

GENERAL NOTES

- SANITARY SEWER SERVICE - UTILIZE EXISTING SERVICE CONNECTIONS. SEWAGE FROM THIS DEVELOPMENT TO BE TREATED AT THE MORRIS FORMAN WWTG.
- DRAINAGE / STORM WATER DETENTION: FINAL CONFIGURATION AND SIZE OF DRAINAGE PIPES AND CHANNELS SHALL BE DETERMINED DURING THE CONSTRUCTION PLAN DESIGN PROCESS. POST DEVELOPED PEAK FLOWS WILL BE LIMITED TO PREDEVELOPED PEAK FLOWS FOR THE 2, 10, 25, & 100 YEAR STORMS OR TO THE CAPACITY OF THE DOWNSTREAM SYSTEM, WHICHEVER IS MORE RESTRICTIVE.
- EROSION & SILT CONTROL: A SOIL AND SEDIMENTATION CONTROL PLAN SHALL BE DEVELOPED AND IMPLEMENTED IN ACCORDANCE WITH MSD AND THE USDA NATURAL RESOURCES CONSERVATION SERVICE RECOMMENDATIONS. DOCUMENTATION OF MSD'S APPROVAL OF THE PLAN SHALL BE SUBMITTED TO THE PLANNING COMMISSION PRIOR TO GRADING AND CONSTRUCTION ACTIVITIES.
- THE DEVELOPMENT LIES IN THE ST MATTHEWS FIRE DISTRICT. CONSTRUCTION PLANS SHALL BE REVIEWED AND APPROVED BY THE ST MATTHEWS FIRE DISTRICT. A STATEMENT ON THE ADEQUACY OF ACCESS TO THE PROPERTIES SHALL BE OBTAINED FROM THE FIRE DISTRICT.
- COMPATIBLE UTILITY LINES (ELECTRIC, PHONE, CABLE) SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPROPRIATE AGENCIES.
- ALL DIMENSIONS SHOWN IN PAVED AREAS ARE FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT UNLESS SHOWN OTHERWISE.
- ALL PARKING ISLANDS SHALL BE OBTAINED WITH CONCRETE MEDIAN CURB UNLESS NOTED OTHERWISE.
- ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACCEPTABLE "A.D.A." REQUIREMENTS FOR HANDICAP ACCESSIBILITY.
- A PORTION OF THIS PROPERTY IS LOCATED IN A 100 YEAR FLOOD HAZARD AREA. (FEMA MAPS 21111C0045E, DECEMBER 5, 2006)
- CONSTRUCTION PLANS, BOND & PERMITS ARE REQUIRED BY METRO PUBLIC WORKS PRIOR TO CONSTRUCTION APPROVAL.
- MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE PARTICULATE EMISSIONS FROM REACHING EXISTING ROADS AND NEIGHBORING PROPERTIES.
- ALL SERVICE STRUCTURES SHALL BE SCREENED IN ACCORDANCE WITH ARTICLE 12 OF THE LAND DEVELOPMENT CODE. SERVICE STRUCTURES INCLUDE BUT ARE NOT LIMITED TO: PROPANE TANKS, DUMPSTERS, HVAC UNITS, ELECTRIC TRANSFORMERS AND TELECOM BOXES.
- ALL SIGNS SHALL BE IN ACCORDANCE WITH ARTICLE 11 OF THE LDC (2003).
- CITY OF ST. MATTHEWS APPROVAL REQUIRED.
- IF SITE HAS THRU DRAINAGE AND EASEMENT PLAT WILL BE REQUIRED PRIOR TO MSD GRANTING CONSTRUCTION PLAN APPROVAL.
- ALL RETAIL SHOPS MUST HAVE INDIVIDUAL CONNECTIONS PER MSD'S FATS, OIL AND GREASE POLICY.
- THE DEVELOPER / PROPERTY OWNER SHALL INSTALL A CONCRETE BOARDING PAD, BENCH PAD AND THEN NOTIFY TARC WHEN THE CONSTRUCTION IS COMPLETE. TARC WILL THEN INSTALL A STANDARD BENCH. IN ADDITION, THE DEVELOPER / PROPERTY OWNER SHALL CLEAN THE STOP ON AN AS NEEDED BASIS.
- CONSTRUCTION PLANS AND DOCUMENTS SHALL COMPLY WITH LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT'S DESIGN MANUAL AND STANDARD SPECIFICATIONS AND OTHER LOCAL, STATE AND FEDERAL ORDINANCES.
- THE FINAL DESIGN OF THIS PROJECT MUST MEET ALL MS4 WATER QUALITY REGULATIONS ESTABLISHED BY MSD. SITE LAYOUT MAY CHANGE AT THE DESIGN PHASE DUE TO PROPER SIZING OF GREEN MANAGEMENT PRACTICES.

