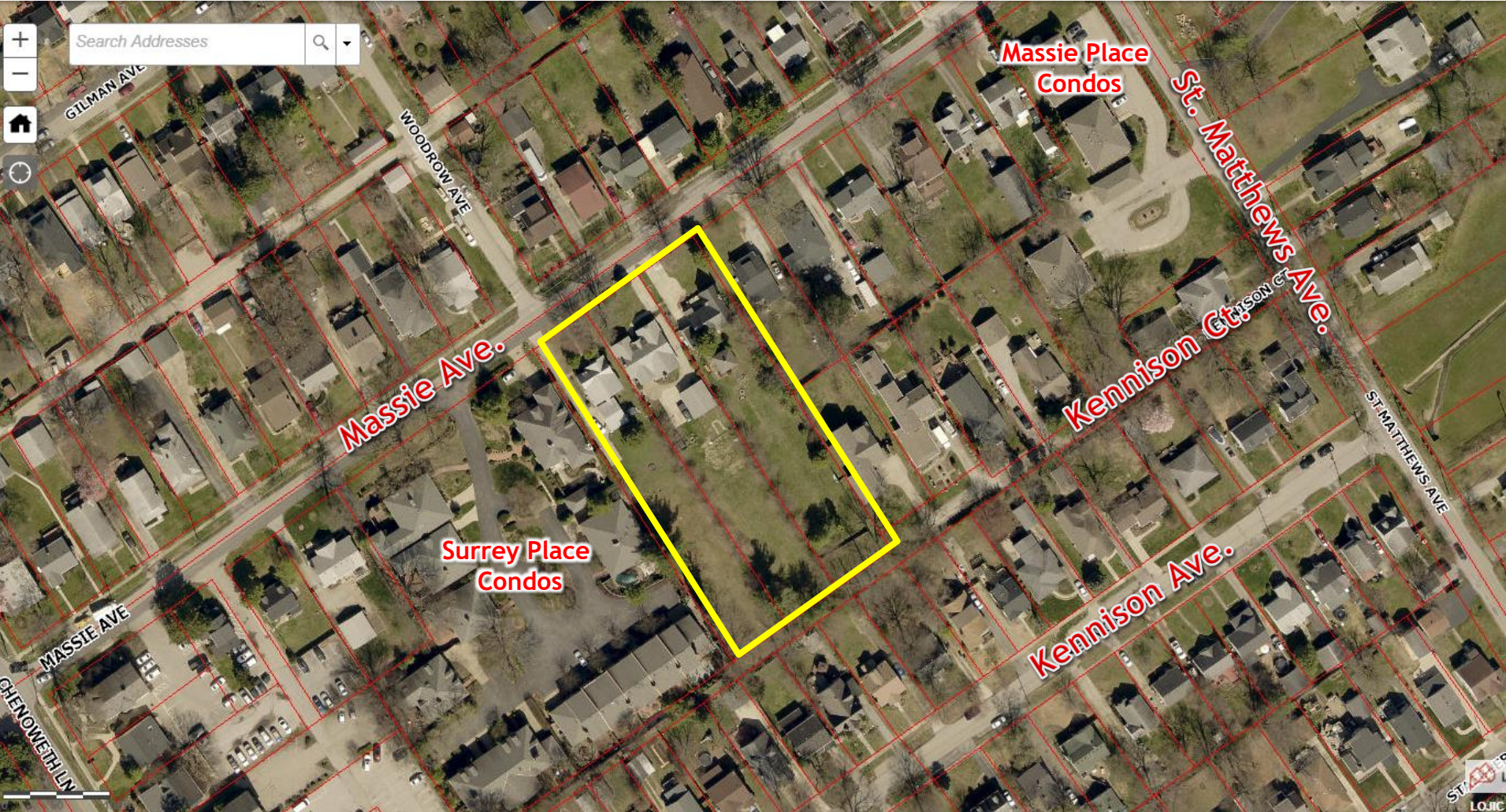


## Docket No. 19-DDP-0056

Revised Detailed Development Plan to increase the number of units from 12 to 16, reduce total building square footage by 13,660 sq ft, reduce the building height from 2-stories to 1, and reduce impervious surface by 2,090 sq ft for the currently approved condominium community on property located at 3930, 3934 & 3936 Massie Ave in the City of St. Matthews





Search Addresses



Massie Ave.

Massie Place  
Condos

St. Matthews Ave.

Kennison Ct.

Surrey Place  
Condos

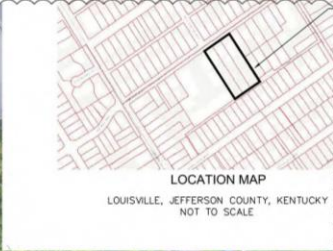
Kennison Ave.

MASSIE AVE

CHENOWETH LN



# Current proposed RDDDP



SITE PLAN

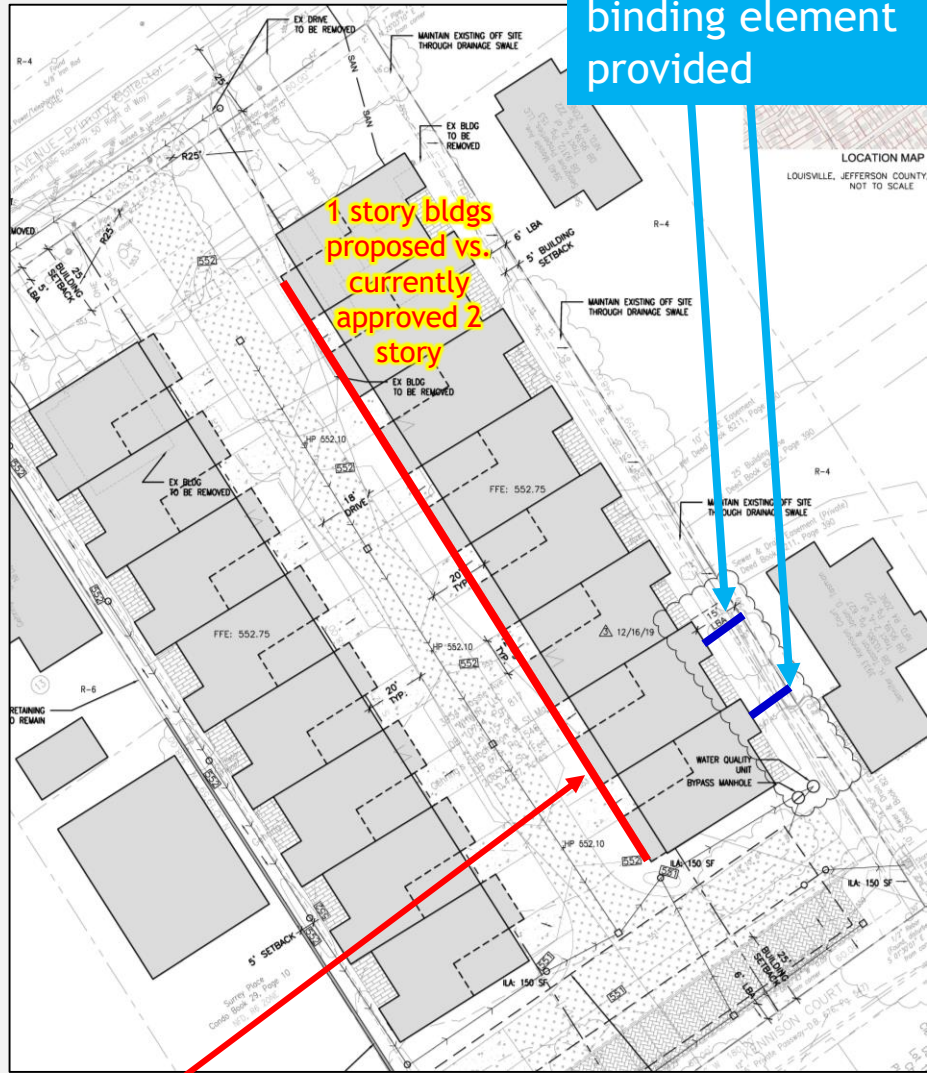
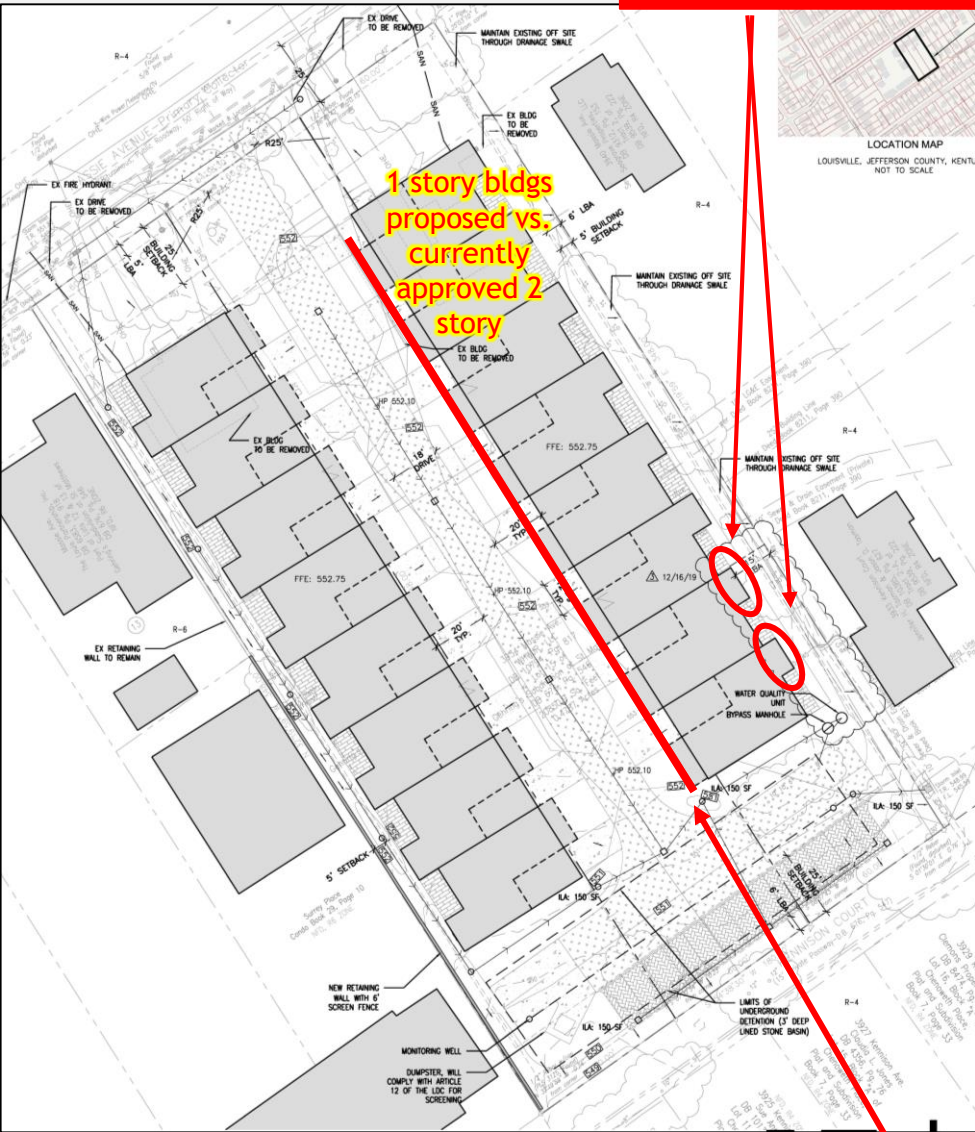
**2.75 ft shorter**

