

# Paddocks of Parkridge

Planning Commission

October 20, 2022

21-ZONE-0139

Applicant:

TKS Rental Properties LLC

Attorney

Jon Baker

Prepared By: Derek Triplett, RLA



LAND DESIGN & DEVELOPMENT INC

503 Washburn Avenue, Suite 101, Louisville, KY 40222 | p: (502) 426-9374

# SITE LOCATION



# SITE LOCATION



JOB # 16200  
DATE: 09.20.2022

Aerial

**LD&D**  
LAND DESIGN & DEVELOPMENT, INC.

# ZONING



LOJIC Online

A GIS Partnership to Meet the Growing Needs of Louisville, KY

# TRANSPORTATION



# STREET VIEW



SITE

Besaw's Tax Services

Google Earth

# STREET VIEW

7/18/2019 10:00 AM

Exit Street View

SITE



© 2022 Google

Google Earth

San Antonio, TX

Imagery Date: 5/2019 38°08'10.62" N 85°47'40.46" W elev. 592 ft eye alt. 508 ft

# STREET VIEW

7821 Mansfield Rd



→ SITE



© 2008 Google

Google Earth

38°08'11.11" N 85°47'43.42" W elev. 501 ft. over all 509 ft.



# STREET VIEW



SITE

Google Earth

# STREET VIEW

7783 (37-907)



