



DEVELOPMENT REVIEW COMMITTEE

HARBOR FREIGHT

STANDIFORD PLAZA DRIVE & CRANDON ROAD
CASE # 18DEVPLAN1088

REPRESENTATIVES

KELLI JONES, RLA
SABAK, WILSON & LINGO, INC.

NOAH BRADTKE-LITWACK
THOMAS ENGLISH RETAIL REAL ESTATE

ZONING MAP



CONTEXT AERIAL



SITE AERIAL



EXISTING STREAM



DEVELOPMENT PLAN



GENERAL NOTES

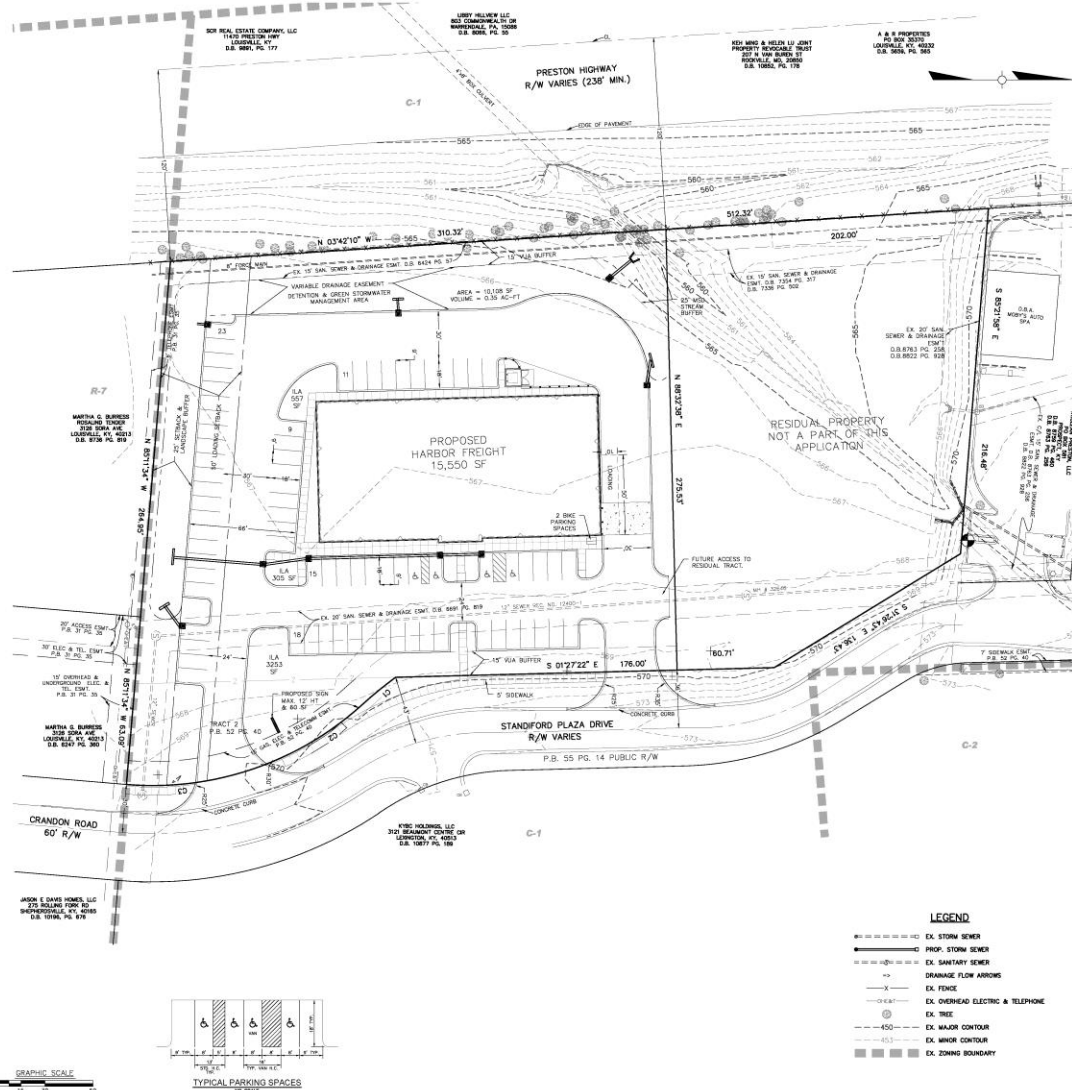
- 1) ALL HANDMADE SITE FEATURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACCEPTABLE "A.A." REQUIREMENTS FOR HANDMADE ACCESSIBILITY.
- 2) THIS PROPERTY IS NOT LOCATED IN A 100 YEAR FLOOD HAZARD AREA (FEMA MAP 21110228E, DECEMBER 5, 2006).
- 3) SANITARY SEWERS ARE AVAILABLE BY CONNECTION. SANITARY SEWER FACILITIES SHALL CONFORM TO MD REGULATIONS.
- 4) DRAINAGE / STORM WATER DETENTION: FINAL CONFIGURATION AND SIZE OF SEWAGE PIPES AND CHANNELS SHALL BE DETERMINED DURING THE CONSTRUCTION PLAN DESIGN PROCESS. DRAINAGE FACILITIES SHALL CONFORM TO MD REGULATIONS.
- 5) ALL CONSTRUCTION AND SALES TRAILERS MUST BE PERMITTED BY THE DEPARTMENT OF PUBLIC HEALTH AND WELFARE IN ACCORDANCE WITH CHAPTER 103 OF LOUISIANA. JEFFERSON COUNTY METRO ORDINANCES.
- 6) WEEDS CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH CHAPTER 84 OF LOUISIANA. JEFFERSON COUNTY METRO ORDINANCES.
- 7) CONSTRUCTION PLANS, BIDD & PERMIT REQUIRED FOR ALL WORK DONE WITHIN THE RIGHT-OF-WAY.
- 8) MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION. EXISTING EXISTING PARTICULATE DISPERSION FROM ROADWAY AND SITE TRUCKS AND OPERATIONS PERMITTED.
- 9) EROSION & SILT CONTROL, A SOIL AND SEDIMENTATION CONTROL PLAN SHALL BE DEVELOPED AND IMPLEMENTED IN ACCORDANCE WITH MD AND THE USDA NATURAL RESOURCES CONSERVATION SERVICE RECOMMENDATIONS. DOCUMENTATION OF MDS APPROVAL OF THE PLAN SHALL BE SUBMITTED TO THE PLANNING COMMISSION PRIOR TO GRADING AND CONSTRUCTION ACTIVITIES.