**15ft landscape  
buffer per  
binding element  
provided**

**1 story bldgs  
proposed vs.  
currently  
approved 2  
story**

**1 story bldgs  
proposed vs.  
currently  
approved 2  
story**

**Bldg moved 2 ft  
towards center  
of development**





3930 Massie Ave  
St Matthews, Kentucky

Google, Inc.

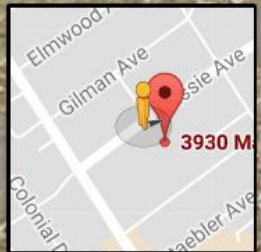
Street View - Dec 2016

Site

Woodrow Ave.

Massie Ave.

Google



Looking northeast down Massie Ave. Site is on the right.



Site

Massie Ave.

Google

Homes across Massie Ave. from site.



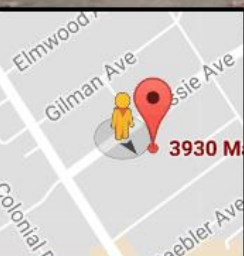
3922 Massie Ave

St Matthews, Kentucky

Google, Inc.

Street View - Dec 2016

Site



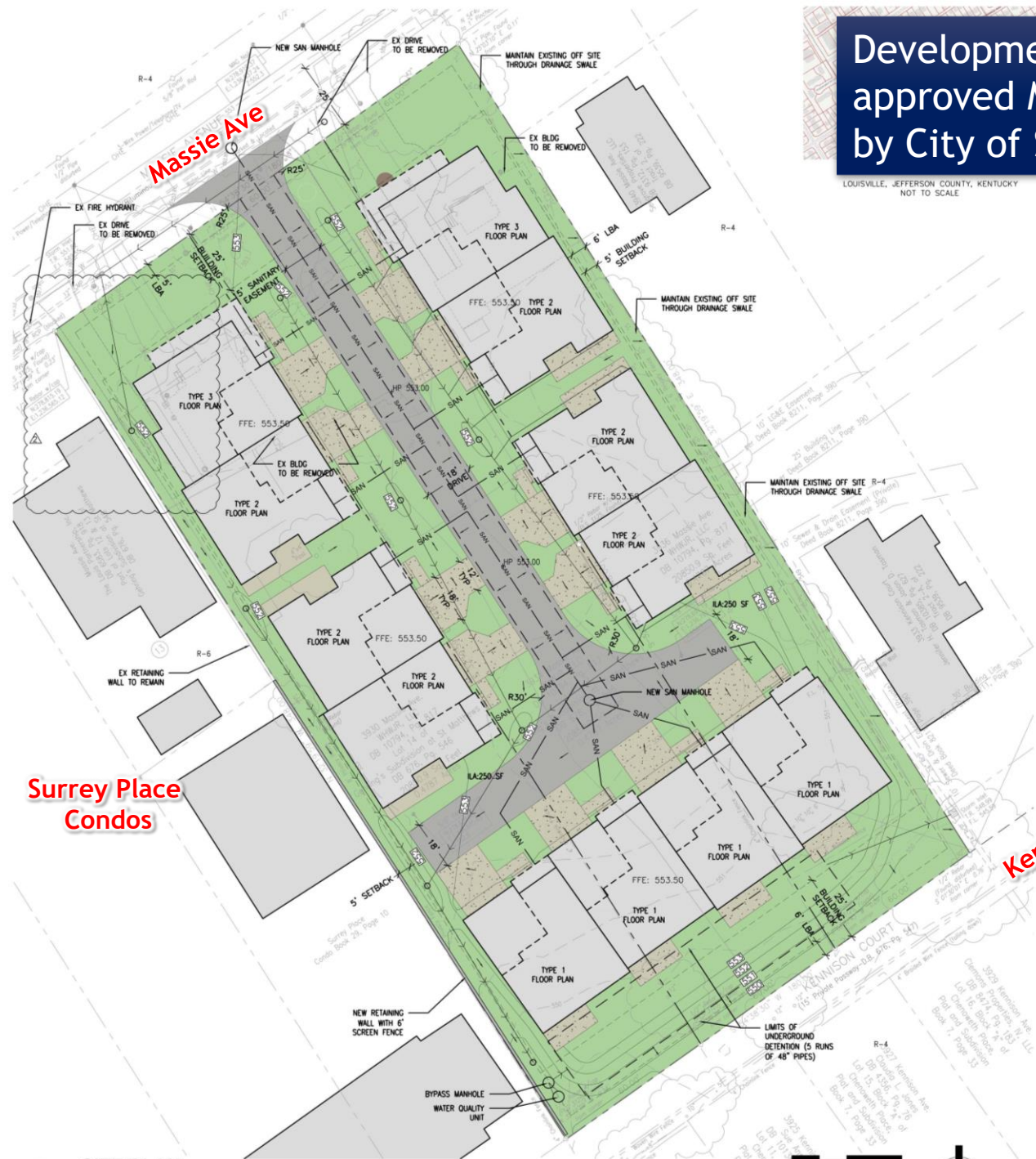
Google

Surrey Place condominium community adjacent to site on southwest side of site.



# Development Plan approved March 9, 2019 by City of St. Matthews

LOUISVILLE, JEFFERSON COUNTY, KENTUCKY  
NOT TO SCALE



**Massie Ave**

**Surrey Place  
Condos**

**Kennison Ct.**

**SITE PLAN**

LIMITS OF UNDERGROUND DETENTION (5 RUNS OF 48" PIPES)

NEW RETAINING WALL WITH 6" SCREEN FENCE

BYPASS MANHOLE WATER QUALITY UNIT

EX RETAINING WALL TO REMAIN

EX FIRE HYDRANT

EX DRIVE TO BE REMOVED

R-4

R-4

R-6

R-4

# Previous Elevations



# Previous Elevations



VINYL WINDOWS

CEDAR SHAKES

ASPHALT SHINGLES

PAINTED ALUMINUM RAILS



HARDPLANK

# Current Proposed RDDDP



# Proposed Elevations





Massie Ave.

