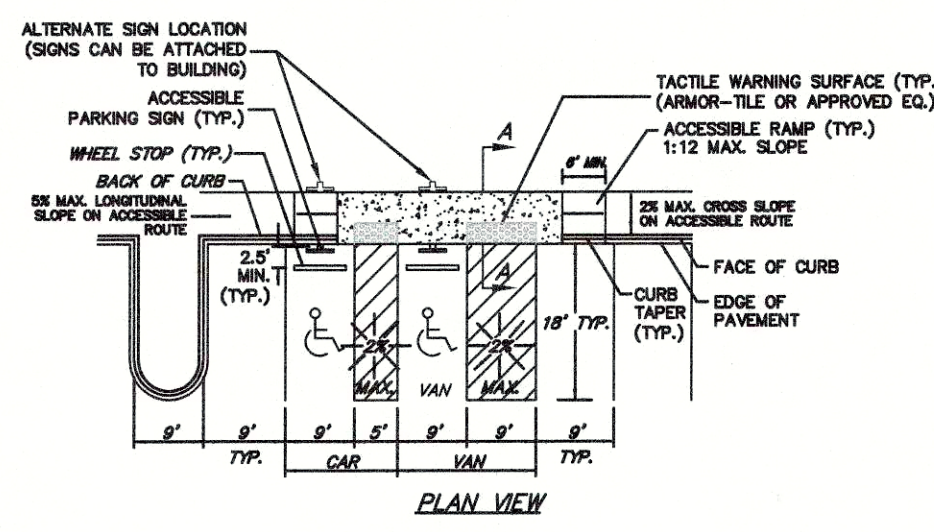
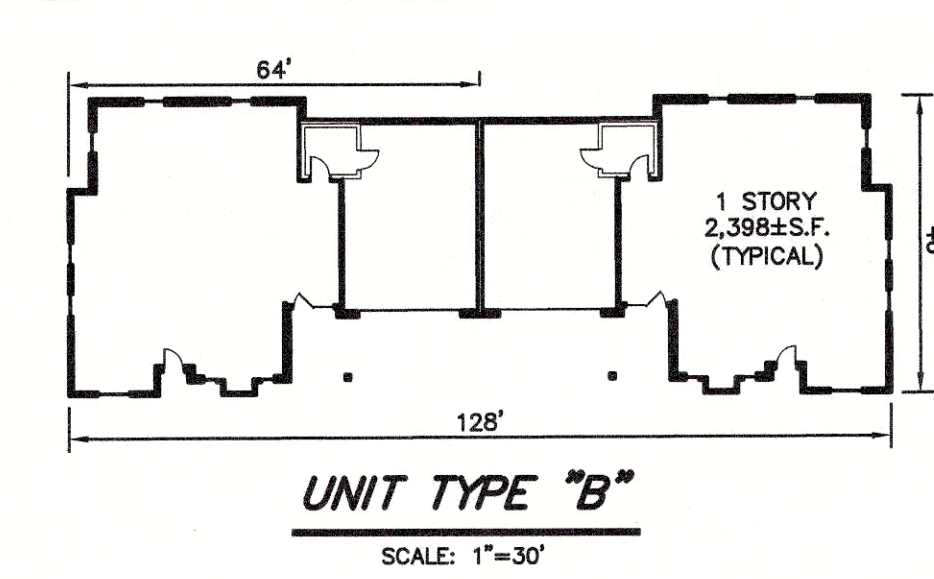
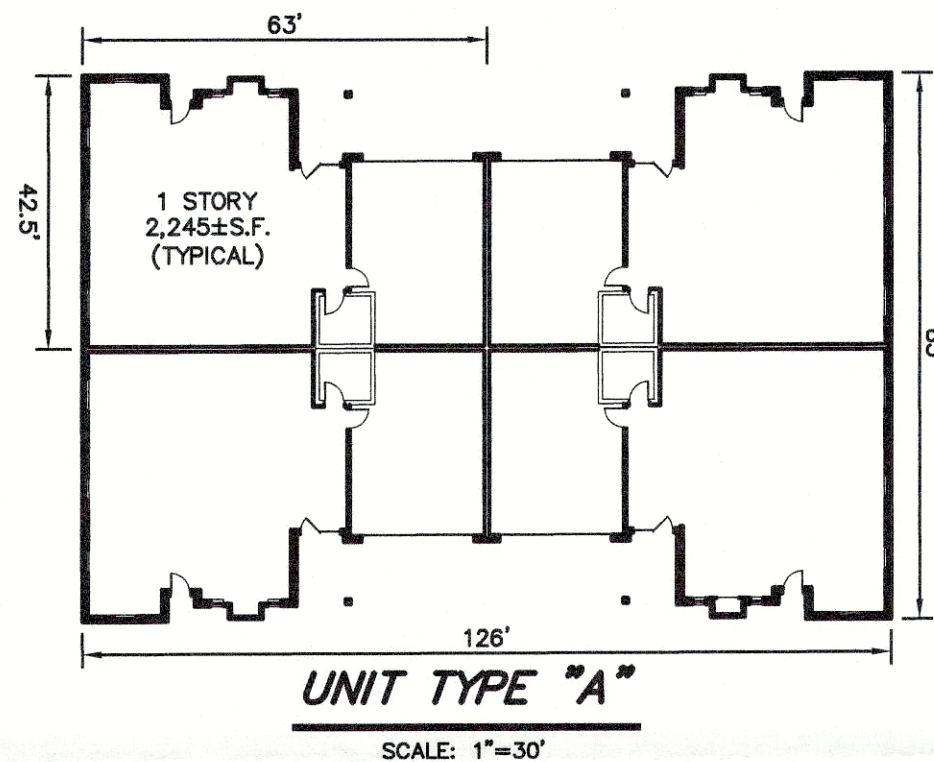