EPSC NOTES

THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED EPSC PLAN MUST BE REVIEWED AND APPROVED BY M.S.D.'S PRIVATE DEVELOPMENT REVIEW OFFICE. EPSC BMPs SHALL BE INSTALLED PER THE PLAN AND M.S.D. STANDARDS.

DETENTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PERFORM AS SEDIMENT BASINS DURING CONSTRUCTION UNTIL THE CONTRIBUTING DRAINAGE AREAS ARE SEEDED AND STABILIZED.

ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOILS TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.

SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES, AND CATCH BASINS. STOCKPILES SHALL BE SEEDED, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCING.

ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING STRUCTURES PER M.S.D. STANDARD DRAWING ER-02.

WHERE CONSTRUCTION OR LAND DISTURBANCE ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NOT LATER THAN 14 CALENDAR DAYS AFTER THE ACTIVITY HAS CEASED.

SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING, OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE, OR CATCH BASIN.

EPSC PHASING

- INSTALL SILT FENCE & CONSTRUCTION ENTRANCE.
- BEGIN GRADING AND STORM SEWER CONSTRUCTION.
- INSTALL INLET PROTECTION.
- REMOVE SILT FENCE AND INLET PROTECTION ONCE VEGETATION IS ESTABLISHED.

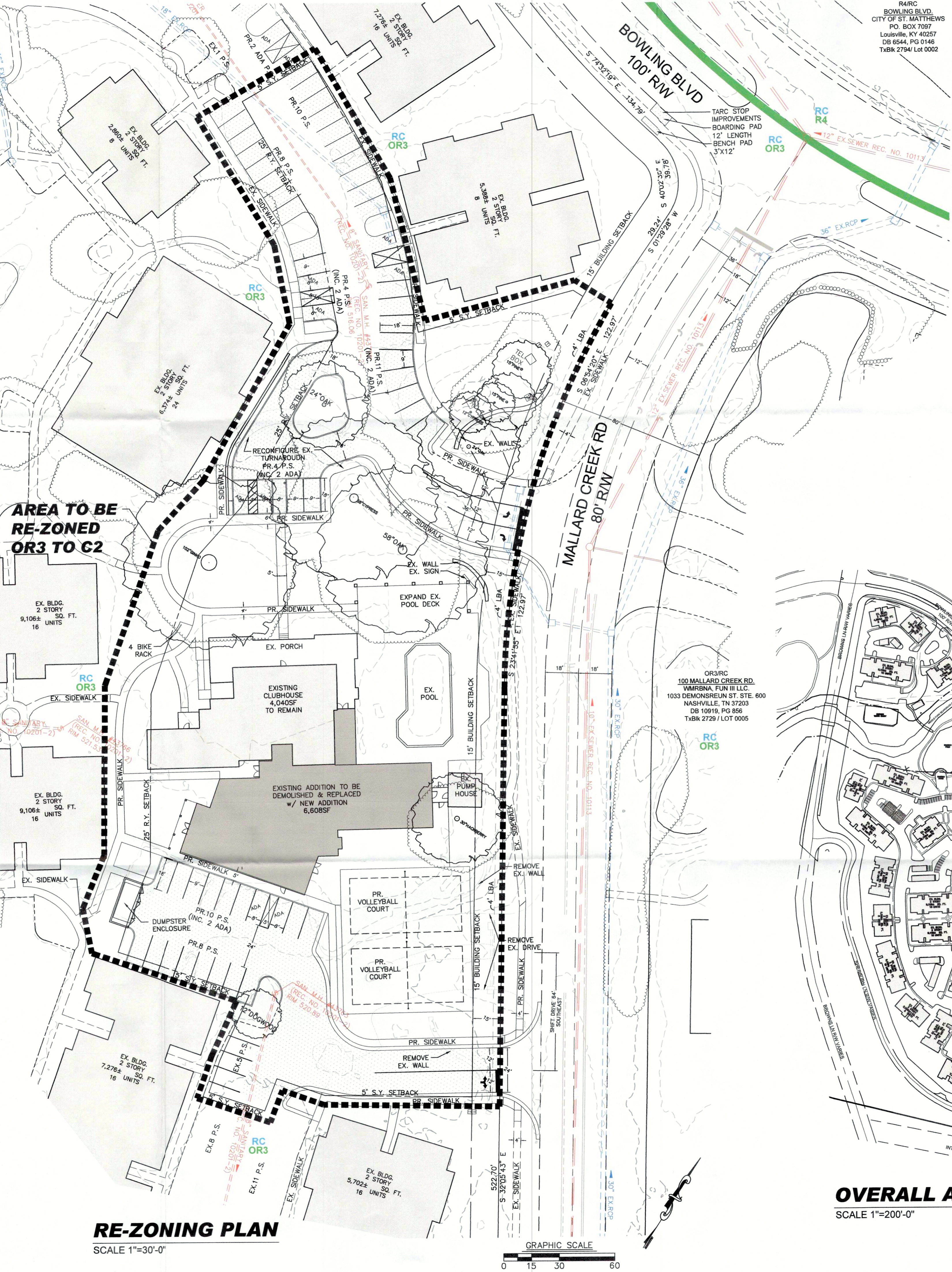
UTILITY NOTE

ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER "B.U.D." (TOLL FREE PHONE NO. 1-800-382-5544) 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS AND WATER LINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, NATURE, AND STATUS OF ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION AREA WHETHER SHOWN ON THE PLANS OR NOT, AND SHALL EXTEND, ADJUST OR RECONSTRUCT TO THE SIZE AND LOCATION AS SHOWN ON THE ARCHITECTS PLANS.

IMPERVIOUS SURFACE CALCULATIONS

SITE AREA - LOT 1	900,851SF
EXISTING IMPERVIOUS AREA	435,384SF
PROPOSED IMPERVIOUS AREA	441,932SF
CHANGE IN IMPERVIOUS AREA	+6,548SF / +1.48%
AREA OF DISTURBANCE	81,912SF



SITE DATA

EXISTING/PROPOSED ZONING: OR3/C2
 EXISTING/PROPOSED FORM DISTRICT: REGIONAL CENTER (RC)
 EXISTING USE: CLUBHOUSE
 SITE AREA: 212 AC
 (TO BE RE-ZONED) 92,298 SF
 EXISTING BUILDING FOOTPRINT: 9,979 SF
 EXISTING BUILDING FLOOR AREA: 13,830 SF
 EXISTING BUILDING HEIGHT: 24' ± ~ 30' ±
 TOTAL FAR: 0.15
 PROPOSED BUILDING FOOTPRINT: 10,648 SF
 PROPOSED BUILDING FLOOR AREA: 14,888 SF
 PROPOSED BUILDING HEIGHT: 24' ± ~ 30' ±
 TOTAL FAR: 0.16

PARKING CALCULATIONS

(St. Matthews LDC 2008, Ch. 9)
 LOT-1 (328 UNITS)
 REQUIRED PARKING: MIN ** MAX
 EXISTING CONDITION: 15P/350 SF=33 1 SP/100 SF=100
 LEASING / AMENITY (0,979 SF): 1.5 SP/D.U.=492 3 SP/D.U.=984
 MULTI-FAMILY (UNITS): 1.5 SP/D.U.=492 3 SP/D.U.=984
 TOTAL PARKING REQUIRED: 525 499 SPACES** 1,084 SPACES