→ SITE



© 2022 Google

Google Earth

Report a problem

Imagery Date: 6/2021 38°08'00.17" N 85°47'23.09" W elev: 534 ft eye alt: 467 ft

# STREET VIEW

778.333.9007



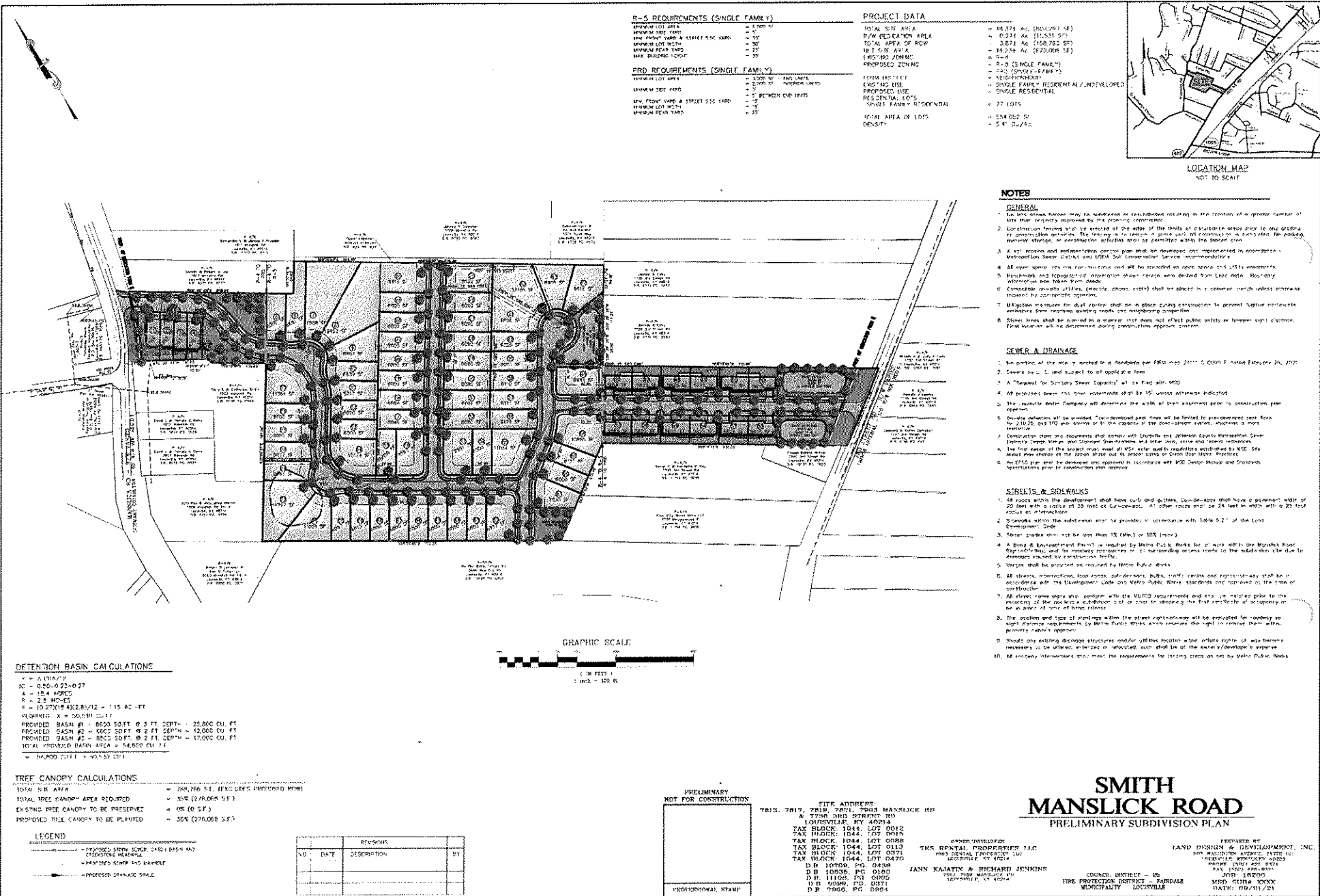
SITE



© 2022 Google

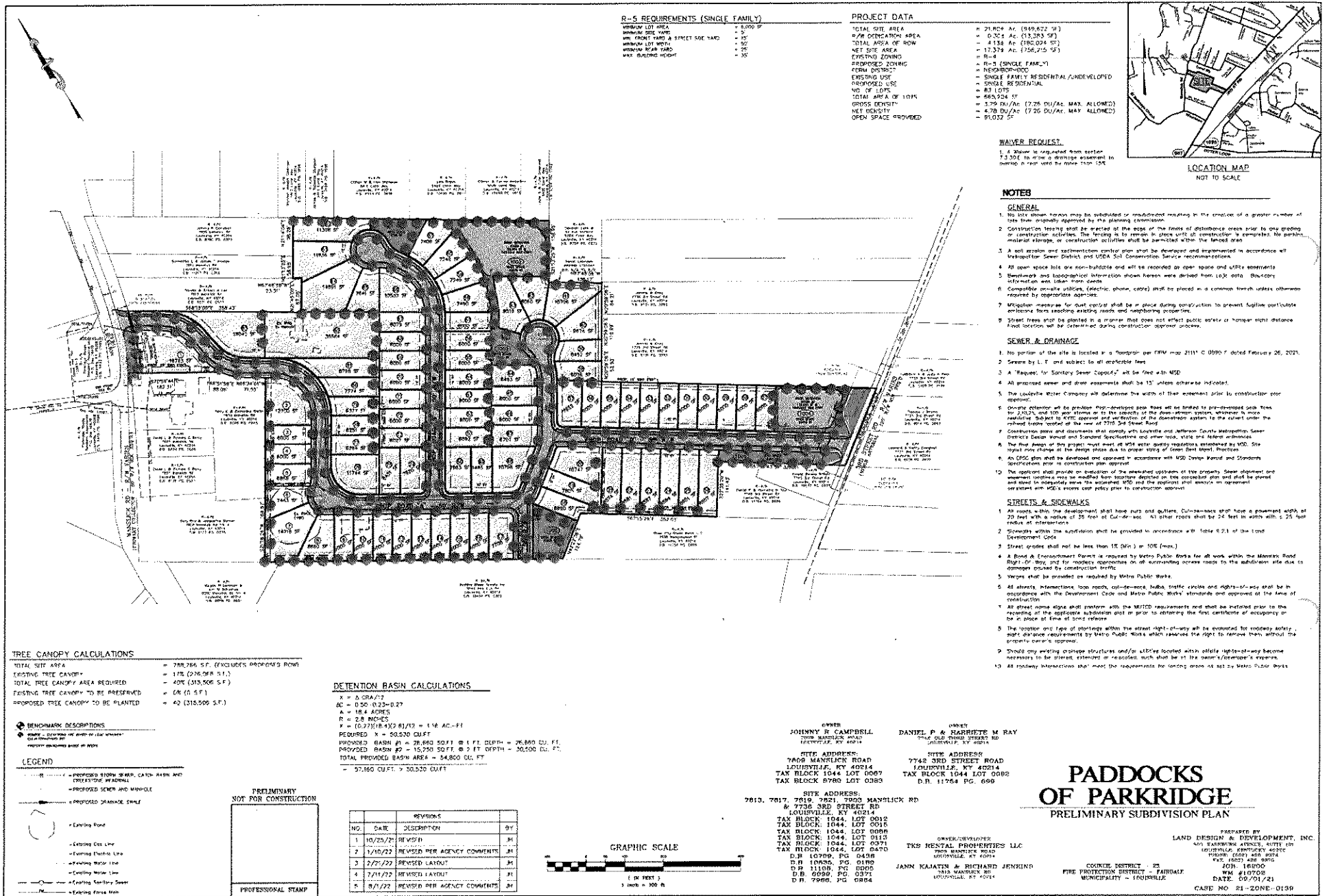
Google Earth

# ORIGINAL SUBMITTAL



SCALE AND DIMENSIONS ARE SHOWN IN METERS AND FEET. THE SCALE IS 1" = 100 FT. THE SCALE IS 1" = 100 FT.

# PLAN



### R-S REQUIREMENTS (SINGLE FAMILY)

MINIMUM LOT AREA	10,000 SF
MINIMUM SIDE YARD	5'
MIN. FRONT SETBACK STREET SIDE YARD	10'
MINIMUM LOT WIDTH	30'
MINIMUM REAR YARD	10'
MAX. BUILDING HEIGHT	30'

### PROJECT DATA

TOTAL SITE AREA	= 21,804 AC (949,822 SQ)
67% OPEN SPACE AREA	= 14,621 AC (633,381 SQ)
TOTAL AREA OF ROW	= 4,134 AC (180,024 SQ)
NET SITE AREA	= 17,579 AC (756,215 SQ)
EXISTING ZONING	= R-14
PROPOSED ZONING	= R-1 (SINGLE FAM.-1)
EXISTING DISTRICT	= NEIGHBORHOOD
EXISTING USE	= SINGLE FAMILY RESIDENTIAL / UNDEVELOPED
PROPOSED USE	= SINGLE RESIDENTIAL
NO. OF LOTS	= 813 (LTS)
TOTAL AREA OF 100% OPEN SPACE	= 865,224 SQ
GROSS DENSITY	= 2.79 DU/AC (MAX. ALLOWED)
NET DENSITY	= 4.78 DU/AC (726 DU/AC MAY ALLOWED)
OPEN SPACE PROVIDED	= 91,027 SQ

### WAVYER REQUEST

1. A waiver is requested from section 7-3.202 to allow a drainage easement to overlap a front yard by more than 15%.

### NOTES

- GENERAL**
- No site shown herein may be subdivided or redeveloped resulting in the creation of a greater number of lots than originally approved by the planning commission.
  - Construction testing shall be done at the ends of the limits of disturbance areas prior to any grading or construction activities. The testing is to remain in place until all construction is completed. No parking, material storage, or construction activities shall be permitted within the fenced area.
  - All erosion and sedimentation control plans shall be developed and implemented in accordance with the Department of Environmental and Natural Resources (DENR) recommendations.
  - All open space lots are non-buildable and will be recorded as open space and utility easements.
  - Boundary and topographical information shown herein were derived from LIDAR data. Boundary information was taken from deeds.
  - Compatible on-site utilities (electric, phone, cable) shall be placed in a common trench unless otherwise required by appropriate agencies.
  - Utility easements for gas, water, sewer, and storm water shall be placed in a common trench unless otherwise indicated from existing existing and neighboring properties.
  - Street trees shall be planted in a manner that does not affect public safety or neighbor right distance. Final location will be determined during construction approval process.