Garage Access

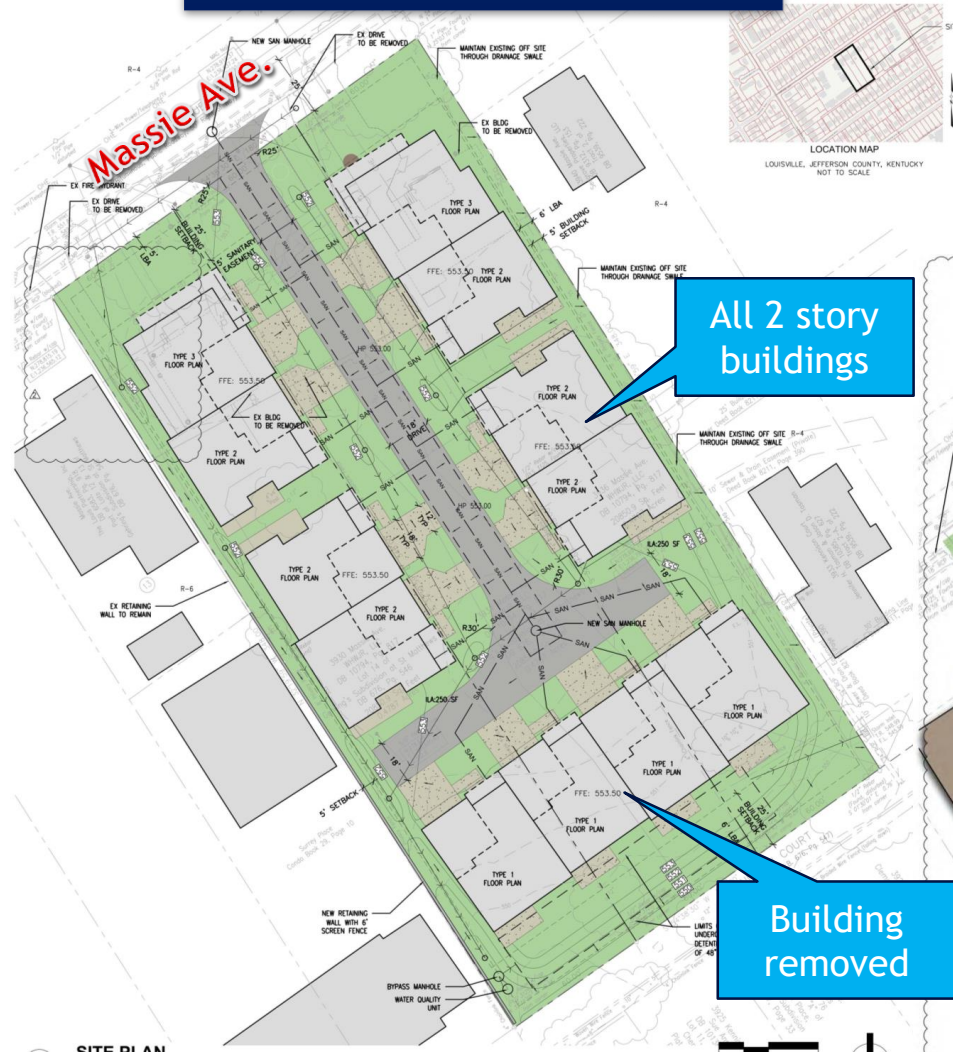
Paved Parking

Underground Detention

# Proposed Elevations



# Current Approved Plan

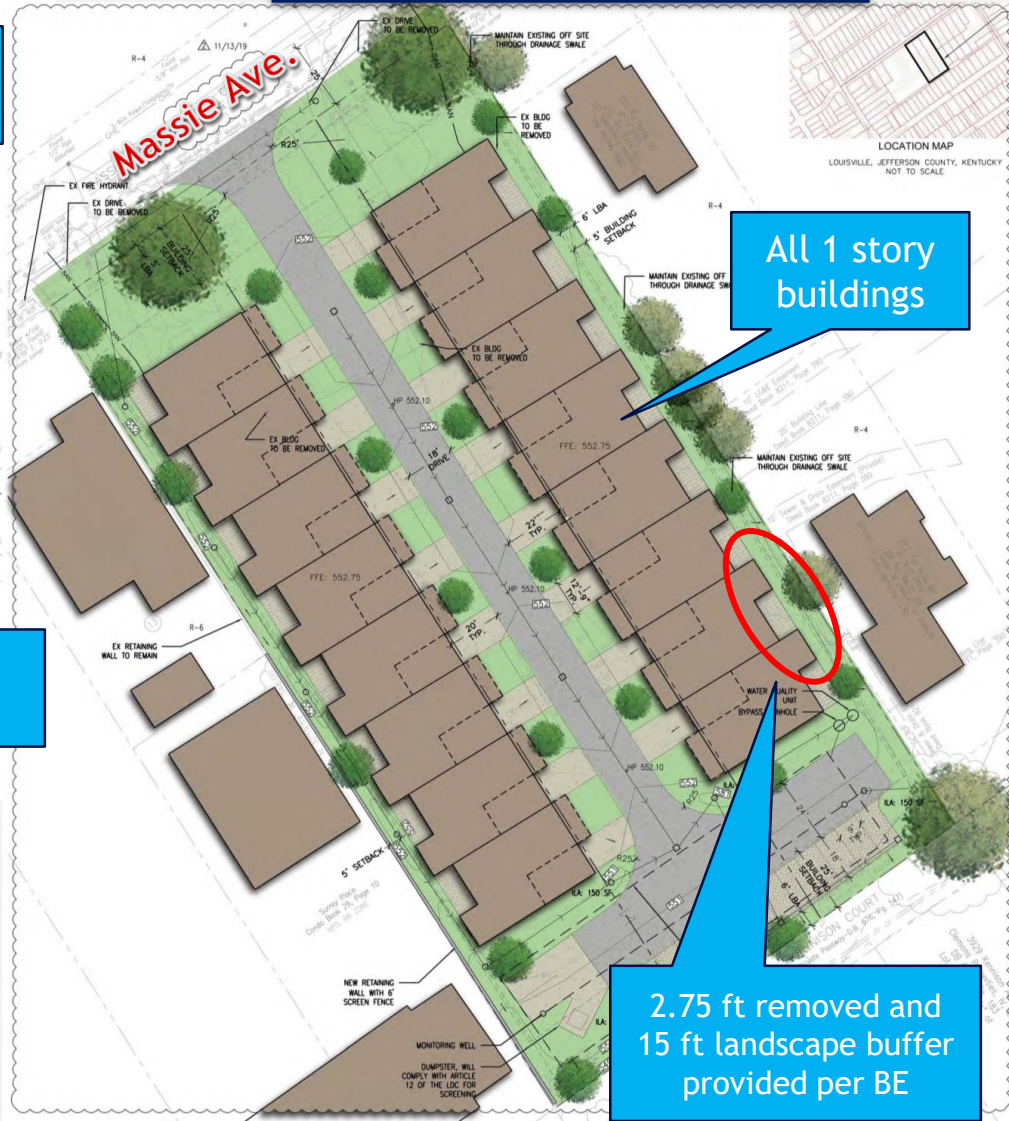


All 2 story buildings

Building removed

Units increased from 12 in 5 buildings to 16 in 2 buildings

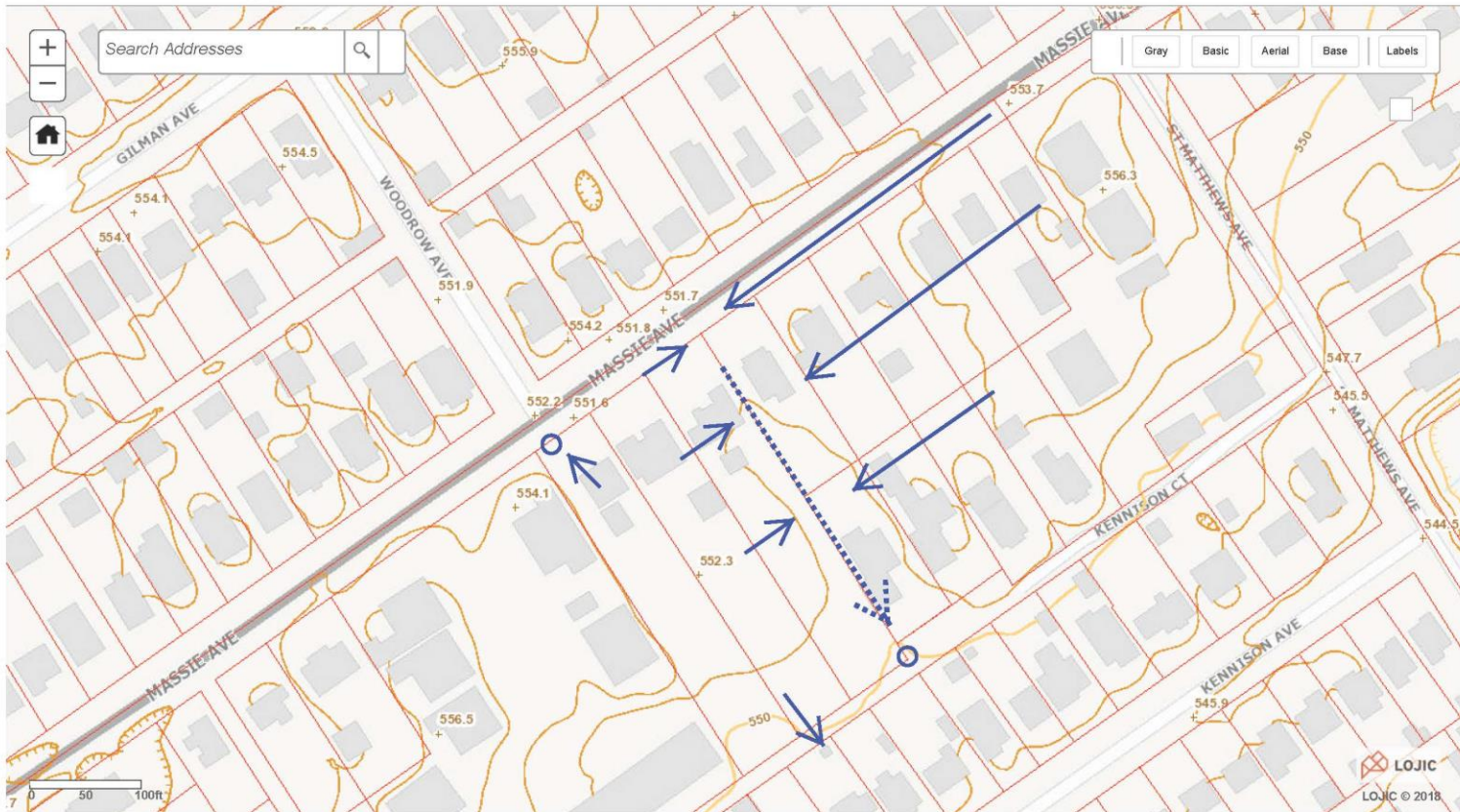
# Proposed RDDP



All 1 story buildings

2.75 ft removed and 15 ft landscape buffer provided per BE





Layers Tools Reports

Utilities  
Property  
Transportation  
Taxing Districts  
Environmental  
Preservation  
Floodplain  
Planning  
Open Spaces  
Elevation