TYPICAL ACCESSIBLE PARKING SPACES NO SCALE

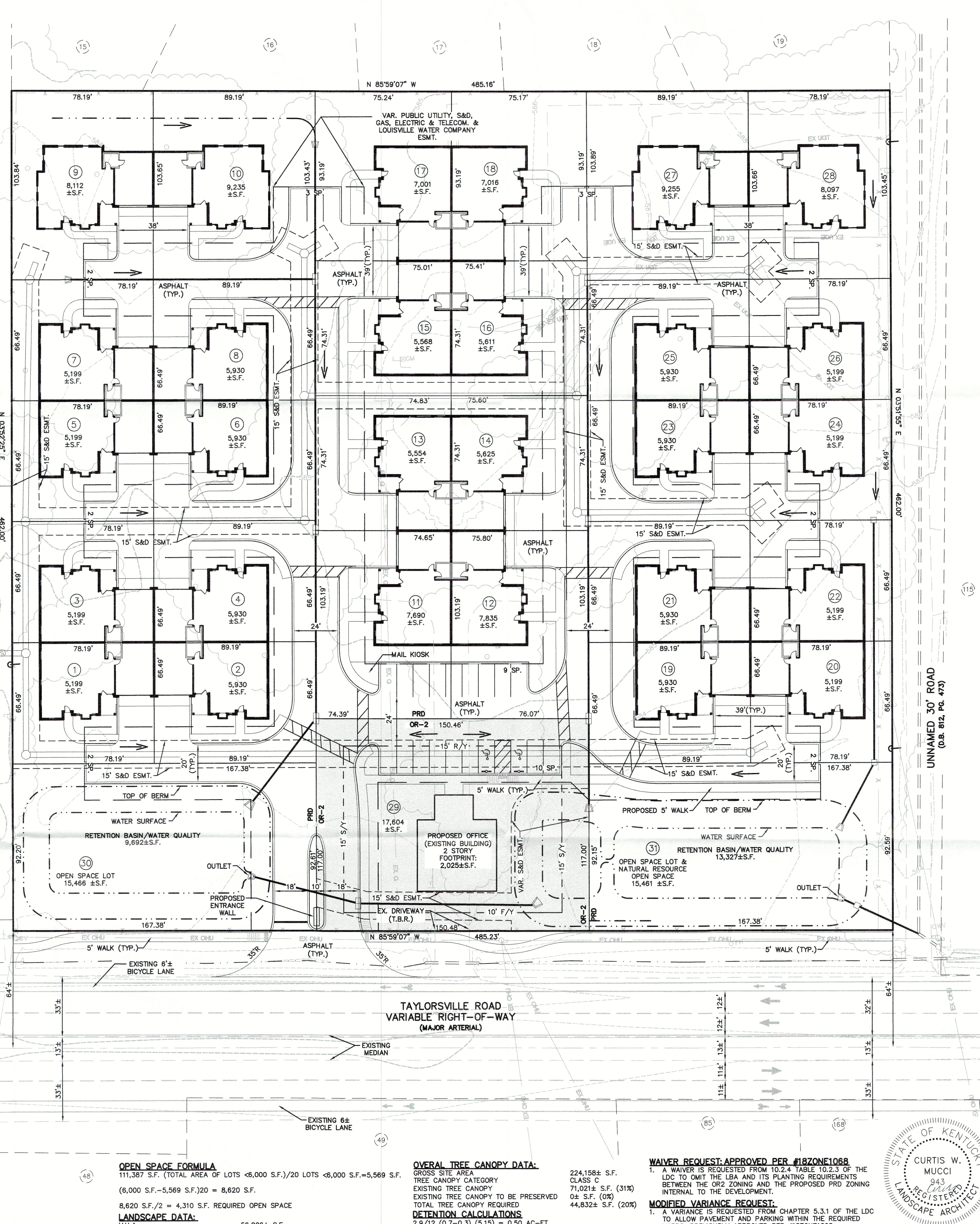


ADJACENT PROPERTY OWNERS

- SCOTT KELLIE 4219 R TAYLORSVILLE ROAD T.B. 37 LOT: 36 D.B. 10395 PG. 929
- DONALD BOICE 4220 TAYLORSVILLE ROAD T.B. 37 LOT: 48 D.B. 11052 PG. 20
- TGBG PROPERTIES LLC 4226 TAYLORSVILLE ROAD T.B. 37 LOT: 49 D.B. 11112 PG. 757
- ESTATE OF FRED HATMAKER 4214 TAYLORSVILLE ROAD T.B. 37 LOT: 77 D.B. W00659 PG. 823
- KENLIE LLC 4219 TAYLORSVILLE ROAD T.B. 37 LOT: 85 D.B. 10763 PG. 801
- MURPHY PAOLA REVOCABLE TRUST 4303 TAYLORSVILLE ROAD T.B. 37 LOT: 115 D.B. 8735 PG. 41
- JACK JACOBS 4221 TAYLORSVILLE ROAD T.B. 37 LOT: 146 D.B. 10812 PG. 959
- RACHEL DAVIS 4236 TAYLORSVILLE ROAD T.B. 37 LOT: 168 D.B. 10862 PG. 757
- SCOTT & LAURA KELLIE 1810 ASHFIELD LANE T.B. 2598 LOT: 15 D.B. 10082 PG. 790
- BETTY & ANTHONY HAYDEN 1812 ASHFIELD LANE T.B. 2598 LOT: 16 D.B. 9408 PG. 978
- DOUGLAS & DARLA RADCLIFF 1814 ASHFIELD LANE T.B. 2598 LOT: 17 D.B. 7297 PG. 231
- SCOTT & JANET FLOORE 1816 ASHFIELD LANE T.B. 2598 LOT: 18 D.B. 9806 PG. 591
- ADAM & ALICE COURRY 1818 ASHFIELD LANE T.B. 2598 LOT: 19 D.B. 6317 PG. 72

PUBLIC WORKS AND KTC NOTES:

- NO LANDSCAPING AND COMMERCIAL SIGNS SHALL BE PERMITTED IN STATE AND METROPOLITAN RIGHT-OF-WAY.
- ALL ROADWAY AND ENTRANCE INTERSECTIONS SHALL MEET THE REQUIREMENTS FOR LANDING AREAS AS SET BY METRO PUBLIC WORKS.
- VERGE AREA WITH PUBLIC RIGHT-OF-WAY TO BE PROVIDED PER METRO PUBLIC WORKS.
- COMPATIBLE UTILITY LINES (ELECTRIC, PHONE, CABLE) SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPROPRIATE AGENCIES.
- STREET TREES SHALL BE PLANTED IN A MANNER THAT DOES NOT AFFECT PUBLIC SAFETY AND MAINTAINS PROPER SITE DISTANCE. FINAL LOCATION WILL BE DETERMINED DURING CONSTRUCTION APPROVAL PROCESS.
- AN ENCROACHMENT PERMIT AND BOND MAY BE REQUIRED BY METRO PUBLIC WORKS FOR ROADWAY AND ENTRANCE INTERSECTIONS. THE BOND SHALL BE FOR THE SITE DUE TO DAMAGES CAUSED BY CONSTRUCTION TRAFFIC ACTIVITIES.
- ALL STREET NAME SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) REQUIREMENTS AND BE INSTALLED PRIOR TO CONSTRUCTION OF THE FIRST RESIDENCE OR BUILDING ON THE STREET AND SHALL BE IN PLACE PRIOR TO REQUESTING A CERTIFICATE OF OCCUPANCY.
- THE MINIMUM GRADE OF ALL STREETS SHALL BE ONE (1%) PERCENT AND A MAXIMUM GRADE OF TEN (10%) PERCENT.
- THE DEVELOPER IS RESPONSIBLE FOR ANY UTILITY RELOCATION ON THE PROPERTY.
- ALL CUT-DE-SACS AND ROADWAY PAVEMENT WIDTHS, RADII, SIDEWALK LOCATIONS AND OFFSETS SHALL BE IN ACCORDANCE WITH METRO PUBLIC WORKS STANDARDS AND APPROVED AT THE TIME OF CONSTRUCTION.
- TREES AND SHRUBBERY SHALL BE TRIMMED OR REMOVED TO PROVIDE SITE DISTANCE AS REQUIRED PER METRO PUBLIC WORKS STANDARDS.
- ALL SIDEWALK RAMPAS SHALL CONFORM TO A.D.A. STANDARD SPECIFICATION, THE "SPECIAL NOTE FOR DETECTABLE WARNING FOR SIDEWALK RAMPAS" PER KTC STANDARD DRAWING FOR SIDEWALKS AND PER "KENTUCKY STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," LATEST EDITION.
- NO INCREASE OF RUNOFF ALLOWED TO DISCHARGE INTO STATE RIGHT-OF-WAY.
- UPON DEVELOPMENT OR REDEVELOPMENT OF ADJACENT PROPERTIES, A UNIFIED ACCESS AND CIRCULATION SYSTEM SHALL BE DEVELOPED TO ELIMINATE PREEXISTING CURB CUTS AND PROVIDE FOR VEHICULAR MOVEMENT APPROPRIATE BY THE DEPARTMENT OF PUBLIC WORKS. A CROSS ACCESS AGREEMENT TO RUN WITH THE LAND AND IN A FORM ACCEPTABLE TO PLANNING COMMISSION LEGAL COUNSEL SHALL BE RECORDED PRIOR TO THE TIME OF CONSTRUCTION APPROVAL FOR THE ADJACENT PROPERTY TO BE DEVELOPED.
- CONSTRUCTION PLANS, BOND AND KTC PERMIT WILL BE REQUIRED PRIOR TO CONSTRUCTION APPROVAL BY METRO PUBLIC WORKS.
- PRIVATE ROADS SHALL BE SIGNED AS SUCH AND THE DEVELOPER SHALL ESTABLISH A SEPARATE ACCOUNT THAT SHALL BE FUNDED BY THE HOA AND SHALL BE OF A SUFFICIENT SIZE TO PROVIDE ONE RESURFACING OF PRIVATE ROADS WITHIN THE DEVELOPMENT. SAID ACCOUNT SHALL BE SEPARATE AND FOR THE EXPRESS PURPOSE OF MAINTAINING THE PRIVATE ROADS IN ADDITION TO OTHER HOA ACCOUNTS AND SHALL BE IN PLACE PRIOR TO BOND RELEASE BY METRO PUBLIC WORKS.



