

LOCATION MAP
NOT TO SCALE

SEWER & DRAINAGE

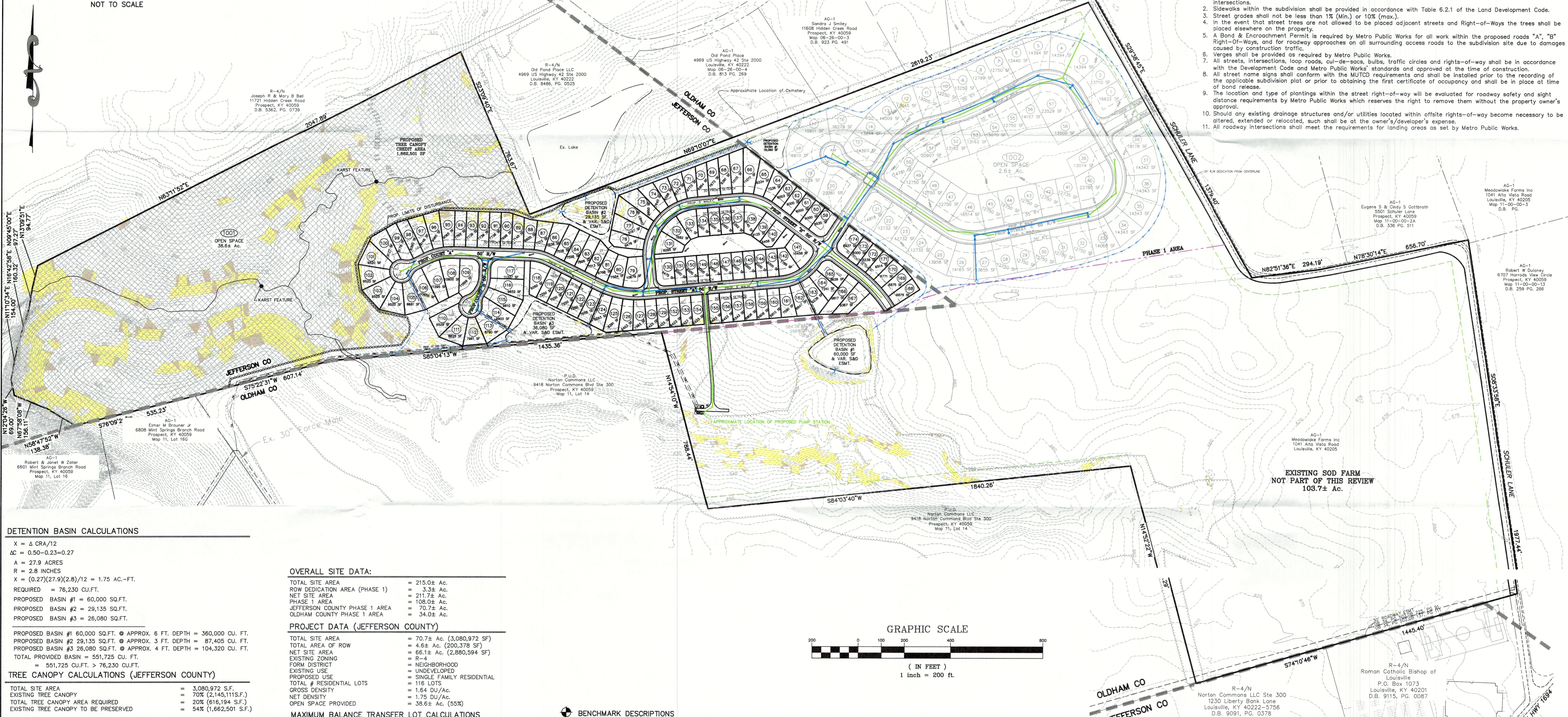
1. Construction plans and documents shall comply with Louisville and Jefferson County Metropolitan Sewer District's Design Manual and Standard Specifications and other local, state and federal ordinances.
2. No portion of the site is located in a floodplain per FIRM map 21111 C 0004 & 0008 E dated Dec. 5, 2006.
3. Sewers by L. E. and subject to all applicable fees.
4. A "Request for Sanitary Sewer Capacity" will be submitted to MSD.
5. All proposed sewer and drain easements shall be 15' unless otherwise indicated.
6. Onsite detention will be provided. Postdevelopment peak flows will be limited to predeveloped peak flows for the 2, 10, 25, and 100-year storms or to the capacity of the downstream system, whichever is more restrictive.
7. The final design of the project must meet all MS4 Water Quality Regulations established by MSD. Site layout may change at the design phase due to proper sizing of Green Best Management Practices.
8. Off-site easements may be required and a present net worth evaluation of the proposed pump station shall be submitted prior to MSD construction plan approval.
9. An inter-local sewer agreement shall be executed between Oldham County and Louisville MSD prior to construction of any sewer located in Oldham County.