- 10) THE DEVELOPMENT LIES IN THE OCEOLA FIRE DISTRICT.
- 11) SIDEWALKS AND ROADWAY PAVEMENT MOTIFS WILL BE PROVIDED AS REQUIRED IN CHAPTER 6 OF THE LAND DEVELOPMENT CODE.
- 12) COMPATIBLE UTILITY LINES (ELECTRIC, POWER, CABLE) SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPLICABLE AGENCIES.
- 13) ALL SERVICE STRUCTURES SHALL BE SPORENDED IN ACCORDANCE WITH THE LUMBER CONSTRUCTION CODE. SERVICE STRUCTURES INCLUDE BUT ARE NOT LIMITED TO DRIPPIPE TANKS, SUMPERS, MAN HOLES, ELECTRIC TRANSFORMERS AND TELECOM BODIES.
- 14) THE FINAL DESIGN OF THIS PROJECT MUST MEET ALL MSA WATER QUALITY REGULATIONS ESTABLISHED BY MDS. SITE LAYOUT MUST COMPLY WITH THE DESIGN PHASE DUE TO PROPER SIZING OF GREEN BEST MANAGEMENT PRACTICES.
- 15) ALL PREEXISTING SIGNS WILL MEET THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE.
- 16) BEFORE OBTAINING THE LOT LINES AS SHOWN TO BE RECORDED PER TO CONSTRUCTION APPROVAL.
- 17) LOT CONSOLIDATION TO BE RECORDED PRIOR TO CONSTRUCTION APPROVAL.
- 18) DRAINAGE DETENTION SHALL BE PROVIDED. POST-DEVELOPED FLOOD PLUMING WILL BE LIMITED TO PRE-DEVELOPED FLOOD PLUMING FOR THE 2 TO 5 L.A. 100 YEAR STORM. THE CAPACITY OF THE DOMESTIC WATER SYSTEM, WHICHEVER IS MORE RESTRICTIVE.
- 19) KYTC APPROVAL REQUIRED PRIOR TO MDO CONSTRUCTION PLAN APPROVAL.
- 20) CONSTRUCTION PLANS AND DOCUMENTS SHALL COMPLY WITH LOUISIANA AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICTS DESIGN MANUALS AND STANDARD SPECIFICATIONS AND OTHER LOCAL, STATE AND FEDERAL ORDINANCES.
- 21) A HARVEST SURVEY WAS PERFORMED BY KELLY JONES ON JUNE 7, 2014 AND NO ASSET FEATURES WERE OBSERVED.