OPEN SPACE FORMULA
111,387 S.F. (TOTAL AREA OF LOTS <6,000 S.F.)/20 LOTS <6,000 S.F.=5,569 S.F.
(6,000 S.F.-5,569 S.F.)/20 = 8,620 S.F.
8,620 S.F./2 = 4,310 S.F. REQUIRED OPEN SPACE
LANDSCAPE DATA:
V.U.A. 56,886± S.F.

OVERALL TREE CANOPY DATA:
GROSS SITE AREA 224,158± S.F.
TREE CANOPY CATEGORY CLASS C 71,021± S.F. (31%)
EXISTING TREE CANOPY TO BE PRESERVED 0± S.F. (0%)
TOTAL TREE CANOPY REQUIRED 44,832± S.F. (20%)
DETENTION CALCULATIONS
2.9/12 (0.7-0.3) (5.15) = 0.50 AC-FT

WAIVER REQUEST: APPROVED PER #18ZONE1068
1. A WAIVER IS REQUESTED FROM 10.2.4 TABLE 10.2.3 OF THE LDC TO OMIT THE LBA AND ITS PLANTING REQUIREMENTS BETWEEN THE OR2 ZONING AND THE PROPOSED PRD ZONING INTERNAL TO THE DEVELOPMENT.
MODIFIED VARIANCE REQUEST:
1. A VARIANCE IS REQUESTED FROM CHAPTER 5.3.1 OF THE LDC TO ALLOW PAVEMENT AND PARKING WITHIN THE REQUIRED YARDS. PREVIOUSLY APPROVED PER #18ZONE1068.

- LEGEND**
- EXISTING CONTOUR
 - EXISTING TREE MASS
 - EXISTING FENCE
 - EXISTING OVERHEAD UTILITIES
 - EXISTING UNDERGROUND ELECTRIC
 - EXISTING UNDERGROUND TELEPHONE
 - EXISTING CATCH BASIN & YARD DRAIN W/ PIPE
 - EXISTING HEADWALL W/ PIPE
 - EXISTING TOE OF SLOPE/DITCH
 - EXISTING SANITARY MANHOLE W/PIPE
 - PROPOSED CATCH BASIN & YARD DRAIN W/ HEADWALL
 - PROPOSED SANITARY MANHOLE W/PIPE
 - PROPOSED DRAINAGE ARROW
- LOCATION MAP**
NO SCALE

OVERALL SITE DATA:

FORM DISTRICT	NEIGHBORHOOD
EXISTING ZONING	PRD & OR2
EXISTING LAND USE	VACANT
GROSS LAND AREA	5.15± AC.

SITE DATA: SINGLE FAMILY

PROPOSED LAND USE	PRD
NET LAND AREA	SINGLE-FAMILY RESIDENTIAL
BUILDABLE LOTS	4.74± AC.
NON-BUILDABLE LOTS	2
GROSS DENSITY (MAX. ALLOWED 7.26)	5.91 D.U./AC.
BUILDING AREA	63,472± S.F.
FLOOR AREA RATIO (MAX. ALLOWED 2.0)	0.31
BUILDING HEIGHT	21'
TOTAL OPEN SPACE REQUIRED	4,310 S.F.
TOTAL OPEN SPACE PROVIDED	15,461± S.F. (NATURAL RESOURCE)

DIMENSIONAL STANDARDS

MINIMUM LOT SIZE	3,000± S.F.
FRONT/STREET SIDE YARDS	15'
SIDE/REAR MIN. (BETWEEN ATTACHED UNITS)	0'
MIN. BETWEEN ADJACENT STRUCTURES	10'
REAR YARD MIN.	25'
MINIMUM LOT WIDTH	35'

