

THE EXISTING FEATURES, UNDERLYING TOPOGRAPHY, SITE BOUNDARY AND EASEMENT DATA, ETC SHOWN ON THIS PLAN SHEET ARE PROVIDED BY OTHERS. CHRIS SCHIFFER ENGINEERING MAKES NO REPRESENTATION TO THE ACCURACY OF THAT BASELINE DATA. THEREFORE, THE CONTRACTOR SHALL VERIFY THAT EXISTING FEATURES ARE AS SHOWN AND IMMEDIATELY REPORT ANY DISCREPANCIES TO SUBURBAN DESIGN GROUP PRIOR TO STARTING CONSTRUCTION.

UTILITY NOTE:
ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER KENTUCKY 811 (TOLL FREE PHONE NO. 1-800-752-6007 OR LOCAL NO. 502-266-5123) (48) HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS AND WATER LINES). WHEN CONTACTING THE KENTUCKY 811 CALL CENTER, PLEASE STATE THAT THE WORK BEING DONE IS FOR A PROPOSED MSD SEWER OR DRAINAGE FACILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS, IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

ALL UTILITY RELOCATIONS & ADJUSTMENTS ARE THE RESPONSIBILITY OF THE DEVELOPER



CALL 2 WORKING DAYS BEFORE YOU DIG!!!
1-800-752-6007

GENERAL NOTES

- DOMESTIC WATER SUPPLY: SUBJECT SITE CAN BE SERVED BY THE LOUISVILLE WATER COMPANY. THE NECESSARY WATER SYSTEM IMPROVEMENTS REQUIRED TO SERVICE THE DEVELOPMENT SHALL BE AT THE OWNER / DEVELOPER'S EXPENSE.
- TREE PRESERVATION: A TREE PRESERVATION PLAN SHALL BE PROVIDED TO THE PLANNING COMMISSION'S STAFF LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES ON THE SITE.
- PROTECTION OF TREES TO BE PRESERVED: CONSTRUCTION FENCING SHALL BE ERRECTED PRIOR TO ANY GRADING OR CONSTRUCTION ACTIVITIES—PREVENTING COMPACTION OF ROOT SYSTEMS OF TREES TO BE PRESERVED. THE FENCING SHALL ENCLOSE THE AREA BENEATH THE DRIP LINE OF THE TREE CANOPY AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE. NO PARKING, MATERIAL STORAGE OR CONSTRUCTION ACTIVITIES SHALL BE PERMITTED WITHIN THE FENCED AREA.
- IDENTIFICATION SIGN SHALL BE SUBMITTED TO AND APPROVED BY THE PLANNING STAFF PRIOR TO CONSTRUCTION PLAN APPROVAL AND THEY SHALL MEET THE REQUIREMENTS OF CHAPTER 4.4.3 AND 8, RESPECTIVELY OF THE LDC.
- ALL LUMINAIRES SHALL BE AIMED, DIRECTED, OR FOCUSED SUCH AS TO NOT CAUSE DIRECT LIGHT FROM THE LUMINAIRE TO BE DIRECTED TOWARDS RESIDENTIAL USES OR PROTECTED OPEN SPACES (I.E. CONSERVATION EASEMENTS, GREENWAYS, OR PARKWAYS) ON ADJACENT OR NEARBY PARCELS, OR TO CREATE GLARE PERCEPTIBLE ON PUBLIC STREETS AND RIGHT OF WAYS PER CHAPTER 4.1.3 OF THE LDC.
- ALL DUMPSTER PADS, TRANSFORMERS, AC UNITS, GENERATOR PADS TO BE SCREENED PER CHAPTER 10 OF THE LDC.
- ALL RADI TO BE 4.5' UNLESS OTHERWISE INDICATED.
- BUILDING ARCHITECTURE TO COMPLY WITH CHAPTER 5.5 AND 5.6 OF THE LDC.
- ALL INTERIOR SIDEWALKS THAT ADJUT PARKING TO BE 5' WIDE MINIMUM.
- A LANDSCAPE AND TREE CANOPY PLAN PER CHAPTER 10 OF THE LDC SHALL BE PROVIDED PRIOR TO ISSUANCE OF SITE DISTURBANCE PERMIT.
- MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE EMISSIONS REACHING EXISTING ROADS AND NEIGHBORHOODS.
- EACH PROPOSED BUILDING TO BE CONNECTED BY AN INDIVIDUAL 6" PSC, OWNER MUST PROVIDE DOCUMENTATION OF CONNECTION TO THE METRO SANITARY SEWER SYSTEM.
- ALL CONSTRUCTION AND SALES TRAILERS MUST BE PERMITTED BY THE DEPT. OF PUBLIC HEALTH AND WELLNESS IN ACCORDANCE WITH CHAPTER 115 OF LOUISVILLE JEFFERSON COUNTY METRO ORDINANCES.
- MOSQUITO CONTROL IN ACCORDANCE WITH CHAPTER 96 OF LOUISVILLE JEFFERSON COUNTY METRO ORDINANCES.
- ALL FOOD SERVICE ESTABLISHMENTS MUST BE IN ACCORDANCE WITH 902 KAR 45:005 REGULATIONS.