GENERAL

1. No lots shown herein may be subdivided or re-subdivided resulting in the creation of a greater number of lots than originally approved by the planning commission.
2. Construction fencing shall be erected at the edge of the limits of disturbance areas prior to any grading or construction activities. The fencing is to remain in place until all construction is completed. No parking, material storage, or construction activities shall be permitted within the fenced area.
3. All open space lots are non-buildable and will be recorded as open space and utility easements. A note to this effect will be placed on the record plat.
4. Benchmark and topographical information shown herein were derived from Lojic data.
5. Compatible on-site utilities, (electric, phone, cable) shall be placed in a common trench unless otherwise required by appropriate agencies.
6. Mitigation measures for dust control shall be in place during construction to prevent fugitive particulate emissions from reaching existing roads and neighboring properties.
7. Street trees shall be planted in a manner that does not effect public safety or hamper sight distance. Final location will be determined during construction approval process.
8. Karst features were observed on site during a site visit on June 18, 2019, by Kevin Young, R.L.A.
9. A Geotechnical evaluation of the site will be required prior to construction approval.
10. Right of way dedication shall be recorded as part of the required record plat.
11. All roadway and entrance intersections shall meet the requirements for landing areas as set by Metro Public Works.
12. Compatible utility lines (electric, phone, cable) shall be placed in a common trench unless otherwise required by appropriate agencies.
13. Developer shall be responsible for utility relocations (if required), final surface overlay, signage, and striping associated with required road improvements.
14. Detached mail center to be provided.

STREETS & SIDEWALKS

1. All roads within the development shall have curb and gutters, Cul-de-sacs shall have a pavement width of 20 feet with a radius of 35 feet at Cul-de-sac. All other roads shall be 24 feet in width with a 25 foot radius at intersections.
2. Sidewalks within the subdivision shall be provided in accordance with Table 6.2.1 of the Land Development Code.
3. Street grades shall not be less than 1% (Min.) or 10% (max.).
4. In the event that street trees are not allowed to be placed adjacent streets and Right-of-Ways the trees shall be placed elsewhere on the property.
5. A Bond & Encroachment Permit is required by Metro Public Works for all work within the proposed roads "A", "B", "Right-Of-Ways, and for roadway approaches on all surrounding access roads to the subdivision site due to damages caused by construction traffic.
6. Verges shall be provided as required by Metro Public Works.
7. All streets, intersections, loop roads, cul-de-sacs, bulbs, traffic circles and rights-of-way shall be in accordance with the Development Code and Metro Public Works' standards and approved at the time of construction.
8. All street name signs shall conform with the MUTCD requirements and shall be installed prior to the recording of the applicable subdivision plat or prior to obtaining the first certificate of occupancy and shall be in place at time of bond release.
9. The location and type of plantings within the street right-of-way will be evaluated for roadway safety and sight distance requirements by Metro Public Works which reserves the right to remove them without the property owner's approval.
10. Should any existing drainage structures and/or utilities located within offsite rights-of-way become necessary to be altered, extended or relocated, such shall be at the owner's/developer's expense.
11. All roadway intersections shall meet the requirements for landing areas as set by Metro Public Works.