EPSC NOTES

- THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED EPSC PLAN MUST BE PRE-APPROVED AND APPROVED BY MDS. TO PREVENT DEVELOPMENT FROM BEING STOPPED. BMPs SHALL BE INSTALLED PER THE PLAN AND MDS STANDARDS.
- DETENTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PROVIDE AS SEDIMENT BARRIERS TO PREVENT THE TRACKING OF SOIL INTO THE CONTRIBUTING DRAINAGE AREAS AND BE STABILIZED.
- ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SIGNS TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.
- SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, POND, SWALES, AND CATCH BASINS. STOCKPILES SHALL BE COVERED AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCES.
- ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING STRUCTURES TO ALLOW STANDARD DRAINAGE 80-90%.
- BEST MANAGEMENT PRACTICES OF LAND DISTURBANCE ACTIVITY OR HAS TEMPORARILY CLASSIFIED ON ANY PORTION OF A SITE. TEMPORARY SITE STABILIZATION MEASURES SHALL BE RECORDED AS SOON AS PRACTICABLE, BUT NOT LATER THAN 14 CALENDAR DAYS AFTER THE ACTIVITY HAS CEASED.
- SEDIMENT-LADEN DISCHARGES ENCOUNTERED DURING TRENCHING, BELOW GROUND UTILITIES (L.A. CABLES, ELECTRIC WIRES, GAS PIPES, ETC.) MUST BE STOPPED IMMEDIATELY. ALL DISCHARGES MUST BE TRAPPED BEFORE BEING DISCHARGED INTO A STREAM, POND, SWALE, OR CATCH BASIN.

EPSC PHASING

1. INSTALL TEMPORARY CONSTRUCTION ENTRANCE & SILT FENCE.
2. INSTALL TEMPORARY SEDIMENT BASKIN.
3. BEGIN EXISTING AND GRADING OPERATIONS.
4. INSTALL STORM SEWER AND INLET PROTECTION.
5. INSTALL SEWAGING UTILITIES.
6. COMPLETE GRADING OPERATIONS.
7. INSTALL CURBS AND FRAME SILE.
8. REMOVE SEDIMENT BASKIN RESEAL AND INSTALL PERMANENT DETENTION BASIN OUTLET STRUCTURE.
9. REMOVE SILT FENCES AND INLET PROTECTION ONCE SITE IS STABILIZED & INSPECTION IS ESTABLISHED.



SITE DATA

FORM DISTRICT:	0-1
ESTIMATED VALUE:	5AC
PROPOSED VALUE:	COMERCIAL
SEWER FEES:	3.30
PROPOSED BUILDING HEIGHT:	15.50 FT
PAV:	0.16

TREE CANOPY REQUIREMENTS

EXISTING TREE CANOPY:	64,897 SF (23.18 AC)
REQUIRED NEW TREE CANOPY:	18,879 SF (0.68 AC)

I/A CALCULATIONS

SITE AREA:	43,229 SF
REQUIRED I/A (7.5%):	3,242 SF
PROPOSED I/A:	4,115 SF
TREES REQUIRED:	13 TREES

IMPERVIOUS AREA CALCULATIONS

SITE AREA:	84,897 SF (23.18 AC)
EXISTING IMPERVIOUS AREA:	0 SF (0 AC)
PROPOSED IMPERVIOUS AREA:	81,860 SF (23.42 AC)

PARKING CALCULATIONS

PARKING REQUIRED (1 SPACE/300 SF):	52 SPACES
PARKING PROVIDED (1 SPACE/300 SF):	78 SPACES
PARKING ALLOWED (4 A.C. SPACES):	78 SPACES
SOFT PAVEMENT REQUIRED:	3 SPACES
LONG TERM:	2 SPACES

* LONG TERM BIKE PARKING WILL BE LOCATED INSIDE THE PARKING AREA.