MSD NOTES

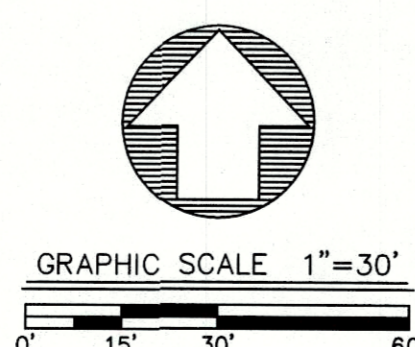
- WASTEWATER: MSD SANITARY SEWERS AVAILABLE BY EXISTING PSC, SEWAGE TO BE TREATED AT THE MORRIS FOREMAN WASTEWATER TREATMENT PLANT. SANITARY SEWER CAPACITY TO BE APPROVED BY METROPOLITAN SEWER DISTRICT. A DOWNSIDE CAPACITY REQUEST IS REQUIRED PRIOR TO PRELIMINARY PLAN APPROVAL.
- ALL RETAIL SHOPS MUST HAVE INDIVIDUAL PROPERTY SERVICE CONNECTIONS PER MSD'S FATS, OILS AND GREASE POLICY APPROPRIATE AGENCIES.
- EROSION & SILT CONTROL: A SOIL AND SEDIMENTATION CONTROL PLAN SHALL BE DEVELOPED AND IMPLEMENTED IN ACCORDANCE WITH MSD AND THE USDA NATURAL RESOURCES CONSERVATION SERVICE RECOMMENDATIONS. DOCUMENTATION OF MSD'S APPROVAL OF THE PLAN SHALL BE SUBMITTED TO THE PLANNING COMMISSION PRIOR TO GRADING AND CONSTRUCTION ACTIVITIES.
- A PORTION OF THE SITE IS LOCATED WITHIN THE COMBINED SEWER OVERFLOW FLOODPLAIN. LOWEST FINISHED FLOOR OR MACHINERY SHALL BE LOCATED AT OR ABOVE 457.32.
- SITE SHALL SHEET FLOW TO R/W