DETENTION BASIN CALCULATIONS

$X = \Delta CRA/12$
 $AC = 0.50 - 0.23 = 0.27$
 $A = 27.9$ ACRES
 $R = 2.6$ INCHES
 $X = (0.27)(27.9)(2.6)/12 = 1.75$ AC.-FT.
 REQUIRED = 76,230 CU.FT.
 PROPOSED BASIN #1 = 60,000 SQ.FT.
 PROPOSED BASIN #2 = 29,135 SQ.FT.
 PROPOSED BASIN #3 = 26,080 SQ.FT.

PROPOSED BASIN #1 60,000 SQ.FT. @ APPROX. 6 FT. DEPTH = 360,000 CU. FT.
 PROPOSED BASIN #2 29,135 SQ.FT. @ APPROX. 3 FT. DEPTH = 87,405 CU. FT.
 PROPOSED BASIN #3 26,080 SQ.FT. @ APPROX. 4 FT. DEPTH = 104,320 CU. FT.
 TOTAL PROVIDED BASIN = 551,725 CU. FT.
 = 551,725 CU.FT. > 76,230 CU.FT.

TREE CANOPY CALCULATIONS (JEFFERSON COUNTY)

TOTAL SITE AREA = 3,080,972 S.F.
 TOTAL TREE CANOPY AREA = 70% (2,145,111 S.F.)
 TOTAL TREE CANOPY AREA REQUIRED = 20% (616,194 S.F.)
 EXISTING TREE CANOPY TO BE PRESERVED = 54% (1,662,501 S.F.)

SLOPES TABLE

MINIMUM SLOPE	MAXIMUM SLOPE	COLOR
20.00%	>	
30.00%	>	

LEGEND

- PROPOSED STORM SEWER, CATCH BASIN AND CREEKSTONE HEADWALL
- PROPOSED SEWER AND MANHOLE
- PROPOSED DRAINAGE SWALE
- TREE CANOPY TO BE PRESERVED

OVERALL SITE DATA:

TOTAL SITE AREA	= 215.0± Ac.
ROW DEDICATION AREA (PHASE 1)	= 3.3± Ac.
NET SITE AREA	= 211.7± Ac.
PHASE 1 AREA	= 108.0± Ac.
JEFFERSON COUNTY PHASE 1 AREA	= 70.7± Ac.
OLDHAM COUNTY PHASE 1 AREA	= 34.0± Ac.

PROJECT DATA (JEFFERSON COUNTY)

TOTAL SITE AREA	= 70.7± Ac. (3,080,972 SF)
TOTAL AREA OF ROW	= 4.6± Ac. (200,378 SF)
NET SITE AREA	= 66.1± Ac. (2,880,594 SF)
EXISTING ZONING	= R-4
FORM DISTRICT	= NEIGHBORHOOD
EXISTING USE	= UNDEVELOPED
PROPOSED USE	= SINGLE FAMILY RESIDENTIAL
TOTAL # RESIDENTIAL LOTS	= 116 LOTS
GROSS DENSITY	= 1.64 DU/Ac.
NET DENSITY	= 1.75 DU/Ac.
OPEN SPACE PROVIDED	= 38.6± Ac. (55%)

MAXIMUM BALANCE TRANSFER LOT CALCULATIONS

MLP - MAXIMUM LOTS PERMITTED	
TA - TOTAL LAND AREA (PHASE 1)	= 70.7± Ac.
SS - STEEP SLOPES	= 8.5± Ac.
IA - INFRASTRUCTURE	= 4.9± Ac.

$MLP = [(TA - SS - IA) \cdot 4.84] + SS \cdot 4.84/2$
 $MLP = [(70.7 - 8.5 - 4.9) \cdot 4.84] + 8.5 \cdot 4.84/2 = 298$ LOTS

NOTE: Only the areas of steep slopes within open space lots are being used for the balance transfer area calculations.