DETENTION CALCULATION

A = 8487 / 15000 = 2.19 AC	
B = 0.5	
DRAINAGE AREA (A.C.):	0.5
SWAY S = 0.47	
C = (2.19 * 0.5) / 0.47 = 0.24 AC-ft	

CURVE TABLE

STATIONING	RADIUS	PI	CHORD	OFFSET
5+00.00 TO 5+25.00	250.00	157.08	125.00	15.71
5+25.00 TO 5+50.00	250.00	157.08	125.00	15.71

ADDITIONAL REQUESTS

1. NUMBER OF L.A.C. 1.5 TO NOT PROVIDE THESE SPECIFIC ANTIKING FEATURES ALONG SIDE OF THE PRIMARY FACADE.
2. NUMBER OF L.A.C. 1.5 TO NOT PROVIDE SIGNAGE FOR SIDE OF THE WALL SURFACE ON ALL FACADES.
3. NUMBER OF L.A.C. 1.5 TO PROVIDE NO SIGNAGE ALONG FRONT PORCHES.

UTILITY NOTE

ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER "TULLY" (TUL) FREE PHONE AT 1-800-382-5646 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THE NUMBER HAS BEEN ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (L.A. CABLES, ELECTRIC WIRES, GAS PIPES, ETC.) MUST BE STOPPED IMMEDIATELY. ALL DISCHARGES MUST BE TRAPPED BEFORE BEING DISCHARGED INTO A STREAM, POND, SWALE, OR CATCH BASIN.

LEGEND

- EX. STORM SEWER
- EX. STORM SEWER
- EX. SANITARY SEWER
- DRAINAGE FLOW ARROWS
- EX. FENCE
- EX. OVERHEAD ELECTRIC & TELEPHONE
- EX. TREE
- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- EX. ZONING BOUNDARY



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ENGINEERS, LANDSCAPE ARCHITECTS & PLANNERS
THE HENRY CLAY
1008 S. THIRD STREET
LOUISVILLE, KENTUCKY 40202
606.258.6600
WWW.SWLANDSCAPE.COM