### SEWER & DRAINAGE

- No portion of the site is located in a "sanitary sewer overflow" (SSO) area as defined by the State of Tennessee.
- Sewers by L. T. and subject to all applicable laws.
- A "Request for Sanitary Sewer Capacity" will be filed with MSD.
- All proposed sewer and drain easements shall be 15' unless otherwise indicated.
- The Louisville Water Company will determine the width of their easement prior to construction approval.
- Overlapping easements shall be provided. Overlapping easements shall be limited to pre-developed easements for water, gas, and sewer systems or to the easements of the development system, whichever is more restrictive. Subject to DENR approval and verification of the operation system, to the extent under the railroad tracks located on the west of 7750 3rd Street Road.
- Construction plans and documents shall comply with Louisville and Jefferson County Metropolitan Sewer Districts Design Manual and Standard Specifications and other local, state and federal regulations.
- The final design on this project must meet all utility easement quality standards established by MSD. Site layout may change at the design stage due to sewer lines of lower flow capacity.
- An O&G plan shall be developed and approved in accordance with MSD Drainage Manual and Standards Specifications prior to construction plan approval.
- The applicant shall provide an evaluation of the watershed upstream of this property. Sewer treatment and retention systems may be modified from those depicted on this subdivision plan and shall be placed and sized to accommodate the watershed MSD and the applicant shall provide an evaluation of the watershed MSD's excess capacity prior to construction approval.

### STREETS & SIDEWALKS

- All roads within the development shall have curb and gutters. Curb-to-backs shall have a pavement width of 20 feet with a radius of 35 feet at curb corners. All other roads shall be 24 feet in width with a 25' curb radius at intersections.
- Grades within the subdivision shall be provided to accordance with Table 6.2.1 of the Local Development Code.
- Street grades shall not be less than 1% (Min.) or 10% (Max.).
- A Bond & Encroachment Permit is required by Metro Public Works for all work within the Manslick Road Right-of-Way, and for roadway encroachments on all surrounding streets except to the addition site due to easements owned by construction traffic.
- Signage shall be provided as required by Metro Public Works.
- All streets, intersections, road signs, curbs, sidewalks, public traffic circles and adjacent lots shall be in accordance with the Development Code and Metro Public Works' standards and approved at the time of construction.
- All street name signs shall conform with the MUTCD requirements and shall be installed prior to the recording of the applicable subdivision plat or prior to obtaining the first certificate of occupancy or the a date set by the city of Louisville.
- The location and type of markings within the street right-of-way shall be considered for roadway safety, sight distance requirements by Metro Public Works which reserves the right to remove them without the applicant's consent.
- Should any existing drainage structures and/or utilities located within utility right-of-way become necessary to be altered, extended or replaced, such shall be at the owner/developer's expense.
- All roadway intersections shall meet the requirements for loading zones as set by Metro Public Works.

### TREE CANOPY CALCULATIONS

TOTAL SITE AREA	= 788,784 SF (EXCLUDES PROVIDER'S ROW)
EXISTING TREE CANOPY	= 172,016,908 SF (1.1)
TOTAL TREE CANOPY AREA REQUIRED	= 426 (315,506 SF)
EXISTING TREE CANOPY TO BE PRESERVED	= 106 (10 SF)
PROPOSED TREE CANOPY TO BE PLANTED	= 42 (315,506 SF)

### DETENTION BASIN CALCULATIONS

X = 5.024/1.2
AC = 0.50 (32.3-12.2)
A = 16.4 ACRES
R = 2.8 HOURS
X = (0.271)(8.4)(2.8)(1.2) = 1.16 AC-FT
REQUIRED X = 50,520 CU.FT
PROVIDED BASIN #1 = 26,860 SQ.FT @ 1 FT DEPTH = 26,860 CU.FT
PROVIDED BASIN #2 = 15,500 SQ.FT @ 2 FT DEPTH = 30,500 CU.FT
TOTAL PROVIDED BASIN AREA = 54,800 CU.FT
= 57,160 CU.FT > 50,520 CU.FT

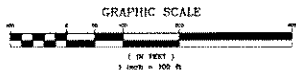
- ### BENCHMARK DESCRIPTIONS
- Surveyed benchmark of iron rebar
  - Surveyed benchmark of iron rebar
  - Surveyed benchmark of iron rebar

- ### LEGEND
- Proposed Storm Water Catch Basin and Detention Pond
  - Proposed Sewer and Manhole
  - Proposed Drainage Swale
  - Existing Road
  - Existing Gas Line
  - Existing Electric Line
  - Existing Water Line
  - Existing Sewer Line
  - Existing Sanitary Sewer
  - Existing Fire Line

