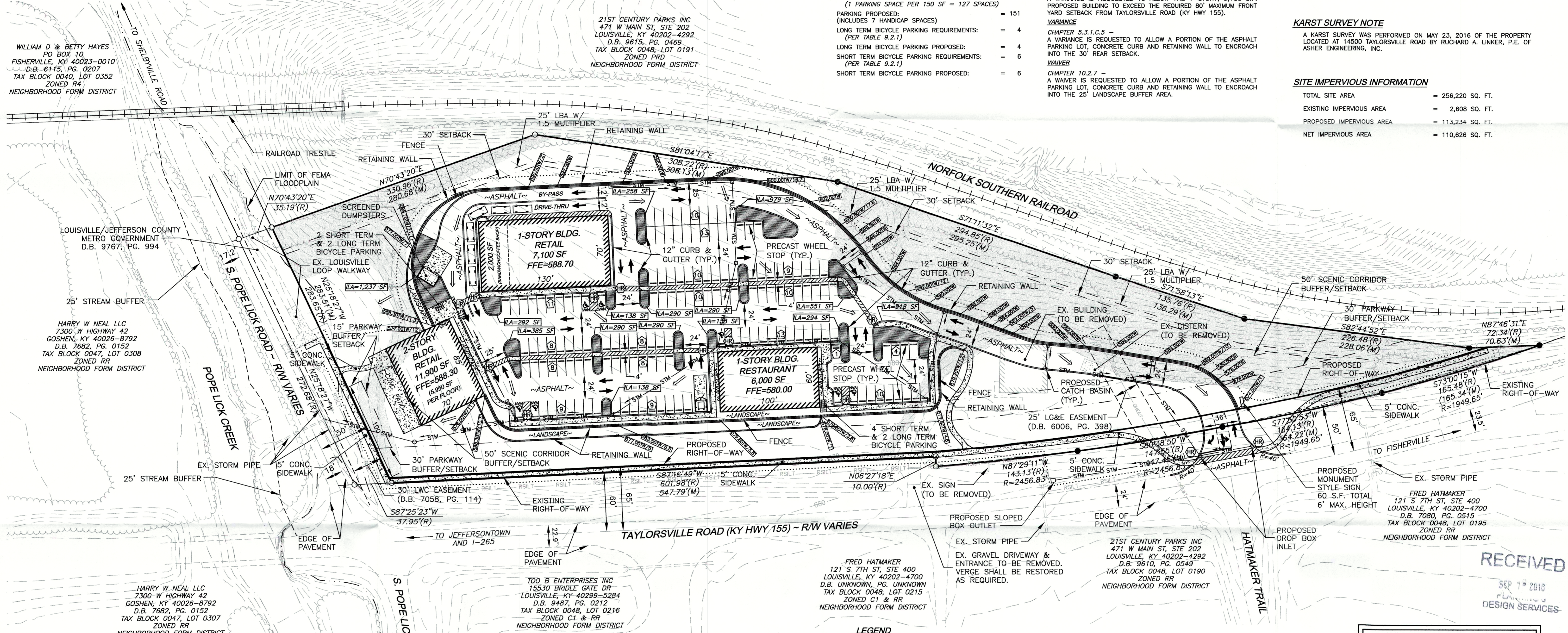


KARST SURVEY NOTE

A KARST SURVEY WAS PERFORMED ON MAY 23, 2016 OF THE PROPERTY LOCATED AT 14000 TAYLORSVILLE ROAD BY RICHARD A. LINKER, P.E. OF ASHER ENGINEERING, INC.

SITE IMPERVIOUS INFORMATION

TOTAL SITE AREA	= 256,220 SQ. FT.
EXISTING IMPERVIOUS AREA	= 2,608 SQ. FT.
PROPOSED IMPERVIOUS AREA	= 113,234 SQ. FT.
NET IMPERVIOUS AREA	= 110,626 SQ. FT.