**Bullitt Spot Heights**  
+ Spot Heights

**Jefferson Spot Heights**  
+ Spot Heights

**Oldham Spot Heights**  
+ Spot Heights

**Bullitt 2 foot Contours (2,400+)**  
Intermediate Contours  
Intermediate Depressions  
Index Contours  
Index Depressions

**Jefferson 2 foot Contours (2,400+)**  
Intermediate Contours

Predeveloped Condition

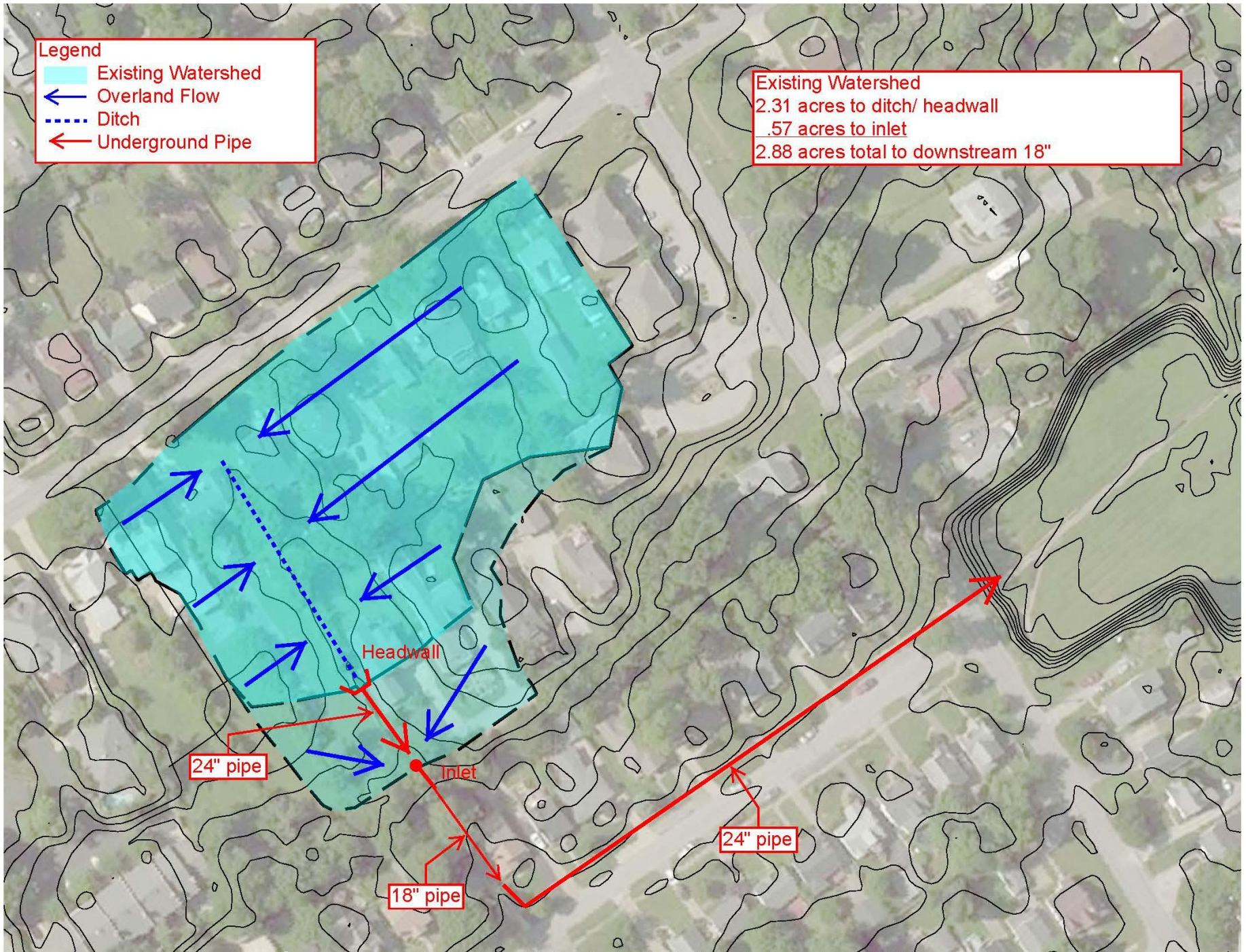
Current drainage flow for the property and area.

**Legend**

- Existing Watershed
- Overland Flow
- Ditch
- Underground Pipe

**Existing Watershed**

- 2.31 acres to ditch/ headwall
- .57 acres to inlet
- 2.88 acres total to downstream 18"