PRELIMINARY NOT FOR CONSTRUCTION

PROFESSIONAL STAMP

NO.	DATE	REVISIONS	BY
1	10/25/21	REVISED	JM
2	1/16/22	REVISED PER AGENCY COMMENTS	JM
3	2/21/22	REVISED LAYOUT	JM
4	7/11/22	REVISED LAYOUT	JM
5	9/1/22	REVISED PER AGENCY COMMENTS	JM



**OWNER:** JOHNNY R CAMPBELL  
7909 MANSLUCK ROAD  
LOUISVILLE, KY 40214

**OWNER/DEVELOPER:** TKS RENTAL PROPERTIES LLC  
7909 MANSLUCK ROAD  
LOUISVILLE, KY 40214

**OWNER/DEVELOPER:** JANN KAJATIN & RICHARD JENNINS  
7909 MANSLUCK ROAD  
LOUISVILLE, KY 40214

**OWNER:** DANIEL P & BARBARA M RAY  
7742 3RD STREET RD  
LOUISVILLE, KY 40214

**OWNER/DEVELOPER:** FIRE PROTECTION DISTRICT # 23  
MUNICIPALITY OF LOUISVILLE

**OWNER/DEVELOPER:** LAND DESIGN & DEVELOPMENT, INC.  
401 EASTBURY AVENUE, SUITE 100  
FRANKFORT, KY 40601  
PH: (502) 458-8072  
FAX: (502) 458-8073  
JOHN 16000  
WIM 107000  
DATE: 09/01/21  
CASE NO 21-ZONE-0139