PROJECT TITLE:
HARBOR FREIGHT
STANDFORD PLAZA DR. & CRANDON RD.
LOUISVILLE, KY 40229
TAX BLOCK 2296, LOTS 303 & 307

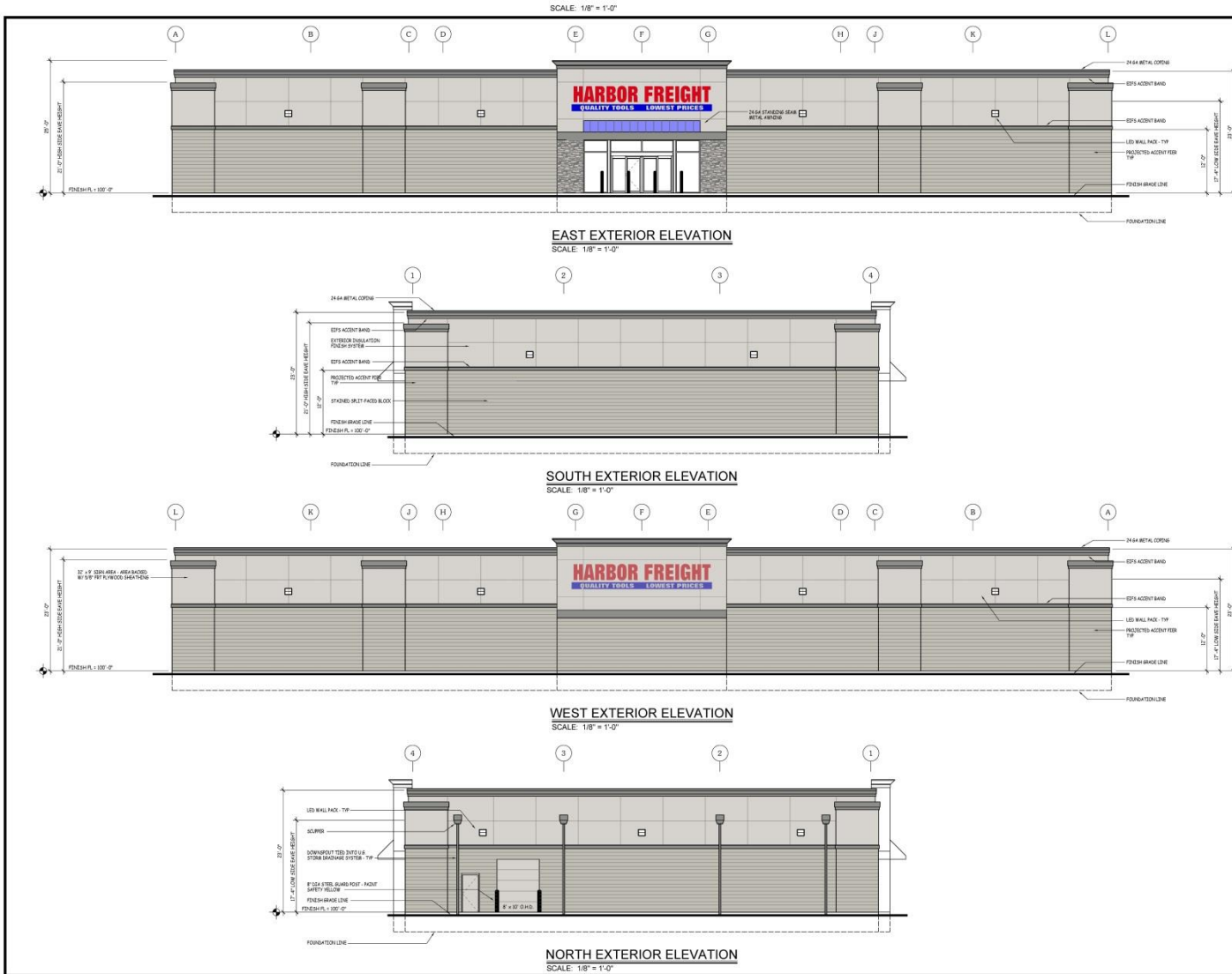
REVISIONS / CATEGORY 2B PLAN
SHEET TITLE:
PROJECT TITLE:
DATE: 05/17/18
DRAWING NO.
SHEET 1 OF 1



HF STANDARD PROTOTYPE



PROPOSED ELEVATIONS



ARCHITECT
CE&M, Inc.
Architects & Engineers

127 West Berry Street, Suite 1001 - Fort Wayne, Indiana 46822
Telephone: 317.734.2331 - Fax: 317.688.8876
ceandm@ceandm.com

GENERAL CONTRACTOR
JGBOWERS, INC.
GENERAL CONTRACTOR
1629 South Joaquin Drive
Marion, Indiana 46953
Phone: 765.677.1000

DATE PLOTTED: _____
PLOT NUMBER: _____

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NEW RETAIL PROJECT FOR:
HARBOR FREIGHT TOOLS
Standford Plaza Drive
Louisville, Kentucky

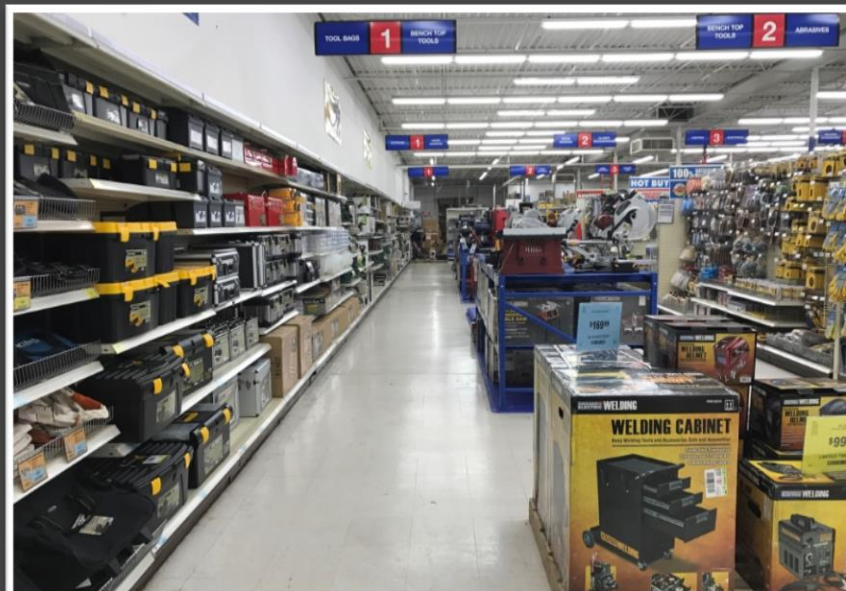
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EXTERIOR ELEVATIONS