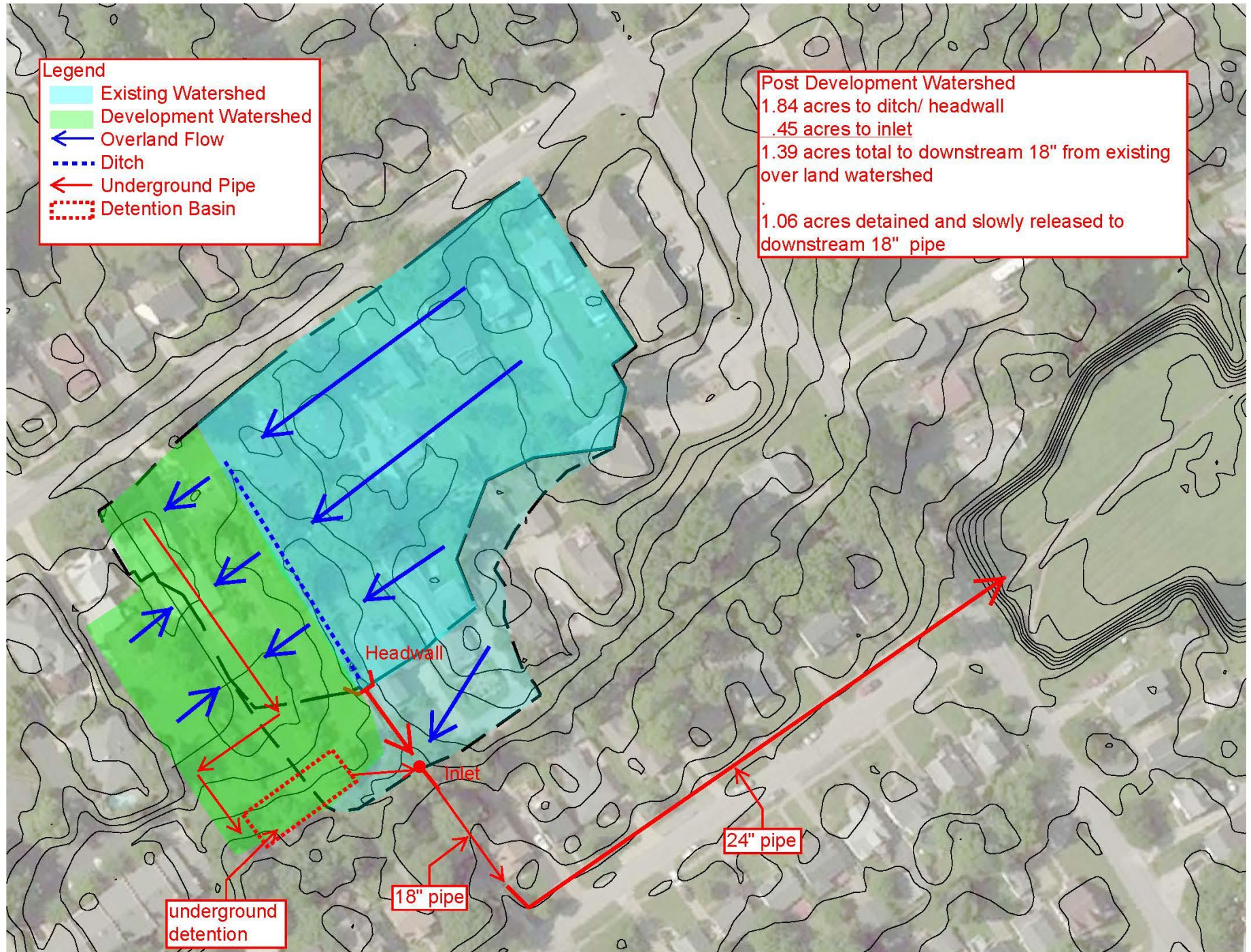


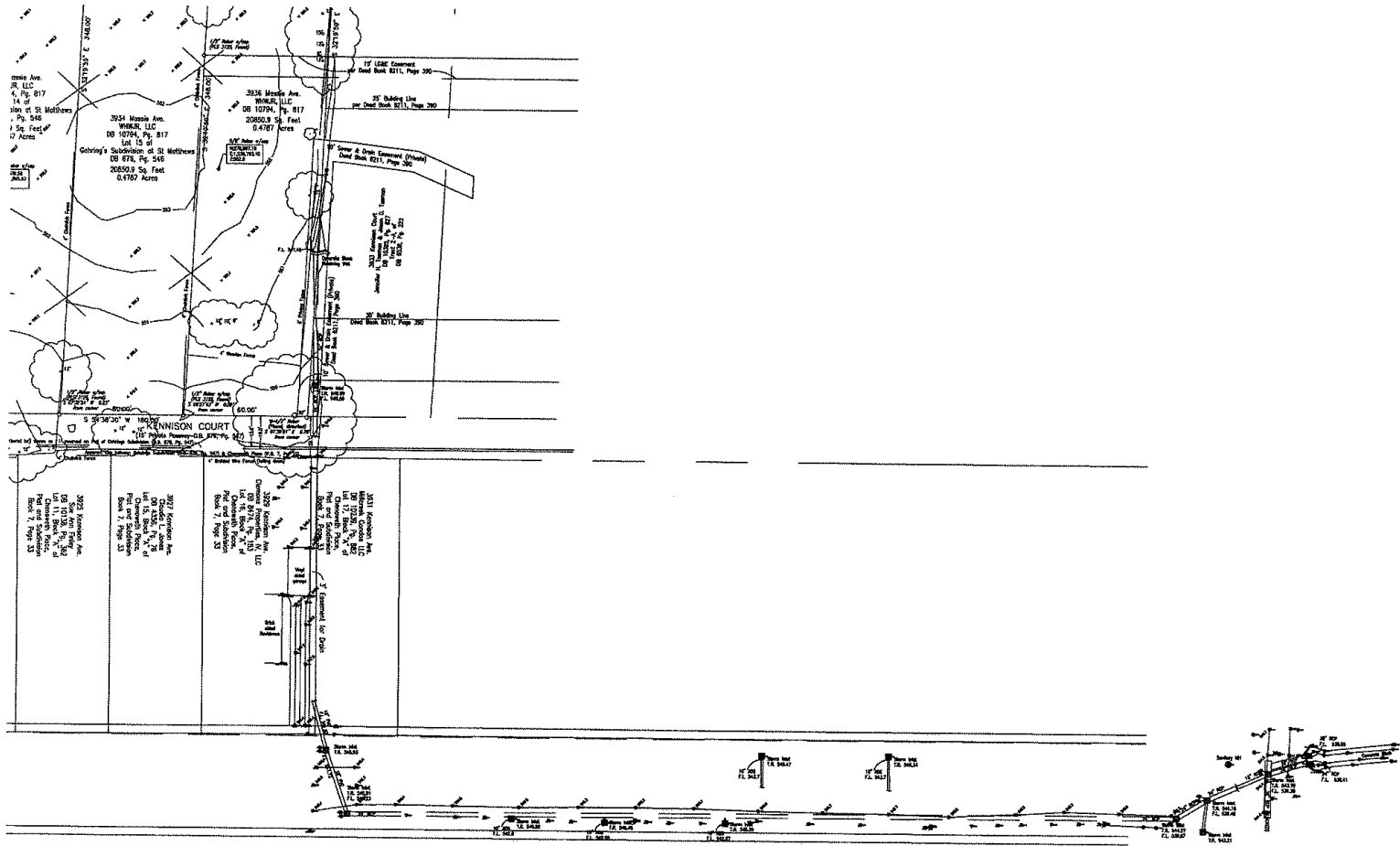
**Legend**

- Existing Watershed
- Development Watershed
- Overland Flow
- Ditch
- Underground Pipe
- Detention Basin

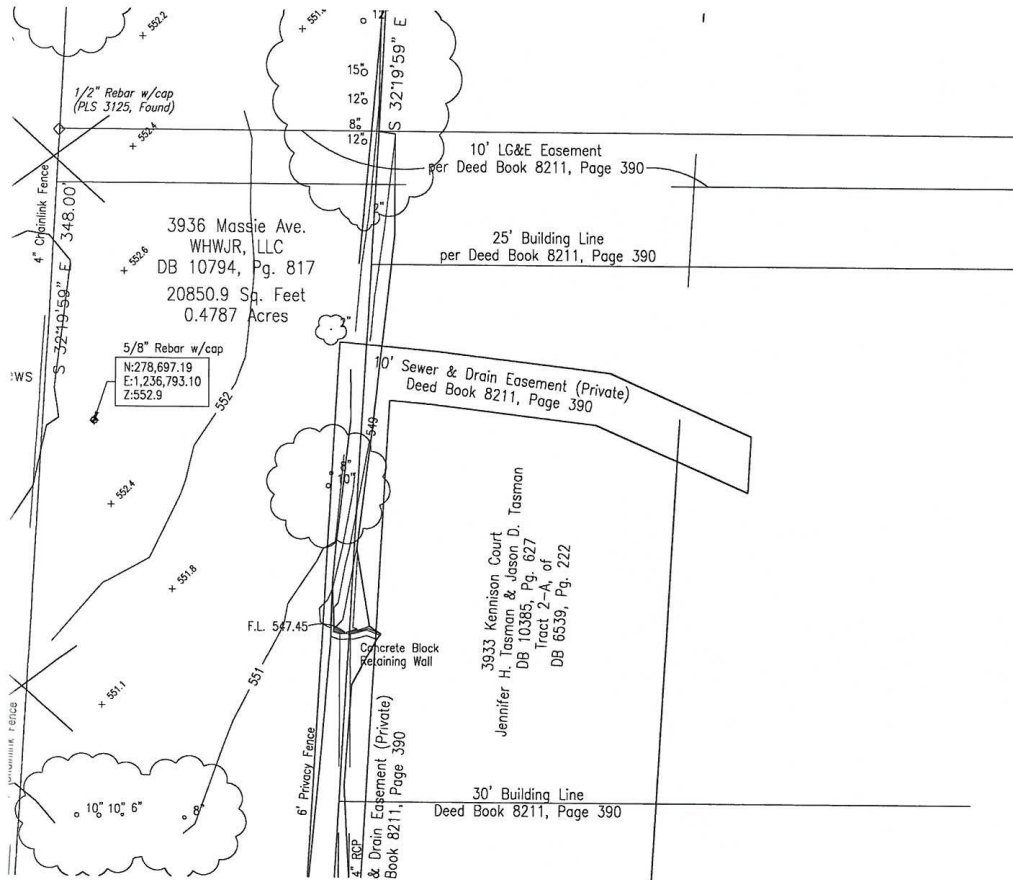
**Post Development Watershed**

- 1.84 acres to ditch/ headwall
- .45 acres to inlet
- 1.39 acres total to downstream 18" from existing over land watershed
- 1.06 acres detained and slowly released to downstream 18" pipe