PUBLIC WORKS AND KTC NOTES

- NO LANDSCAPING AND COMMERCIAL SIGNS SHALL BE PERMITTED IN STATE AND METRO WORKS R/W.
- ALL ROADWAY AND ENTRANCE INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.
- VERGE AREAS WITH PUBLIC RIGHT-OF-WAY TO BE PROVIDED PER METRO PUBLIC WORKS.
- COMPATIBLE UTILITY LINES (ELECTRIC, PHONE, CABLE) SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPROPRIATE AGENCIES.
- STREET TREES SHALL BE PLANTED IN A MANNER THAT DOES NOT AFFECT PUBLIC SAFETY AND MAINTAINS PROPER SITE DISTANCE.
- THE DEVELOPER IS RESPONSIBLE FOR ANY UTILITY RELOCATION ON THE PROPERTY.
- TREES AND SHRUBBERY SHALL BE TRIMMED OR REMOVED TO PROVIDE SITE DISTANCE AS REQUIRED PER METRO PUBLIC WORKS.
- ALL EXISTING AND PROPOSED SIDEWALKS AND RAMPS SHALL CONFORM TO A.D.A. STANDARD SPECIFICATIONS, THE "SPECIAL NOTE FOR DETECTABLE WARNINGS FOR SIDEWALK RAMPS" PER KTC STANDARD DRAWINGS FOR SIDEWALKS AND PER "KY STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," LATEST EDITION.
- ALL WORK WITHIN THE RIGHT OF WAY WILL REQUIRE CONSTRUCTION PLANS, BOND AND PERMIT.
- ESQUIRE ALLEY SHALL NOT BE USED DURING CONSTRUCTION W/O A DAMAGE BOND IN PLACE.
- UPON DEVELOPMENT OR REDEVELOPMENT OF ADJACENT PROPERTIES, A UNIFIED ACCESS AND CIRCULATION SYSTEM SHALL BE DEVELOPED TO ELIMINATE PREEXISTING CURB CUTS AND PROVIDE FOR VEHICULAR MOVEMENT THROUGHOUT ADJACENT SITES AS DETERMINED APPROPRIATE BY THE DEPARTMENT OF PUBLIC WORKS. A CROSS ACCESS AGREEMENT TO RUN WITH THE LAND AND IN A FORM ACCEPTABLE TO PLANNING COMMISSION LEGAL COUNSEL SHALL BE RECORDED PRIOR TO THE TIME OF CONSTRUCTION APPROVAL FOR THE ADJACENT PROPERTY TO BE DEVELOPED.
- EXISTING SIDEWALK RECONSTRUCTION AND REPAIR SHALL BE REQUIRED AS NECESSARY TO MEET CURRENT MPW STANDARDS AND SHALL BE INSPECTED PRIOR TO BOND RELEASE.
- CONSTRUCTION PLANS, BOND AND KTC APPROVAL REQUIRED PRIOR TO MPW APPROVAL.
- ADDITION R/W MAY BE REQUIRED ALONG BROADWAY TO MEET CURRENT METRO LAND DEVELOPMENT CODE. THIS TO BE DETERMINED BY LOUISVILLE METRO TRANSPORTATION AND PUBLIC WORKS DEPARTMENTS.
- NO ADDITIONAL DRAINAGE TO STATE RIGHT OF WAY.
- SITE LIGHTING SHALL BE DESIGNED TO NOT SHINE INTO THE EYES OF DRIVERS.
- RADI FOR NEW COMMERCIAL ENTRANCES SHALL BE 35" WITHIN THE STATE R/W.
- ALL DRAINAGE STRUCTURES IN STATE R/W SHALL BE OF STATE DESIGN.
- LOTS TO BE CONSOLIDATED PRIOR TO PLAN APPROVAL.

SITE PLAN NOTES:

- ALL PAVEMENT WIDTH DIMENSIONS ARE FROM THE FACE OF CURB/ EDGE OF PAVEMENT UNLESS NOTED.
- SAW CUT EXISTING PAVEMENT TO CREATE A SMOOTH UNDAMAGED EDGE AGAINST WHICH NEW PAVEMENT SHALL BE CONSTRUCTED.
- ALL UN-LABELLED RADI 4.5'
- COVERED 6' X 12' WAVE STYLE BIKE RACK PARKING FOR 6 BIKES
- 9' X 18' @ 90° PARKING SPACE MARKED WITH 4" WIDE WHITE PAINT STRIPE
- 10' X 20' @ 90° PARKING SPACE MARKED WITH 4" WIDE WHITE PAINT STRIPE
- 9' X 18' @ 90° ACCESSIBLE PARKING SPACE MARKED WITH BLUE PAINT HANDICAP GRAPHIC AND 4" WIDE BLUE PAINT STRIPE W/6" WHEEL STOP
- 9' X 18' @ 90° ACCESSIBLE AISLE MARKED WITH 4" BLUE PAINT STRIPE
- ACCESSIBLE PARKING SIGN
- ACCESSIBLE PARKING SIGN W/VAN ACCESSIBLE PLACARD
- LIGHT POLE (SEE DETAIL SHT.)
- WHEEL STOPS - RubberForm Recycled Products #SRF-PBS38Y1W 4" X 8" X 72"L - with Blue strips