SITE DATA: OFFICE

EXISTING ZONING	OR2
PROPOSED LAND USE	OFFICE
NET LAND AREA	0.40± AC.
BUILDING AREA	4,050± S.F.
EXISTING BUILDING HEIGHT	28'±
FLOOR AREA RATIO (MAX. ALLOWED 3.0)	0.23

PARKING REQUIRED

OFFICE	12-20 SPACES
MINIMUM (1 SPACE/350 S.F.)	12 SPACES
MAXIMUM (1 SPACE/200 S.F.)	20 SPACES
CAR PARKING (INCLUDES 2 ACCESSIBLE SPACES)	19 SPACES

- GENERAL NOTES:**
- DOMESTIC WATER SUPPLY: SUBJECT SITE CAN BE SERVED BY THE LOUISVILLE WATER COMPANY. THE NECESSARY WATER SYSTEM IMPROVEMENTS REQUIRED TO SERVICE THE DEVELOPMENT SHALL BE AT THE OWNER/DEVELOPER'S EXPENSE.
 - TREE PRESERVATION: A TREE PRESERVATION PLAN SHALL BE PROVIDED TO THE PLANNING COMMISSION'S STAFF LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES ON THE SITE.
 - PROTECTION OF TREES TO BE PRESERVED: CONSTRUCTION PREVENTING COMPACTING OF ROOT SYSTEMS OF TREES TO BE PRESERVED. THE FENCING SHALL ENCLOSE THE AREA BENEATH THE DRIP LINE OF THE TREE CANOPY AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE. NO PARKING, MATERIAL STORAGE OR CONSTRUCTION ACTIVITIES SHALL BE PERMITTED WITHIN THE FENCED AREA.
 - A LANDSCAPE AND TREE CANOPY PLAN PER CHAPTER 10 OF THE LDC SHALL BE PROVIDED AS REQUIRED PRIOR TO ISSUING OF BUILDING PERMIT.
 - THE DEVELOPMENT LIES IN THE JEFFERSONTOWN FIRE DISTRICT.
 - IF PROPOSED, SIGNATURE ENTRANCE WALLS SHALL BE SUBMITTED TO AND APPROVED BY THE PLANNING COMMISSION STAFF PRIOR TO CONSTRUCTION PLAN APPROVAL AND THEY SHALL MEET THE REQUIREMENTS OF CHAPTER 4.3 OF THE LDC.
 - ALL LUMINAIRES SHALL BE AIMED, DIRECTED OR FOCUSED SUCH AS TO NOT CAUSE DIRECT LIGHT FROM THE LUMINAIRE TO BE DIRECTED TOWARDS RESIDENTIAL USES OR PROJECTED OPEN SPACES (IE. CONSERVATION EASEMENTS, GREENWAYS OR PARKWAYS) ON ADJACENT OR NEARBY PARCELS, OR TO CREATE GLARE PERCEPTIBLE ON PUBLIC STREETS AND RIGHT-OF-WAYS PER CHAPTER 4.1.3 OF THE LDC.
 - MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE EMISSIONS REACHING EXISTING ROADS AND NEIGHBORHOODS.
 - ALL EXISTING STRUCTURES AND EXISTING ENTRANCES SHALL BE REMOVED, EXCEPT AS NOTED ON THE PLAN.
 - IN ACCORDANCE WITH CHAPTER 4.9 OF THE LDC, A KARST SURVEY WAS PERFORMED BY UZ BLANDFORD NEWCOMB, P.E., ON 3/4/2018 AND NO KARST TOPOGRAPHY WAS FOUND. A REVIEW OF PUBLISHED GEOLOGIC INFORMATION FROM THE KY GEOLOGICAL SURVEY CONTAINED NO INDICATION OF SINKHOLES ON THE SUBJECT PROPERTY.
 - A BLANKET CROSSWALK/SHARED ACCESS AGREEMENT IS REQUIRED BETWEEN ALL LOTS OF THE DEVELOPMENT AN SHALL BE RECORDED PRIOR TO CONSTRUCTION PLAN APPROVAL.