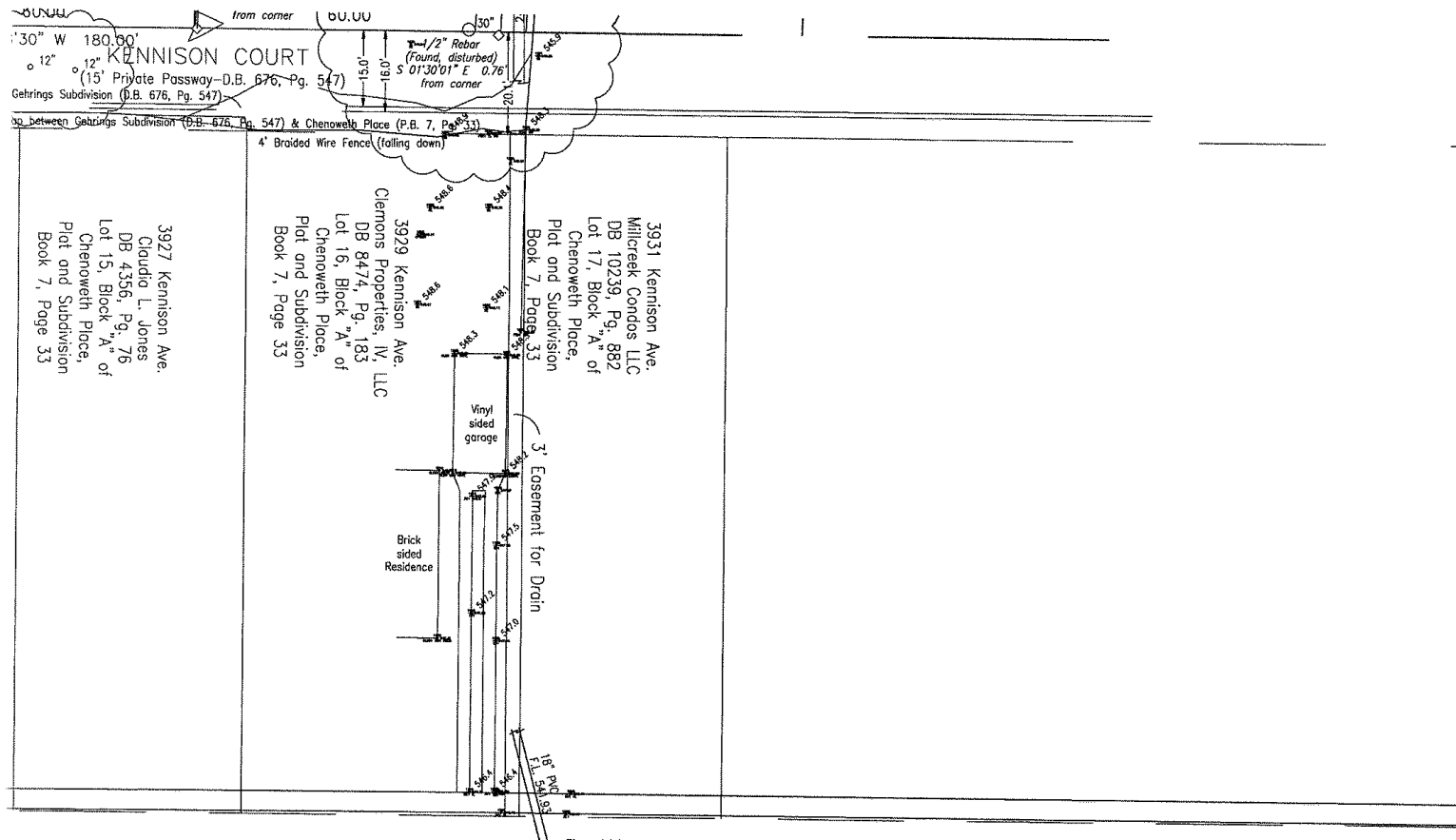




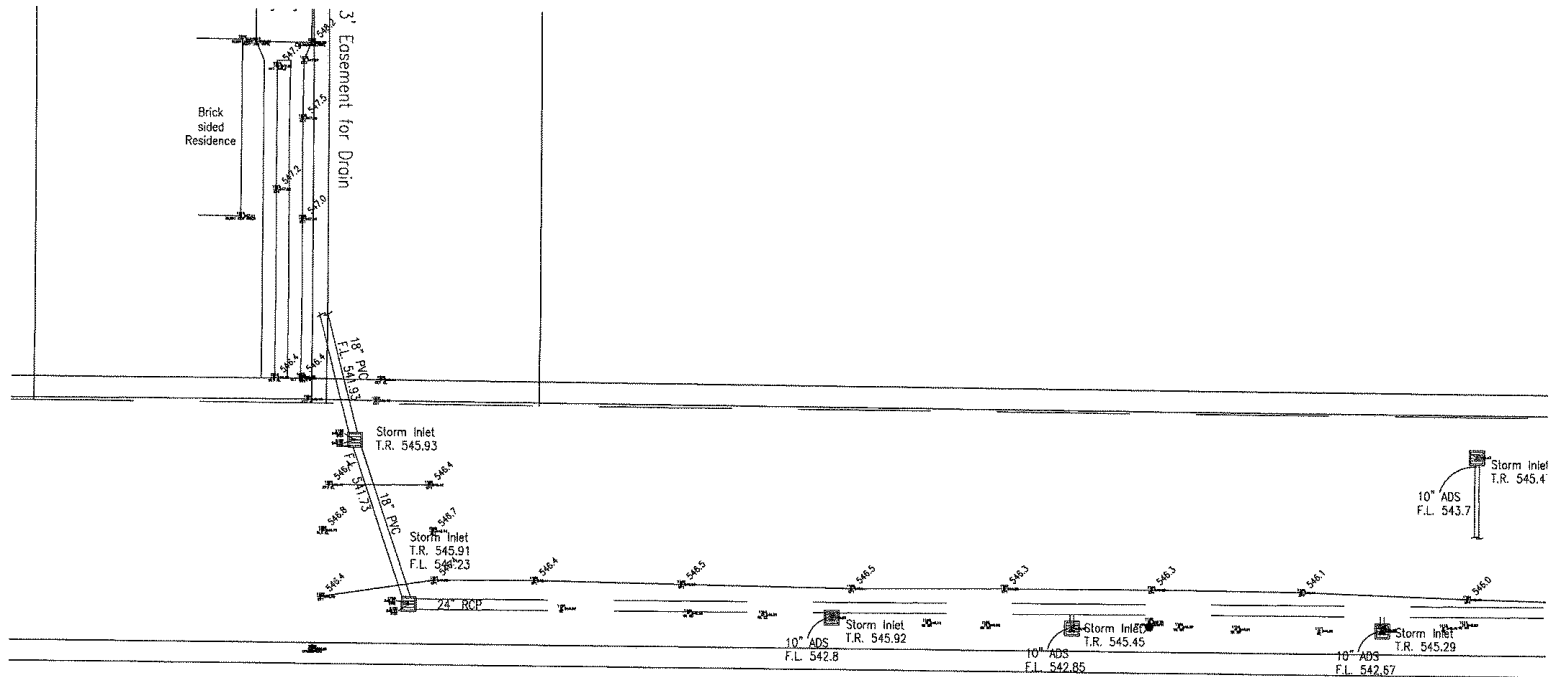
Drainage survey completed of existing drainage system from site to detention basin.



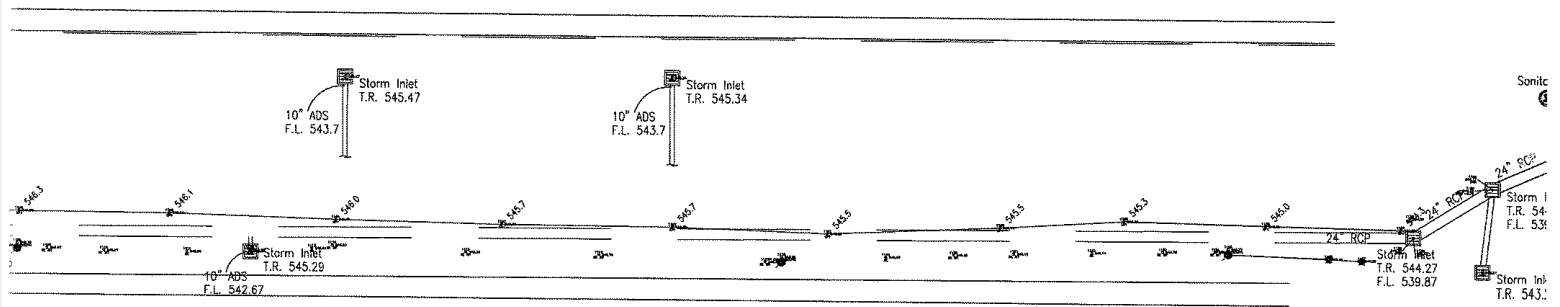
Zoomed portion of drainage survey - site to the left.



Zoomed portion of drainage survey - south of site from Kennison Ct. to Kennison Ave.

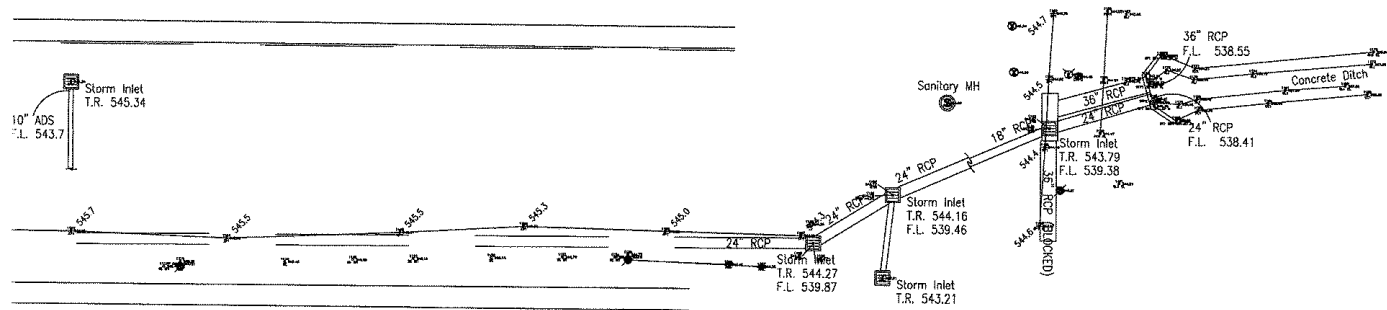


Zoomed portion of drainage survey - along Kennison Ave.



Zoomed portion of drainage survey - along Kennison Ave.





Zoomed portion of drainage survey - along Kennison Ave. to detention basin.



October 2, 2018

Mr. John Carman  
Carman Landscape Architecture  
400 East Main Street, Suite 106  
Louisville, Kentucky 40202

Reference: Karst Survey  
**Massie Avenue Site - Karst Survey**  
3930, 3934 & 3936 Massie Avenue  
Louisville, Jefferson County, Kentucky  
ECS Project No. 61:1642

Dear Mr. Carman:

ECS Southeast, LLP (ECS) conducted a karst survey for the referenced site in accordance with ECS Proposal No. 61:P1220, dated September 17, 2018. The karst survey was conducted in general accordance with Chapter 4 Part 9 (Development on Karst Terrain, dated July 2008) of the Louisville-Jefferson County Land Development Code (LDC).

The karst survey included the following elements: a visual reconnaissance of site conditions for the karst geologic features defined in the LDC; a review of current and historical aerial photographs; a review of soil survey information; a review of geologic maps; and a review of topographic maps.

The geologic formations reportedly underlying the site (Sellersburg and Jeffersonville Limestones) are designated with a high karst potential. The karst potential is based on the tendency for the site to develop or have karst features as shown on the Kentucky Geological Survey Geologic Information Service Karst Potential Map and is not necessarily indicative of the actual presence or absence of karst activity at the site.

No karst-related features (e.g., sinkholes, springs, sinking streams, caves, etc.) were identified on the site in the documents reviewed, including the historical aerial photos, geologic maps, topographic maps or soil survey information. However, a large sinkhole was reported in the same formation approximately 600 feet southwest of the site. In addition, four possible karst-related features were identified during the site reconnaissance conducted on September 26, 2018 by Grant Hess of ECS. The approximate locations of the features observed are depicted on the attached site plan, and pictures of each feature are attached. Brief descriptions of the features are provided below:

Features F-1 and F-2 were closed depressions approximately 8 to 12 inches in diameter and 6 inches deep. The closed depressions were holding water at the time of the visit. The two features were located on the southern half of 3934 Massie Avenue property. An aerial photo from 2010 shows a feature (possible ponded water) in the general area of the feature F-1.

Feature F-3 was a small diameter partially-open throat approximately 3 inches in diameter and 8-10 inches deep. The feature was located beneath a small bush west of the screen room on 3936 Massie Avenue property.