WILLIAM D & BETTY HAYES
 PO BOX 10
 FISHERVILLE, KY 40203-0010
 D.B. 6115, PG. 0207
 TAX BLOCK 0040, LOT 0352
 ZONED R4
 NEIGHBORHOOD FORM DISTRICT

21ST CENTURY PARKS INC
 471 W MAIN ST, STE 202
 LOUISVILLE, KY 40202-4292
 D.B. 9615, PG. 0469
 TAX BLOCK 0048, LOT 0191
 ZONED PRD
 NEIGHBORHOOD FORM DISTRICT

HARRY W NEAL LLC
 7300 W HIGHWAY 42
 GOSHEN, KY 40026-8792
 D.B. 7682, PG. 0152
 TAX BLOCK 0047, LOT 0308
 ZONED RR
 NEIGHBORHOOD FORM DISTRICT

HARRY W NEAL LLC
 7300 W HIGHWAY 42
 GOSHEN, KY 40026-8792
 D.B. 7682, PG. 0152
 TAX BLOCK 0047, LOT 0307
 ZONED RR
 NEIGHBORHOOD FORM DISTRICT

TOO B ENTERPRISES INC
 15530 BRIDLE GATE DR
 LOUISVILLE, KY 40299-5284
 D.B. 9487, PG. 0212
 TAX BLOCK 0048, LOT 0215
 ZONED C1 & RR
 NEIGHBORHOOD FORM DISTRICT

FRED HATMAKER
 121 S 7TH ST, STE 400
 LOUISVILLE, KY 40202-4700
 D.B. UNKNOWN, PG. UNKNOWN
 TAX BLOCK 0048, LOT 0215
 ZONED C1 & RR
 NEIGHBORHOOD FORM DISTRICT

21ST CENTURY PARKS INC
 471 W MAIN ST, STE 202
 LOUISVILLE, KY 40202-4292
 D.B. 9610, PG. 0549
 TAX BLOCK 0048, LOT 0190
 ZONED RR
 NEIGHBORHOOD FORM DISTRICT

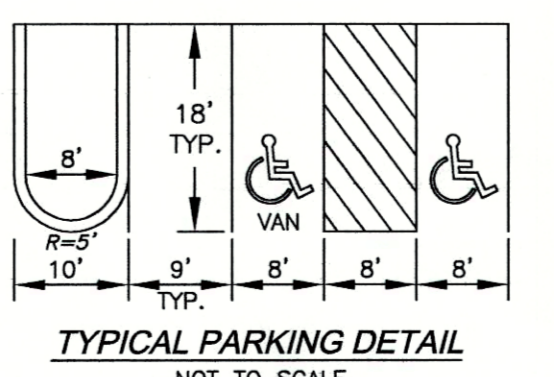
FRED HATMAKER
 121 S 7TH ST, STE 400
 LOUISVILLE, KY 40202-4700
 D.B. 7080, PG. 0515
 TAX BLOCK 0048, LOT 0195
 ZONED RR
 NEIGHBORHOOD FORM DISTRICT

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

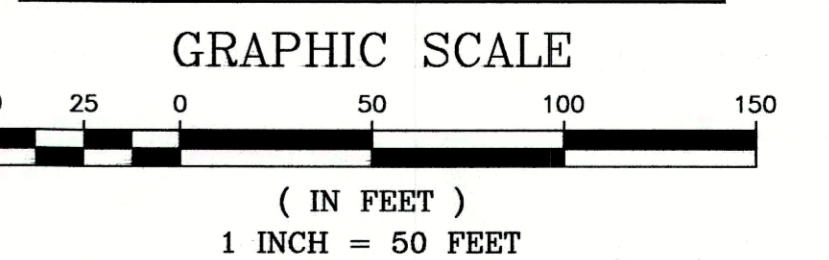
- THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPPSC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED EPPSC PLAN MUST BE REVIEWED AND APPROVED PRIOR TO IMPLEMENTATION BY THE DEVELOPMENT AREA TEAM. EPPSC BMP'S (BEST MANAGEMENT PRACTICES) SHALL BE INSTALLED PER THE PLAN AND MSD STANDARDS.
- DETENTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PERFORM AS SEDIMENT BASINS DURING CONSTRUCTION UNTIL THE CONTRIBUTING DRAINAGE AREAS ARE SEEDED AND STABILIZED.
- ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.
- SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES AND CATCH BASINS. STOCKPILES SHALL BE SEEDED, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE.
- ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING STRUCTURES PER MSD STANDARD DRAWING ER-02.
- SEDIMENT-LADEN WATER ENCOUNTERED DURING TRENCHING, BORING, OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE, OR CATCH BASIN.
- WHERE CONSTRUCTION OR LAND DISTURBING ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS POSSIBLE, BUT NO LATER THAN 14 CALENDAR DAYS AFTER THE ACTIVITY HAS CEASED.
- IN ADDITION TO THE CONCEPTUAL LOCATION OF REINFORCED SILT FENCE SHOWN ON THIS PLAN, A CONSTRUCTION ENTRANCE WILL BE INSTALLED AND NEW STORM STRUCTURES WILL BE PROTECTED AS THE STORM SEWER SYSTEM IS INSTALLED.