EXISTING PARKING: 466 SPACES (12 ADA)
 SURFACE PARKING: 43 SPACES
 GARAGE PARKING: 21 SPACES
 TOTAL: 530 SPACES

REQUIRED PARKING: MIN ** MAX
 PROPOSED CONDITIONS: 15P/350 SF=33 1 SP/100 SF=100
 LEASING (1,207 SF): 1.5 SP/D.U.=492 3 SP/D.U.=984
 FITNESS (3,218 SF): 1.5 SP/D.U.=492 3 SP/D.U.=984
 RESTAURANT (5,726 SF): 1.5 SP/D.U.=492 3 SP/D.U.=984
 EX. MULTI-FAMILY (UNITS): 1.5 SP/D.U.=492 3 SP/D.U.=984
 NEW MULTI-FAMILY: 1.5 SP/D.U.=492 3 SP/D.U.=984
 PARKING REQUIRED: 564 537 SPACES** 1,137 SPACES

PROPOSED REVISED PARKING: 485 SPACES (12 ADA)
 SURFACE PARKING: 43 SPACES
 GARAGE PARKING: 21 SPACES
 TOTAL: 549 SPACES

** 5% REDUCTION.
 APPLICABLE REDUCTIONS AS FOLLOWS:
 1. LDC 9.1.3, TABLE 1.1.1 - PROXIMITY TO TARC ROUTE = 5% REDUCTION

I/LA CALCULATIONS

EXISTING VUA: 216,323SF
 PROPOSED VUA: 29,149SF
 CHANGE IN VUA SF/%: +1,959SF / +0.91%
 * PER CH. 12.C.6 - THE PROPOSED REVISIONS DO NOT MEET THE LANDSCAPE REQUIREMENTS THRESHOLD.

TREE CANOPY CALCULATIONS

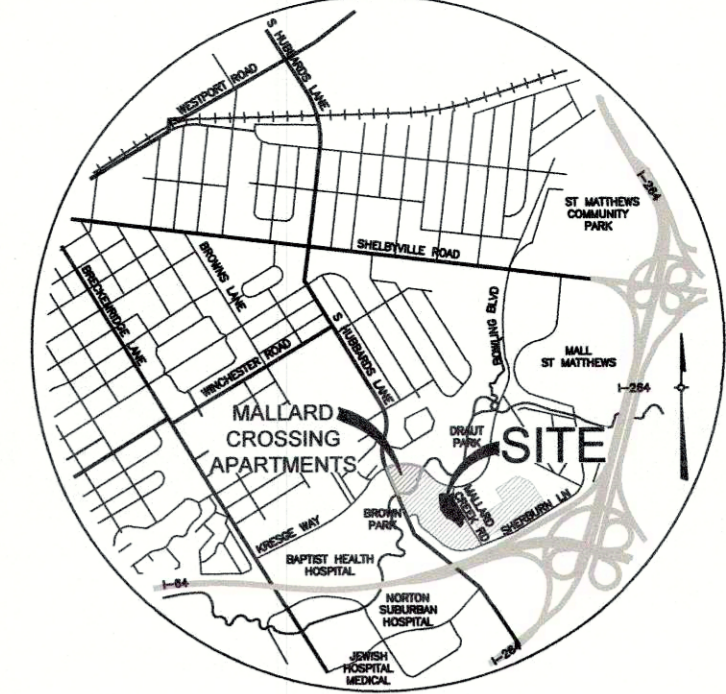
LOT-1
 SITE AREA: 900,851SF
 EXISTING TREE CANOPY: 197,035SF (22%)
 EXISTING TREE CANOPY TO REMAIN: 179,873SF (20%)
 TREE CANOPY REQUIRED (15%): 135,143SF

BICYCLE PARKING CALCULATIONS

SHORT TERM PARKING REQUIRED: 4 SPACES
 LONG TERM PARKING REQUIRED: 2 SPACES
 BICYCLE PARKING PROVIDED: 2 LONG TERM SPACES (INSIDE THE BUILDING)