Feature F-4 was a closed depression approximately 5 to 6 feet in diameter and 4 inches deep. The feature was located near the center of the 3936 Massie Avenue property. An aerial photo from 2014 shows a feature that was approximately the same dimensions as the closed depression in the general area of F-4.

The features identified during this survey should be further evaluated during the geotechnical exploration and construction phases of the project. Typically, karst features in this vicinity and similar to those identified in this survey can be remediated in such a way that the ground is appropriately stabilized to support the planned construction.

We appreciate the opportunity to serve as your geotechnical consultants for this project. We look forward to future association with you on this and other projects.

Respectfully submitted,  
ECS Southeast, LLP



William "Grant" Hess  
Project Geologist

Attachments: Massie Ave Topo- Drawing EE3913  
Site Photos



G.T. Vandevelde, P.E.  
Principal Engineer  
Kentucky License No. 14708





**APPARENT ENCROACHMENTS AND EASEMENTS**  
 APPARENT EASEMENT FOR OVERHEAD UTILITY

**ORIGIN OF BEARINGS**

THE BEARINGS AND COORDINATES SHOWN HEREIN ARE BASED ON KENTUCKY STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83). PARTICULARLY, THE BEARINGS AND COORDINATES ARE BASED ON A CROSS SURVEY UTILIZING A TRIMBLE RS CROSS RECEIVER AND THE KTC VCS SYSTEM.

**ORIGIN OF ELEVATIONS**

THE ELEVATIONS SHOWN HEREIN ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. PARTICULARLY, THE ELEVATIONS ARE BASED ON A CROSS SURVEY UTILIZING A TRIMBLE RS CROSS RECEIVER AND THE KTC VCS SYSTEM.

**METHOD OF SURVEY**

THIS GROUND SURVEY WAS PREPARED USING A TRIMBLE SC ROBOTIC TOTAL STATION, THE STATE PLANE COORDINATES SHOWN WERE OBTAINED FROM A REAL-TIME (RTK) CELLULAR COMMUNICATIONS OBSERVATION UTILIZING A TRIMBLE RS CROSS RECEIVER AND THE KTC VCS SYSTEM.

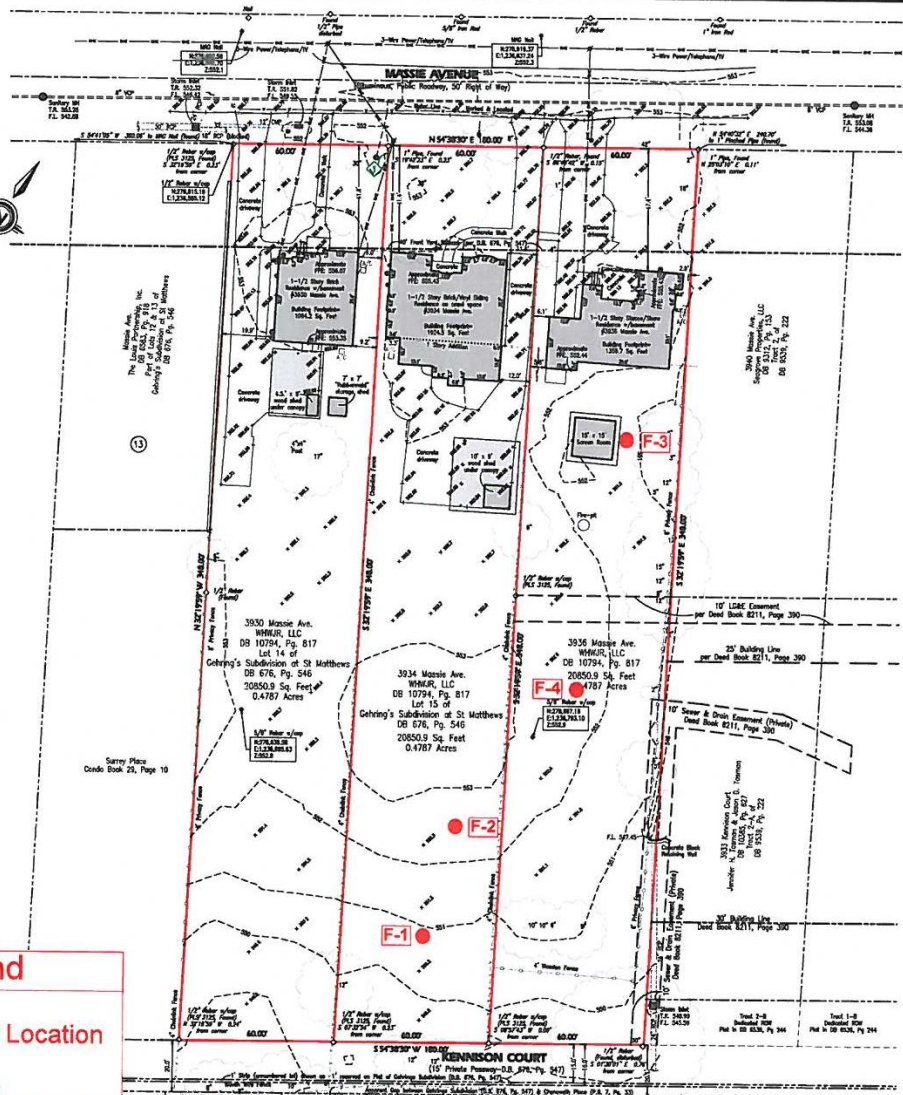
**FEMA FLOOD HAZARD AREA**

BASED ON AN INSPECTION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S MAPS NUMBERED 211100000E & 211100000G WITH A DATE OF IDENTIFICATION OF DECEMBER 3, 2004 FOR COMMUNITY NUMBER 210120 IN LOUISVILLE AND JEFFERSON COUNTY, KENTUCKY AND INCORPORATED AREAS, WHICH ARE THE CURRENT FLOOD HAZARD RATE MAPS (FIRM) FOR THE COMMUNITY IN WHICH THE SUBJECT PROPERTY LIES, THE PROPERTY LIES IN ZONE "X" (UNSHOWN), DESIGNATED AS AREAS OF 0.22% CHANCE OF ANNUAL FLOOD.

**LEGEND**

- |   |   |
|---|---|
| ◆ FOUND MONUMENT  | ○ CPV CORRUGATED PLASTIC PIPE           |
| ⬢ AS NOTED ON SURVEY  | ○ HCP HOLLOW CLAY PIPE                  |
| △ 24" LONG, 5/8" DIAMETER REBAR WITH SURVEYOR'S CAP (DET. PLS 3320) | ○ DI. DUCTILE IRON PIPE                 |
| △ 6" HD BIL WITH 10" TAG (DET. PLS 3330)                            | ○ WH MANHOLE                            |
| — PROPERTY LINE   | — HMC HINTER ELEVATION                  |
| — STREET LIGHT (SP)   | — FL. FLOW LINE ELEVATION               |
| — POWER POLE (PP)   | — T.S. SURFACE ELEVATION (TOP-OF-CHUTE) |
| — TELEPHONE POLE (TP)   | — T.S. SURFACE ELEVATION (TOP-OF-INV)   |
| — FIRE HYDRANT (FH)   | — LSA LANDSCAPING AREA                  |
| — WATER VALVE (WV)  | — DRAIN LINE FENCE                      |
| — WATER METER (WM)  | — IRON FENCE                            |
| — GAS METER (GM)  | — WATER LINE                            |
| — GAS VALVE (GV)  | — GAS LINE                              |
| — ELECTRIC METER (EM)   |   |
| — LIGHT POLE (LP)   |   |
| — POST HOISTING VALVE (PHV)   |   |
| ○ STORM MANHOLE   |   |
| ○ SANITARY MANHOLE  |   |
| — SIGNS   |   |
| — PARKING METER   |   |
| — DOWN SPOUT  |   |
| — RCP REINFORCED CONCRETE PIPE                                      |   |
| — CMP CORRUGATED METAL PIPE   |   |
| — PVC PLASTIC PIPE  |   |
| — ADS PLASTIC PIPE  |   |

**Legend**  
 ● F-1 - Feature Location  
 Note: Locations are approximate



**ZONING REQUIREMENTS**

- R-4 (RESIDENTIAL SINGLE FAMILY DISTRICT)
- MINIMUM LOT AREA: 6000 S.F.
  - MINIMUM LOT WIDTH: 80 FT.
  - MINIMUM LOT FRONT SETBACK: 30 FT.
  - MINIMUM LOT SIDE SETBACK: 30 FT.
  - MINIMUM LOT REAR SETBACK: 30 FT.
  - MINIMUM HEIGHT OF BUILDING: 35 FT.

\* For lots created prior to August 25, 2000, and lots shown on preliminary plans approved prior to that date, the side yards and the minimum 5' width of 10' for the creation of shown on preliminary plans approved after that date, the side yards shall be 5' on each side.

Setbacks are not explicitly shown on the survey as they are subject to the interpretation of an appropriate governmental authority (i.e. building department, planning/zoning, building inspection, etc.)

**SETBACK NOTE**

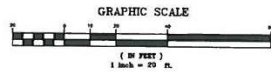
NOT ALL BUILDING SETBACK LINES ARE SHOWN HEREIN. SETBACK LINES ARE SUBJECT TO THE INTERPRETATION OF AN APPROPRIATE GOVERNMENTAL AGENCY (I.E. BUILDING INSPECTION OR PLANNING/ZONING).