## PADDOCKS OF PARKRIDGE

### PRELIMINARY SUBDIVISION PLAN

# AERIAL

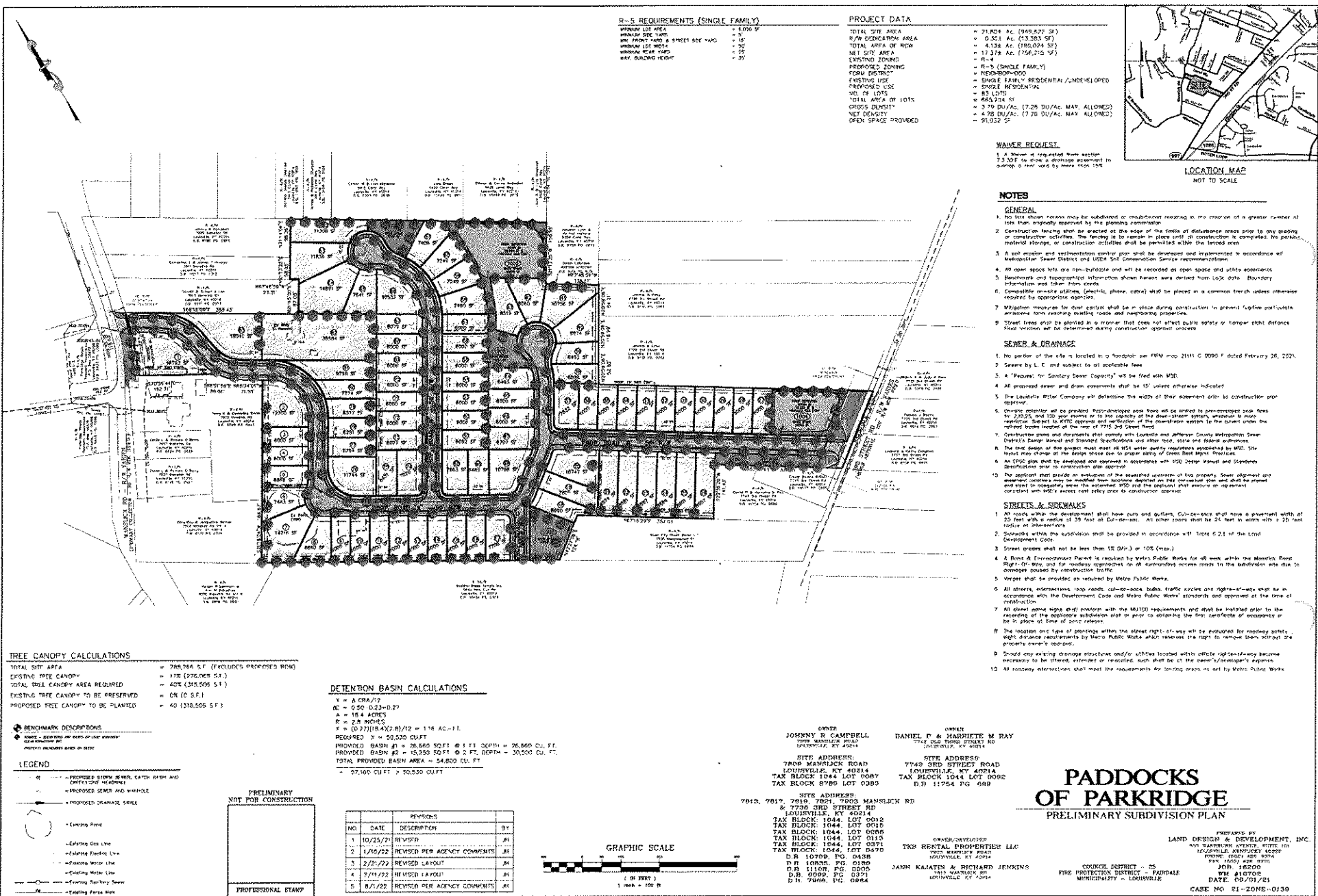


JOB # 16200  
DATE: 09.20.2022

Aerial

**LD&D**  
LAND DESIGN & DEVELOPMENT, INC.

# PLAN



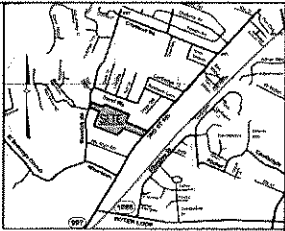
### R-S REQUIREMENTS (SINGLE FAMILY)

- MINIMUM LOT AREA = 1,000 SF
- MINIMUM SIDE YARD SWY FRONT YARD & STREET SIDE YARD = 5'
- MINIMUM LOT WIDTH = 30'
- MINIMUM REAR YARD = 10'
- MAX BUILDING HEIGHT = 30'

### PROJECT DATA

- TOTAL SITE AREA = 71,824 SF
- R-1M DEMONSTRATION AREA = 0.521 AC (22,503 SF)
- TOTAL AREA OF ROW = 4,138 AC (180,024 SF)
- NET SITE AREA = 17,378 AC (756,215 SF)
- EXISTING ZONING = R-1M
- PROPOSED ZONING = R-1M (SINGLE FAMILY)
- FORM DISTRICT = NEIGHBORHOOD
- EXISTING USE = SINGLE FAMILY RESIDENTIAL / UNDEVELOPED
- PROPOSED USE = SINGLE RESIDENTIAL
- NO. OF LOTS = 83
- TOTAL AREA OF LOTS = 458,234 SF
- DENSITY = 5.79 DU/AC (12.25 DU/AC MAX ALLOWED)
- NET DENSITY = 4.78 DU/AC (7.70 DU/AC MAX ALLOWED)
- OPEN SPACE PROVIDED = 91,032 SF

- 71,824 SF (2,637,272 SQ FT)
- 0.521 AC (22,503 SF)
- 4,138 AC (180,024 SF)
- 17,378 AC (756,215 SF)
- R-1M
- R-1M (SINGLE FAMILY)
- NEIGHBORHOOD
- SINGLE FAMILY RESIDENTIAL / UNDEVELOPED
- SINGLE RESIDENTIAL
- 83 LOTS
- 458,234 SF
- 5.79 DU/AC (12.25 DU/AC MAX ALLOWED)
- 4.78 DU/AC (7.70 DU/AC MAX ALLOWED)
- 91,032 SF