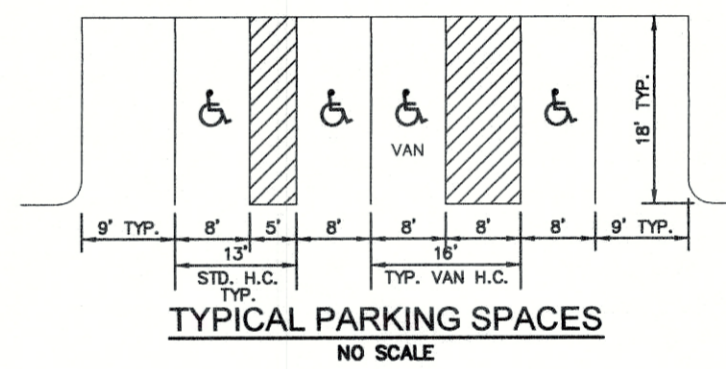
VARIANCE

1. A VARIANCE OF LDC 6.4.C.2.a TO ALLOW EXISTING PARKING, SIDEWALKS, AND BUILDINGS TO ENCRoACH INTO THE REQUIRED SETBACKS.



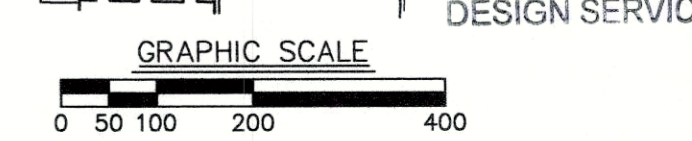
LEGEND

- EX. STORM SEWER
- PROP. STORM SEWER
- EX. SANITARY SEWER (PUBLIC)
- EX. SANITARY SEWER (PRIVATE)
- PROP. SANITARY SEWER
- DRAINAGE FLOW ARROWS
- EX. FENCE
- EXISTING TREES
- EXISTING TREE TO BE PRESERVED
- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- ZONING BOUNDARY
- FORM DISTRICT BOUNDARY
- ZONING / FORM DISTRICT
- EXISTING BUILDINGS
- BUILDING ADDITION
- PARKING LOT REVISION



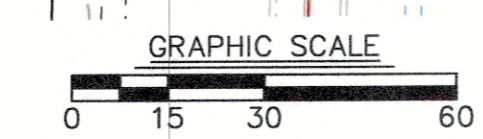
OVERALL APARTMENT DEVELOPMENT

SCALE 1"=200'-0"



RE-ZONING PLAN

SCALE 1"=30'-0"



SABAK, WILSON & LINGO, INC
 ENGINEERS, LANDSCAPE ARCHITECTS & PLANNERS
 LOUISVILLE, KENTUCKY 40202
 608 S. THIRD STREET, THE HENRY CLAY

NO.	REVISION	DATE
1	AGENCY COMMENTS	7/9/19
2	MEG COMMENTS	7/22/19

PROJECT TITLE:	REVISD DISTRICT DEVELOPMENT PLAN
PROJECT TITLE:	MALLARD CROSSING RE-DEVELOPMENT
PROJECT ADDRESS:	400 & 1000 MALLARD CREEK ROAD
PROJECT ADDRESS:	LOUISVILLE, KENTUCKY 40207
OWNER / DEVELOPER:	LC MALLARD CROSSING, LLC
OWNER / DEVELOPER:	230 WEST STREET, SUITE 200
OWNER / DEVELOPER:	COLUMBUS, OH 43216

RECEIVED JUL 22 2019
 DESIGN SERVICES
 SHEET TITLE: REVISD DISTRICT DEVELOPMENT PLAN
 PROJECT TITLE: MALLARD CROSSING RE-DEVELOPMENT
 PROJECT ADDRESS: 400 & 1000 MALLARD CREEK ROAD
 PROJECT ADDRESS: LOUISVILLE, KENTUCKY 40207
 OWNER / DEVELOPER: LC MALLARD CROSSING, LLC
 OWNER / DEVELOPER: 230 WEST STREET, SUITE 200
 OWNER / DEVELOPER: COLUMBUS, OH 43216
 JOB NO. 3059
 SCALE: 1"=30'-0"
 DATE: 6/6/19
 DRAWING NO:
ZDP
 SHEET 1 OF 1