**UTILITY OWNERS**

- TELEPHONE**  
 A&T  
 P.O. BOX 32410  
 LOUISVILLE, KENTUCKY 40232  
 PHONE: (502) 557-6000
- NATIONAL GAS**  
 LOUISVILLE GAS & ELECTRIC  
 701 S 9TH STREET  
 LOUISVILLE, KY 40203-2084  
 PHONE: (502) 588-1444
- ELECTRIC**  
 LOUISVILLE GAS & ELECTRIC  
 701 S 9TH STREET  
 LOUISVILLE, KY 40203-2084  
 PHONE: (502) 588-1444
- STATE ROADS**  
 TRANSPORTATION CABINET  
 DISTRICT OFFICE NO. 5  
 5415 WESTPORT ROAD  
 LOUISVILLE, KY 40242  
 PHONE: (502) 210-5400
- WATER**  
 LOUISVILLE WATER COMPANY  
 500 SOUTH THIRD STREET  
 LOUISVILLE, KY 40202  
 PHONE: (502) 588-3600
- SANITARY SEWER**  
 METROPOLITAN SEWER DISTRICT  
 700 WEST LIGHT STREET  
 LOUISVILLE, KENTUCKY 40202  
 PHONE: (502) 540-6000

**UNDERGROUND UTILITIES**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SOURCE OR CHARACTER. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



**LAND SURVEYOR'S CERTIFICATION**

I HEREBY DO CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECTION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE LOCATIONS AND ELEVATIONS SHOWN ARE TRUE AND ACCURATE. THE GROUND SURVEY UPON WHICH THIS MAP IS BASED WAS COMPLETED ON JANUARY 18, 2018.

STATE-KENTUCKY  
 PROFESSIONAL LAND SURVEYOR  
 LICENSE NO. 1130  
 EXPIRES 12/31/2021  
 COMPLETED SURVEY NO. 18-001  
 DATE 1-22-2018

NO.	DATE	REVISION
1	1/22/18	ISSUED

**ENDRIS Engineering**  
 Land Surveys - Construction Layout - GIS

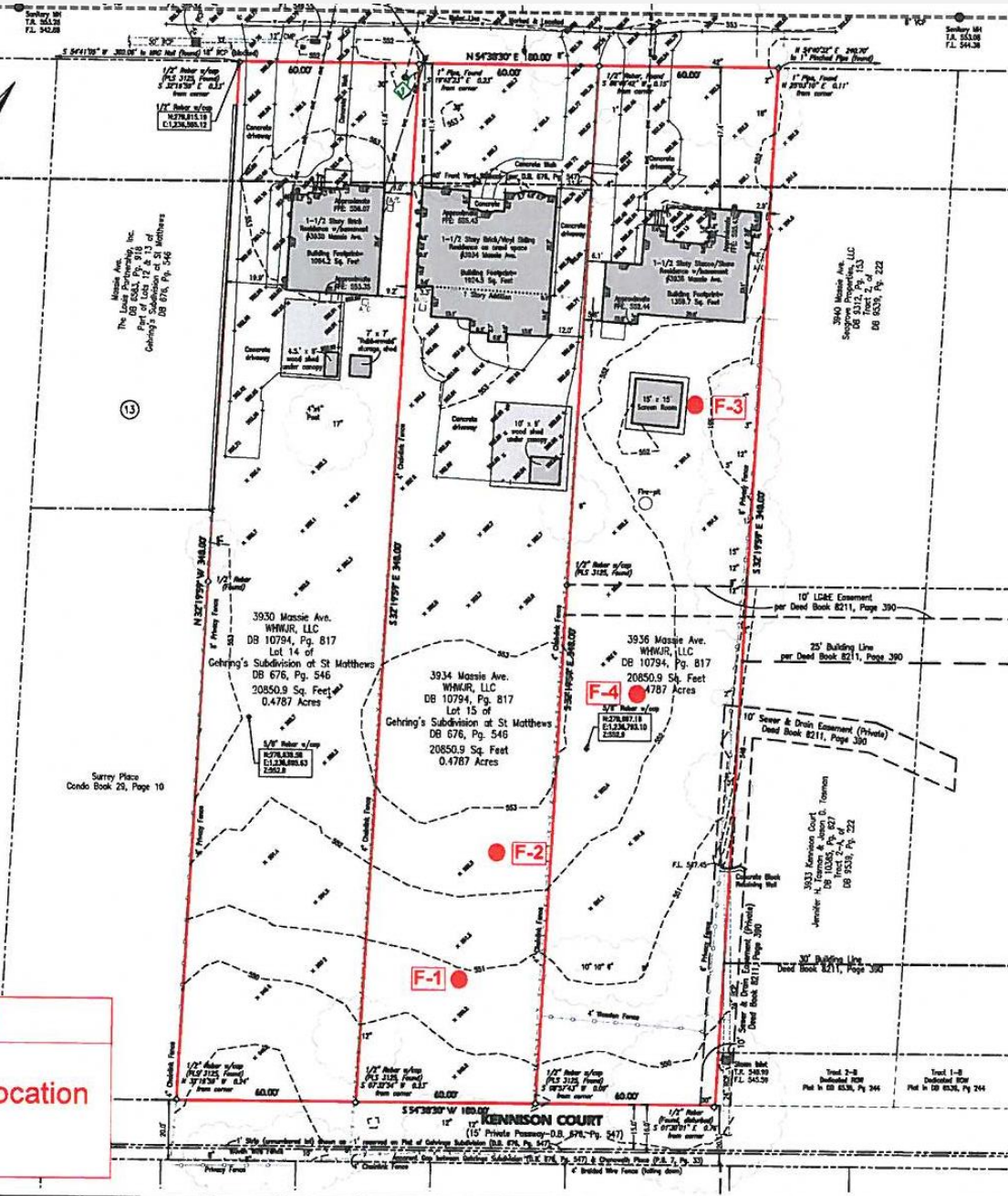
711 UNIVERSITY BLVD  
 LOUISVILLE, KY 40202  
 PHONE: (502) 261-1111  
 FAX: (502) 261-1111

**Kentucky 811**  
 1-800-348-3800

**WHWR, LLC PROPERTY**  
 3930, 3934 & 3936 Massie Avenue  
 Louisville (St. Matthews), Jefferson County, Kentucky

The Plot Information is Secondary to the Accuracy of the Survey.  
 ALL SURVEYS COMPLETED SURVEY NO. 18-001

JOB NUMBER: 18-001  
 DRAWING DATE: 1/22/18  
 DRAWING FILE: 2018-001-18-001  
 SCALE: 1" = 20'



**Legend**

**Structure Location**

**Proximate**

MINIMUM LOT FRONT & STREET SIDE WID 30 FT.  
 MINIMUM EACH SIDE WID 10 FT.  
 MINIMUM ROW SETBACK 35 FT.  
 MINIMUM HEIGHT OF BUILDING 35 FT.

\*\* For lots created prior to August 23, 2000, and preliminary plans approved prior to that date, the setback information is, in part, for lots created preliminary plans approved after that date, the date is 5' on each side.

Setbacks are not explicitly shown on the survey; subject to the interpretation of the appropriate city, enforcement, planning/zoning, building inspection, or

**SETBACK NOTE**

NOT ALL BUILDING SETBACK LINES ARE SHOWN HERE SUBJECT TO THE INTERPRETATION OF AN APPROPRIATE (I.E. BUILDING INSPECTION OR PLANNING/ZONING).

**UTILITY OWNERS:**

- |                             |      |
|-----------------------------|------|
| TELEPHONE                   | NATL |
| AT&T                        | LOU  |
| P.O. BOX 32410              | LOU  |
| LOUISVILLE, KENTUCKY 40232  | LOU  |
| PHONE: (502) 557-8000       | PHD  |
| ELECTRIC                    | STAT |
| LOUISVILLE GAS & ELECTRIC   | TRN  |
| 701 S 9TH STREET            | DEPT |
| LOUISVILLE, KY 40203-2084   | OSTI |
| PHONE: (502) 588-1444       | LOU  |
| WATER                       | PHD  |
| LOUISVILLE WATER COMPANY    |      |
| 550 SOUTH THIRD STREET      |      |
| LOUISVILLE, KY 40202        |      |
| PHONE: (502) 588-3600       |      |
| SANITARY SEWER              |      |
| METROPOLITAN SEWER DISTRICT |      |
| 700 WEST LIBERTY STREET     |      |
| LOUISVILLE, KENTUCKY 40202  |      |
| PHONE: (502) 540-6000       |      |

**UNDERGROUND UTIL**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR HAS UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITY SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATIONS DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSIC UNDERGROUND UTILITIES.

**GRAPHIC SCALE**



**LAND SURVEYOR'S CERTIFI**

I HEREBY DO CERTIFY THAT THIS SURVEY WAS PREPARED DIRECTOR; AND THAT, TO THE BEST OF MY KNOWLEDGE, LOCATIONS AND ELEVATIONS SHOWN ARE TRUE AND ACCURATE SURVEY UPON WHICH THIS MAP IS BASED WAS CONDUCTED



*Kevin W. Phillips*  
 KEVIN W. PHILLIPS, PLS # 13300



Photo 1 – View of F-1 (looking north).



Photo 2 – View of F-2 (looking north).



Photo 3 – View of F-3 (looking west).



Photo 4 – View of the bush and F-3 of the site (looking west).



Photo 5 – View of F-4 (looking north).



Photo 6 – View F-1 with standing water (looking north).

Site Photos  
ECS Project No. 61-1642



Massie Avenue Site - Karst Survey  
3930, 3934 & 3936 Massie Avenue  
Louisville, Jefferson County, Kentucky