LOCATION MAP  
NOT TO SCALE

### WALKER REQUEST

1. A Walker is requested from section 7.3.001 to make a drainage assessment to determine a rear yard by more than 10ft.

### NOTES

- #### GENERAL
1. No lot shown herein may be subdivided to the creation of a greater number of lots than originally approved by the planning commission.
  2. Construction fencing shall be erected at the edge of the limits of disturbance areas prior to any grading or construction activities. The fencing is to remain in place until construction is completed. No parking, material storage, or construction activities shall be permitted within the fenced area.
  3. A soil erosion and sedimentation control plan shall be developed and implemented in accordance with Metropolitan Sewer District and USDB Soil Conservation Service recommendations.
  4. All open space lots are non-buildable and will be recorded as open space and utility easements.
  5. Benchmark and topographical information shown herein were derived from LGSU data. Boundary information was taken from deeds.
  6. Considerable ground surface (topographic, phone, cable) will be placed in a common trench unless otherwise required by appropriate agencies.
  7. Utilization measures for dust control shall be in place during construction to prevent fugitive particulate emissions from existing building roofs and neighboring projects.
  8. Street trees shall be planted in a manner that does not affect public safety or temporary plant distance. Final location will be determined during construction approval process.

### SEWER & DRAINAGE

1. No portion of the site is located in a "hardship" area per MHD map 21111-C-0090-1 dated February 26, 2021.
2. Seams by L. E. and subject to all applicable fees.
3. A "Request for Sanitary Sewer Capacity" will be filed with MHD.
4. All proposed sewer and drain easements shall be 10' unless otherwise indicated.
5. The Louisville Water Company will determine the width of their easement prior to construction per agreement.
6. Utility easement will be provided open-developed area shall be limited to pre-developed open areas by 20,000 and 100 foot streets or to the vicinity of the street-stream system, wherever it more appropriate, located in areas approved and verification of the planimetric portion. In the current zoning the natural banks located at the rear of 7795 3rd Street Road.
7. Construction plans and documents shall comply with Louisville and Jefferson County Metropolitan Sewer District's Design Manual and Standard Specifications and other rules, state and federal regulations.
8. The final design of the project must meet all MHD water quality regulations established by MHD. Site layout may change if the design process due to proper design of the sewer line.
9. An EPCO plan shall be developed and approved in accordance with MHD Design Manual and Standards Specifications prior to construction plan approval.
10. The applicant shall provide an evaluation of the required upstream of the property. Sewer alignment and easement location may be modified from location identified on this subdivision plan and shall be provided and noted in accordance with the applicable MHD and the applicant shall ensure no interference with MHD's activities shall exist prior to construction approval.

### STREETS & SIDEWALKS

1. All streets within the development shall have curb and gutters. Curb-crocks shall have a pavement width of 20 feet with a radius of 15 feet and 18 feet curb. All other streets shall be 24 feet in width with a 10 foot radius at intersections.
2. Sidewalks within the subdivision shall be provided in accordance with Title 6.21 of the Local Development Code.
3. Street crosses shall not be less than 12 (12' or 10% max.)
4. A Road & Encroachment Permit is required by Metro Public Works for all work within the Metropolitan Right-of-Way, and for roadway approaches to all surrounding access points in the subdivision area due to obstructions caused by construction traffic.
5. Yards shall be provided as required by Metro Public Works.
6. All street intersections, road fronts, cul-de-sacs, buffer traffic circles and rights-of-way shall be in accordance with the Development Code and Metro Public Works standards and approved at the time of final construction.
7. All street signage signs shall conform with the MUTCD requirements and shall be installed prior to the recording of the applicant's subdivision plat or prior to obtaining the first certificate of occupancy or be in place at time of bond release.
8. The location and type of parking within the street right-of-way will be regulated for roadway safety, right-of-way requirements by Metro Public Works and reserves the right to remove them without the applicant's consent.
9. Shared site parking garage structures and/or utilities located within utility rights-of-way become necessary to be shared, extended or relocated, such shall be at the owner's/developer's expense.
10. All roadway intersections shall meet the requirements for loading areas as set by Metro Public Works.