PROJECT DATA

EXISTING FIRM DISTRICT / ZONING ----- TRAD. MARKETPLACE / C-2
PROP. FIRM DISTRICT / ZONING ----- SAME NO CHANGE
EXISTING LAND USE ----- CAR WASH
PROP. LAND USE ----- CAR WASH
WITH ADDITIONAL 1610 S.F. LAUNDRY MAT
2ND FLOOR RETAIL 1610 S.F.

TOTAL LAND AREA ----- 24,667 S.F. / 0.56 AC.
BUILDING SIZE ----- EXISTING 5,002 S.F.
PROPOSED 3,220± 1,610 S.F./ STORY
BUILDING HEIGHT ----- 16± EXISTING 25± PROPOSED
FLOOR AREA RATIO ----- 0.48 (1.0 MAX.)
FIRE PROTECTION DISTRICT ----- LOUISVILLE 1
METRO COUNCIL DISTRICT ----- 4

PARKING DATA

1 BAY CONVEYOR CARWASH ----- 2 SPACES
MIN 2 SPACES PER BAY ----- 2 SPACES
MAX 3 SPACES PER BAY ----- 3 SPACES
5 BAY SELF SERVE CARWASH ----- 10 SPACES
MIN 2 SPACES PER BAY ----- 15 SPACES
MAX 3 SPACES PER BAY ----- 15 SPACES
LAUNDRY/MAT 1610 S.F. (NO DRIVE THRU)
MIN 1 SPACE/ 350 S.F. ----- 5 SPACES
MAX 1 SPACE/ 150 S.F. ----- 11 SPACES
2ND FLOOR RETAIL 1610 S.F.
MIN 1 SPACE/ 500 S.F. ----- 3 SPACES
MAX 1 SPACE/ 100 S.F. ----- 16 SPACES
MIN. PARKING REQUIRED ----- 20 SPACES - 10% TARC =18 SPACES
MAX. PARKING ALLOWED ----- 45 SPACES
PARKING PROVIDED (ONSITE) ----- 23 SPACES INCLUDING 2 H.C. SPACES
BICYCLE PARKING REQUIRED ----- 2 SHORT TERM AND 2 LONG TERM SPACES
BICYCLE PARKING PROVIDED ----- 6 SPACES

TREE CANOPY DATA:

GROSS SITE AREA ----- 24,667 S.F. / 0.56 AC.
TREE CANOPY CATEGORY ----- CLASS A
EXISTING TREE CANOPY ----- 4,908 S.F. (19.9%)
EXISTING TREE CANOPY TO BE PRESERVED ----- 1,920 S.F. (7.8%)
2 TYPE A STREET TREES ALONG 17TH ----- 960 X 2 =1920
TOTAL TREE CANOPY REQUIRED ----- 1,234 S.F. (5%)
TREE CANOPY TO BE PLANTED ----- 2,880 S.F. (11.6%)
4 TYPE 'A' TREES @ 1 3/4" CAL -----
TOTAL TREE CANOPY PROVIDED ----- 3,360 S.F. (19.4%)