LEGEND

- NO. OF PARKING SPACES
- HANDICAP RAMP
- VEHICULAR USE AREA
- INTERIOR LANDSCAPE AREA
- LANDSCAPE BUFFER AREA
- OVERHEAD DOOR
- TOP OF RETAINING WALL ELEVATION/HEIGHT
- SHORT TERM BICYCLE PARKING
- LONG TERM BICYCLE PARKING
- SLOPES GREATER THAN 20%
- DRAINAGE FLOW DIRECTIONAL ARROW
- TRAFFIC FLOW DIRECTIONAL ARROW
- EXISTING UTILITY POLE
- EXISTING OVERHEAD ELECTRIC & TELECOM.
- EXISTING CONTOURS
- 30' PARKWAY BUFFER & SETBACK
- 50' SCENIC CORRIDOR BUFFER & SETBACK & 25' LBA
- FEMA FLOODPLAIN
- CONCEPT STORM SEWER AND DIRECTION OF FLOW
- PROPOSED DISTURB LIMITS
- PROPOSED 48" BLACK WROUGHT IRON FENCE
- CONCEPT REINFORCED SILT FENCE
- PROPOSED SEGMENTAL BLOCK RETAINING WALL



CHURCH OF CHRIST
 13902 FACTORY LANE
 LOUISVILLE, KENTUCKY 40245
 ZONED R-R
 NEIGHBORHOOD FORM DISTRICT
 DEED BOOK 4021, PAGE 0883
 TAX BLOCK 0048, LOT 0157
 5.882 ACRES



- 3 09/16/16 - REVISED PER AGENCY REVIEW COMMENTS.
- 2 05/23/16 - REVISED LAYOUT, AND ADDRESSED AGENCY REVIEW COMMENTS.
- 1 09/21/15 - REVISED LAYOUT, ADDED BOUNDARY SURVEY, CHANGED OWNER & DEVELOPER NAME AND ADDRESSED AGENCY REVIEW COMMENTS.

WM #11089

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 Engineering, Environmental, and Management Services
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 Louisville, Kentucky 40228-6609
 (502) 426-9642 Fax (502) 426-7742
 e-mail: rwmoores@aol.com

RICHARD W MOORE
 9690
 LICENSED PROFESSIONAL ENGINEER
 Signature: Richard W Moore
 Date: 09/16/16

SITE PLAN FOR REZONING TO C-1
 14005 TAYLORSVILLE ROAD
 LOUISVILLE, KENTUCKY 40299

POPE LICK STATION, LLC
 908 S. 8TH STREET
 LOUISVILLE, KENTUCKY 40203
 502-588-4777

CHURCH OF CHRIST
 13902 FACTORY LANE
 LOUISVILLE, KENTUCKY 40245

DEVELOPER: POPE LICK STATION, LLC
 PROJECT NUMBER: 8300.01
 DRAWING FILE NAME: 13902-F-03-P.S.dwg
 DRAWN BY: REVISIONS:
 CHECKED BY: RWL

HORIZONTAL SCALE: 1" = 50'
 VERTICAL SCALE: AS SHOWN
 DATE: NOVEMBER 17, 2014

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