DIMENSIONAL STANDARDS

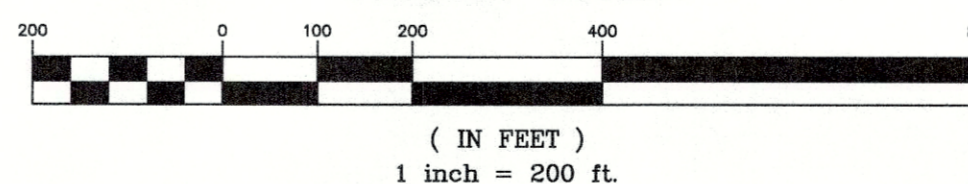
FRONT/STREET SIDE YARD	= 30'
SIDE YARD	= 5'
REAR YARD	= 25'
MAXIMUM BUILDING HEIGHT	= 35'
DETACHED MINIMUM LOT AREA	= 4,500 SF
LOTS < 6,000 SF (MAX. 25% OR 29 LOTS)	= 0 LOTS PROPOSED
LOTS ≥ 6,000 SF (MIN. 20% OR 23 LOTS)	= 116 LOTS PROPOSED

BENCHMARK DESCRIPTIONS

BM#142-SQUARE CUT ON TELECOM PAD
 ELEVATION=689.080 (NAVD 88)
 SOURCE - ELEVATIONS ARE BASED ON LOJIC MONUMENT GPS86-29RESET (ELEVATION=691.61 NAVD 88)

NO.	DATE	REVISIONS	BY
1.	10/7/19	REVISED PER AGENCY COMMENTS	JH
2.	10/28/19	REVISED PER AGENCY COMMENTS	JH
3.	11/11/19	REVISED PER AGENCY COMMENTS	JH
4.	11/20/19	REVISED PER AGENCY COMMENTS	JH

GRAPHIC SCALE



PRELIMINARY
NOT FOR CONSTRUCTION

PROFESSIONAL STAMP

SITE ADDRESS:
SCHULER LANE
LOUISVILLE, KY 40059

OWNER:
MEADOWLAKE FARMS INC
1041 ALTA VISTA RD
LOUISVILLE, KY 40005
D.B. 197, PG. 111
TAX BLOCK 4, LOT 37
(JEFFERSON COUNTY)
TAX PARCEL 11-00-00-1&3
(OLDHAM COUNTY)

DEVELOPER:
ELITE HOMES, LLC
16218 Shelbyville Road
Louisville, KY 40245
PHONE: (502) 245-6159

PREPARED BY:
LAND DESIGN & DEVELOPMENT, INC.
503 WASHINGTON AVENUE, SUITE 101
LOUISVILLE, KENTUCKY 40202
PHONE: (502) 426-9374
FAX: (502) 426-9376
CASE: 19-MSUB-0012
JOB: 18165
LD&D RELATED JOBS: 1318 & 07219
MSD WM #11321

FISCHER FARM RECEIVED NOV 20 2019
 PRELIMINARY SUBDIVISION PLAN
 (DEVELOPMENT POTENTIAL TRANSFER) PLANNING & DESIGN SERVICES