- MSD NOTES:**
- CONSTRUCTION PLANS & DOCUMENTS SHALL COMPLY WITH LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT'S DESIGN MANUAL AND SPECIAL SPECIFICATIONS.
 - WASTEWATER: SANITARY SEWER WILL CONNECT TO THE MORRIS FOREMAN WASTEWATER TREATMENT PLANT BY LATERAL EXTENSION AGREEMENT, SUBJECT TO FEES. SANITARY SEWER CAPACITY TO BE APPROVED BY METROPOLITAN SEWER DISTRICT.
 - DRAINAGE/STORMWATER DETENTION: DETENTION TO BE PROVIDED AS DEPICTED ON THE PLAN. POST DEVELOPED FLOWS SHALL BE LIMITED TO THE PRE DEVELOPED FLOWS FOR THE 2, 10, 25 AND 100 YEAR STORM EVENT OR BE LIMITED TO THE CAPACITY OF THE DOWNSTREAM SYSTEM, WHICH EVER IS MORE RESTRICTIVE. DOWN STREAM IMPROVEMENTS MAY BE REQUIRED. FLOWS WILL BE EVALUATED PRIOR TO MSD CONSTRUCTION PLAN APPROVAL. DRAINAGE PATTERN (DEPICTED BY FLOW ARROWS) IS FOR THE CONCEPT PURPOSES ONLY. FINAL CONFIGURATION AND SIZE OF DRAINAGE PIPES AND CHANNELS SHALL BE DETERMINED DURING THE CONSTRUCTION PLAN DESIGN PROCESS. DRAINAGE FACILITIES SHALL CONFORM TO MSD REQUIREMENTS.
 - EROSION AND SILT CONTROL: A SOIL AND SEDIMENTATION CONTROL PLAN SHALL BE DEVELOPED AND IMPLEMENTED IN ACCORDANCE WITH MSD AND THE USDA NATURAL RESOURCES CONSERVATION SERVICE RECOMMENDATIONS.
 - NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN A FLOOD HAZARD AREA PER FEMA'S FIRM MAPPING (2111100465).
 - THE FINAL DESIGN OF THIS PROJECT MUST MEET ALL MS4 WATER QUALITY REGULATIONS ESTABLISHED BY MSD. SITE LAYOUT MAY CHANGE AT DESIGN PHASE DUE TO PROPER SIZING OF GREEN BEST MANAGEMENT PRACTICES.
 - KTC APPROVAL REQUIRED PRIOR TO MSD CONSTRUCTION PLAN APPROVAL.
 - DOWN SPOUTS FROM BUILDINGS 1, 3, 5, 7 & 9 WILL BE DIRECTED AWAY FROM ADJACENT LOT 36 AND WILL FLOW INTO PROPOSED STORM SYSTEM.
- CASE #19-DDP-0040**
RELATED CASE # 18ZONE1068
MSD WM # 2140
- GRAPHIC SCALE 1"=30'
- 0 7.5 15 30 60

MINDEL SCOTT
ENGINEERING > SURVEYING > PLANNING > LANDSCAPE ARCHITECTURE
5151 Jefferson Blvd. Louisville, KY 40219
502-485-1508 > MindelScott.com

OWNER/DEVELOPER
KENLIE PLACE
4229 SMS, LLC
1124 RED FOX ROAD
LOUISVILLE, KY 40205

REVISED DETAILED DISTRICT DEVELOPMENT PLAN

Revisions	PER AGENCY COMMENTS	DATE
6/30/19	PER AGENCY COMMENTS	6/30/19
9/16/19	PER AGENCY COMMENTS	9/16/19

Vertical Scale: N/A

Horizontal Scale: 1"=30'

Date: 8/5/2019

Job Number: 3503

Sheet

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of 1