### TREE CANOPY CALCULATIONS

- TOTAL SITE AREA = 71,824 SF (EXCLUDES PROPOSED ROW)
- EXISTING TREE CANOPY = 172 (576,000 SF)
- TOTAL TREE CANOPY AREA REQUIRED = 40% (287,296 SF)
- EXISTING TREE CANOPY TO BE PRESERVED = 0% (0 SF)
- PROPOSED TREE CANOPY TO BE PLANTED = 40 (2,872,960 SF)

### DETENTION BASIN CALCULATIONS

$X = 6.09A^{1/2}$   
 $AC = 0.50 (0.23 + D) \cdot 27$   
 $A = 18.4 ACRES$   
 $R = 2.9 INCHES$   
 $X = (0.27)(18.4)(2.9)^{1/2} = 1.18 AC \cdot 1.1$   
 REQUIRED X = 50,530 CU FT  
 PROPOSED BASIN #1 = 26,860 SQ FT @ 1 FT DEPTH = 26,860 CU FT  
 PROPOSED BASIN #2 = 15,550 SQ FT @ 2 FT DEPTH = 30,500 CU FT  
 TOTAL PROVIDED BASIN AREA = 54,800 CU FT  
 = 57,160 CU FT > 50,530 CU FT

### BENCHMARK DESCRIPTIONS

- 1. BENCH - 100.00 FT HIGH AT CORNER
- 2. BENCH - 100.00 FT HIGH AT CORNER

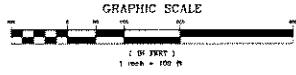
### LEGEND

- PROPOSED STORM SEWER, CATCH BASIN AND COLLECTION MAINLINE
- PROPOSED SEWER AND WASTEWATER
- PROPOSED DRAINAGE SEWER
- Existing Gas Line
- Existing Electric Line
- Existing Water Line
- Existing Sewer Line
- Existing Sanitary Sewer
- Existing Force Main

### PRELIMINARY NOT FOR CONSTRUCTION

PROFESSIONAL STAMP

NO.	DATE	REVISIONS	BY
1	10/25/21	REVISED	JK
2	1/10/22	REVISED PER AGENCY COMMENTS	JK
3	2/25/22	REVISED LAYOUT	JK
4	7/11/22	REVISED LAYOUT	JK
5	8/1/22	REVISED PER AGENCY COMMENTS	JK



**OWNER**  
 JOHNNY R CAMPBELL  
 7808 MANLICK ROAD  
 LOUISVILLE, KY 40214  
 PHONE: 502-438-1111

**OWNER**  
 DANIEL P & HARRIETE M BAY  
 7749 3RD STREET ROAD  
 LOUISVILLE, KY 40214  
 PHONE: 502-438-1111

**SITE ADDRESS:**  
 7815, 7817, 7819, 7821, 7805 MANLICK RD  
 @ 7750 3RD STREET RD  
 LOUISVILLE, KY 40214

**TAX BLOCKS:**  
 TAX BLOCK 1044 LOT 0010  
 TAX BLOCK 1044 LOT 0016  
 TAX BLOCK 1044 LOT 0086  
 TAX BLOCK 1044 LOT 0110  
 TAX BLOCK 1044 LOT 0371  
 TAX BLOCK 1044 LOT 0470  
 D.B. 10700, PG. 0438  
 D.B. 10915, PG. 0180  
 D.B. 11109, PG. 0009  
 D.B. 9089, PG. 0301  
 D.B. 7469, PG. 0864

**SITE ADDRESS:**  
 7749 3RD STREET ROAD  
 LOUISVILLE, KY 40214  
 D.B. 11764, PG. 0402

**OWNER/DEVELOPER**  
 TKR RENTAL PROPERTIES LLC  
 7000 WASHINGTON PKWY  
 LOUISVILLE, KY 40294

**OWNER/DEVELOPER**  
 JANN KAJATIN & RICHARD JENKINS  
 1815 WASHINGTON PKWY  
 LOUISVILLE, KY 40294

## PADDOCKS OF PARKRIDGE

### PRELIMINARY SUBDIVISION PLAN

**PREPARED BY:**  
 LAND DESIGN & DEVELOPMENT, INC.  
 455 WASHINGTON AVENUE, SUITE 101  
 LOUISVILLE, KENTUCKY 40202  
 PHONE: 502-438-1111  
 FAX: 502-438-1111

**DATE:** 09/01/23  
**JOB #:** 16200  
**WM #:** 810700  
**CASE NO:** 21-ZONE-0130

**COUNCIL DISTRICT:** 05  
**FIRE PROTECTION DISTRICT:** PAROULE  
**MUNICIPALITY:** LOUISVILLE