LANDSCAPE DATA

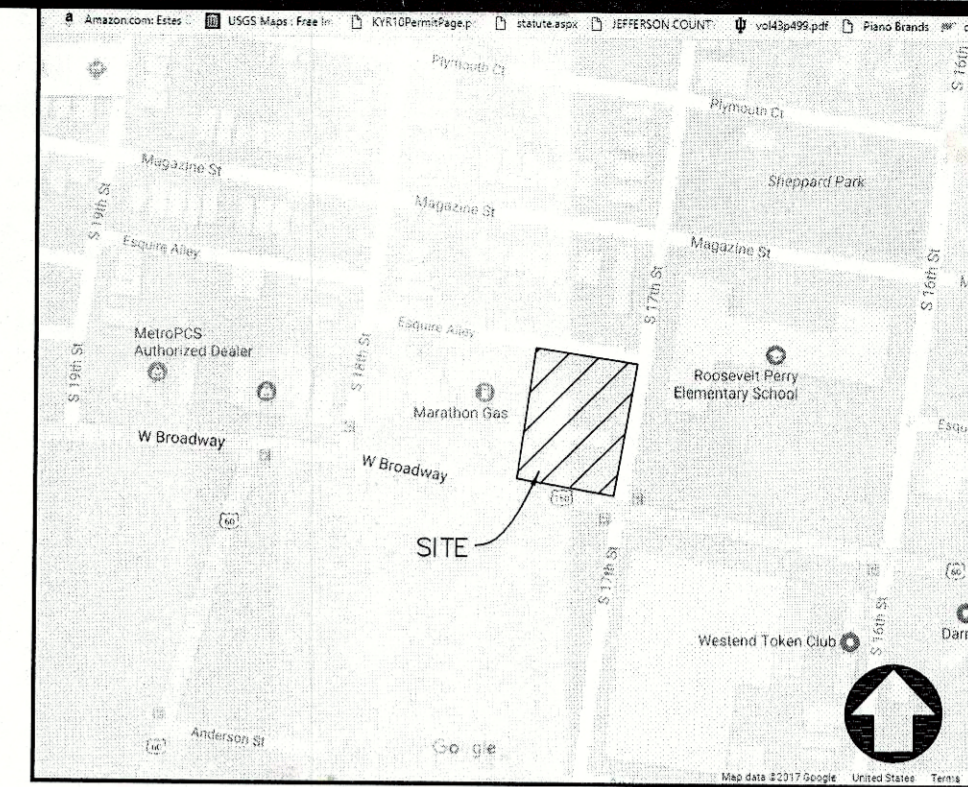
EXISTING VEHICLE USE AREA (VUA) ----- 17,760± S.F.
PROPOSED VEHICLE USE AREA (VUA) ----- 14,554± S.F.
REQ. INTERIOR LANDSCAPE AREA (ILA) ----- 728 S.F. (5.0% MIN.)
PROVIDED INTERIOR LANDSCAPE AREA (ILA) ----- 0 S.F. (0.0%)
PROVIDED LANDSCAPE AREA ----- 898 S.F. (6.1%) OF PARKING AREA

STORM WATER RUN-OFF CALCULATIONS:

TOTAL SITE AREA = 0.56 AC. (24,387 S.F.)
EXISTING IMPERVIOUS SURFACE = 0.52 AC. (22,840 S.F.)
PROPOSED IMPERVIOUS SURFACE = 0.49 AC. (21,712 S.F.)
PROPOSED PERVIOUS SURFACE = 0.07 AC. (2,955 S.F.)
X = GRA/12 FOR 1 HOUR 100 YEAR STORM
= (0.86-0.90)(2.9)(0.56)/12
= 0.005 ACRE-FEET DECREASE IN RUN OFF
PROPOSED AREA OF DISTURBANCE 5,000 S.F. 0.12 ACRES

SITE DESCRIPTION:

ACCORDING TO THE USDA WEB SOIL SURVEY, THE SITE CONSISTS OF Urban land-IIIc Udarents complex,



LOCATION MAP

NO SCALE

EROSION PREVENTION AND SEDIMENT CONTROL NOTE
THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED EPC PLAN MUST BE REVIEWED AND APPROVED BY MSD'S PRIVATE DEVELOPMENT REVIEW OFFICE. EPC BMP'S (BEST MANAGEMENT PRACTICES) SHALL BE INSTALLED PER THE PLAN AND MSD STANDARDS.

DETENTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PERFORM AS SEDIMENT BASINS DURING CONSTRUCTION UNTIL THE CONTRIBUTING DRAINAGE AREAS ARE SEEDDED AND STABILIZED.

ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.

SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES, AND CATCH BASINS. STOCKPILES SHALL BE SEEDDED, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE.

ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING STRUCTURES PER MSD STANDARD DRAWING ER-02.

SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED INTO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE, OR CATCH BASIN.

WHERE CONSTRUCTION OR LAND DISTURBING ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 DAYS AFTER THE ACTIVITY HAS CEASED.

LEGEND:

- EX. CONTOUR
- EX. TREE LINE
- EX. RAIL ROAD TRACK
- EX. WATER LINE
- EX. WATER METER
- EX. WATER VALVE
- EX. FIRE HYDRANT
- EX. UTILITY POLE/GUY WIRE
- EX. OVERHEAD ELECTRIC
- EX. LIGHTPOLE
- EX. FENCE
- EX. OVERHEAD TELEPHONE
- EX. GAS LINE
- EX. SANITARY SEWER / MANHOLE
- EX. DITCH / CREEK
- EX. CATCH BASIN W/ PIPE
- EX. DITCH / CREEK
- EOP EDGE OF PAVEMENT
- BOC BACK OF CURB
- PROP. DITCH / DETENTION BASIN
- PROP. HEADWALL CATCH BASIN / YARD DRAIN W/ PIPE
- PROP. HDWL / C.B. / Y.D. & PIPE DENOTES THRU DRAINAGE
- DRAINAGE FLOW ARROW
- PROP. HANDICAP PARKING SYMBOL
- PROPOSED FIRE HYDRANT
- PROPOSED WATER LINE
- PROP. SANITARY LINE / MANHOLE
- PROPOSED CONCRETE
- EX. P.W.M.T., CURB, WALK TO BE REMOVED

Toughly 4-4-18
Development Review
LOUISVILLE & JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT

PRELIMINARY APPROVAL DEVELOPMENT PLAN

CONDITIONS:
BY: [Signature]
DATE: [Signature]
LOUISVILLE/JEFFERSON COUNTY METRO PUBLIC WORKS

RECEIVED
MAR 31 2018
PLANNING & DESIGN SERVICES

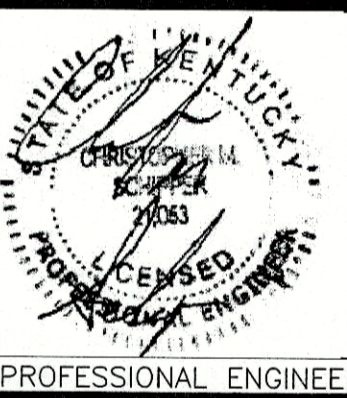
CASE # 17 DEV PLAN 1180

PREV. CASE # B-123-99

WM # 6783

NO.	DATE	REVISION	BY
3	3/30/18	FINAL COMMENTS	CMS
2	1/10/18	3RD ROUND COMMENTS	CMS
3	1/10/18	2ND ROUND COMMENTS	CMS
1	11/10/17	1ST ROUND COMMENTS	CMS

DATE 9/18/17
SHEET NO. DV.01
BY DV.01



PROJECT
1701 W. BROADWAY
REAR BUILDING CONSTRUCTION
1701 WEST BROADWAY
LOUISVILLE, KY 40203
T.B. 13F-10T-15 DB-10895 PG. 96

CATEGORY 2B DEVELOPMENT PLAN

OWNER / DEVELOPER
KHEDER KUTMAN CRYSTAL CLEAN CARWASH
1701 W. BROADWAY
LOUISVILLE, KY 40203

CHRIS SCHIFFER ENGINEERING
P.O. BOX 2844
CHANKASAW, KY 40202
Email: chschiff@csengr.com