COUNCIL DISTRICT - 16
 FIRE PROTECTION DISTRICT - ANCHORAGE-MIDDLETOWN
 DATE: 8/28/19 SHEET 1 OF 2

19-MSUB-2012

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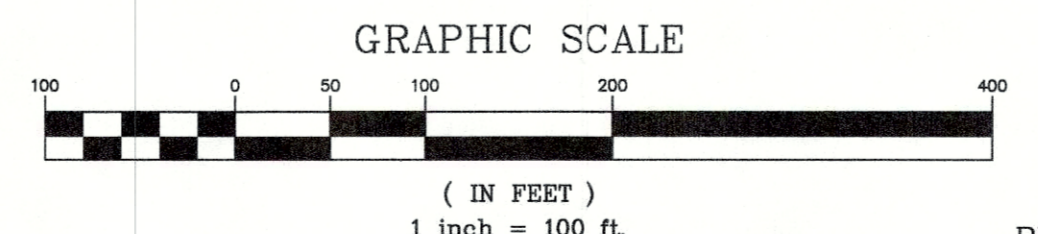
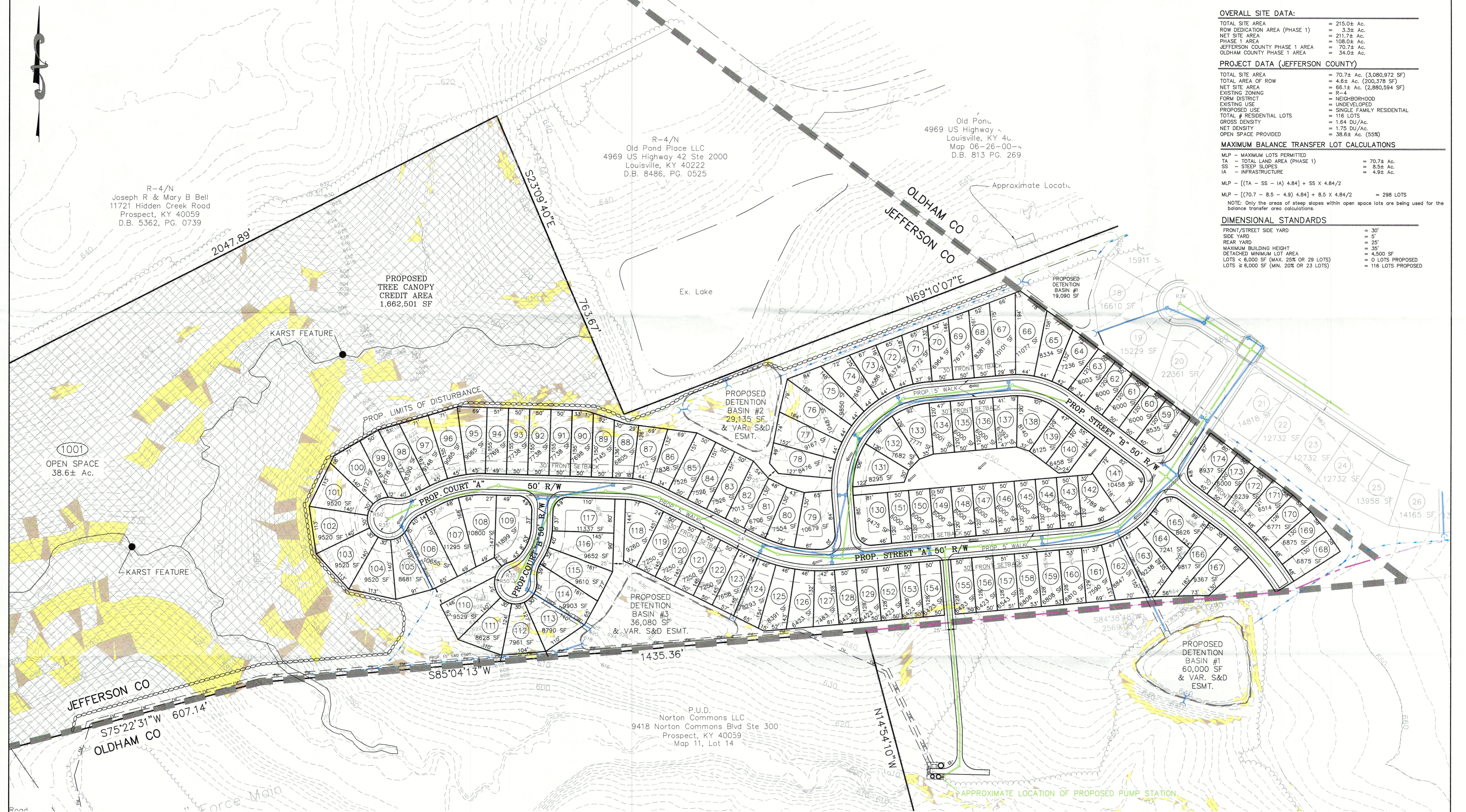
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JOB: 18165
LD&D RELATED JOBS: 13118 & 07219
MSD WM #11321

COUNCIL DISTRICT - 16
FIRE PROTECTION DISTRICT - ANCHORAGE-MIDDLETOWN
DATE: 8/26/19 SHEET 2 OF 2

RECEIVED
NOV 20 2019

FISCHER FARM
PRELIMINARY SUBDIVISION PLAN
(DEVELOPMENT POTENTIAL TRANSFER)

19-MSUB-0012