NO.	REVISION	DATE	BY

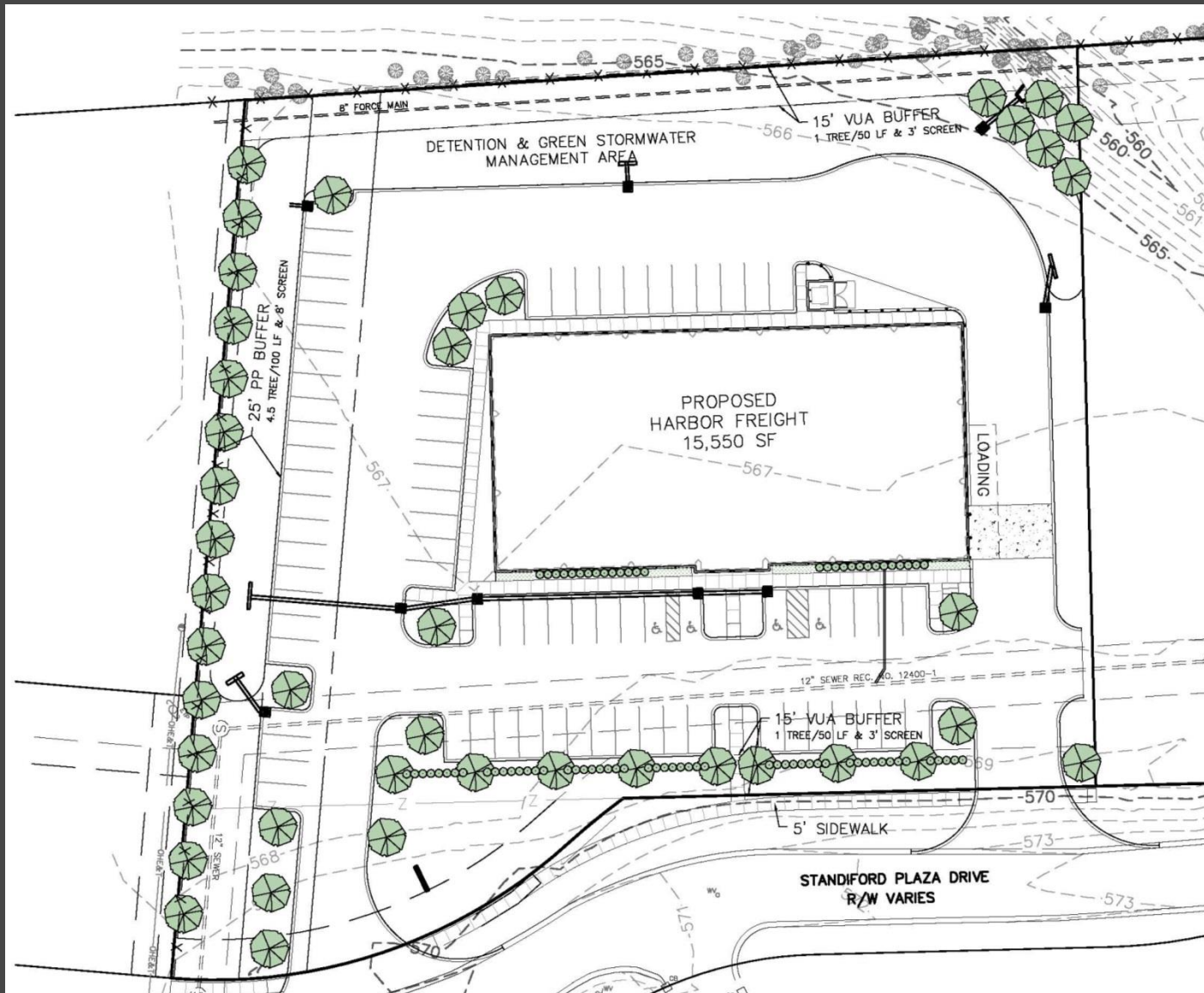
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DATE PLOTTED: _____	

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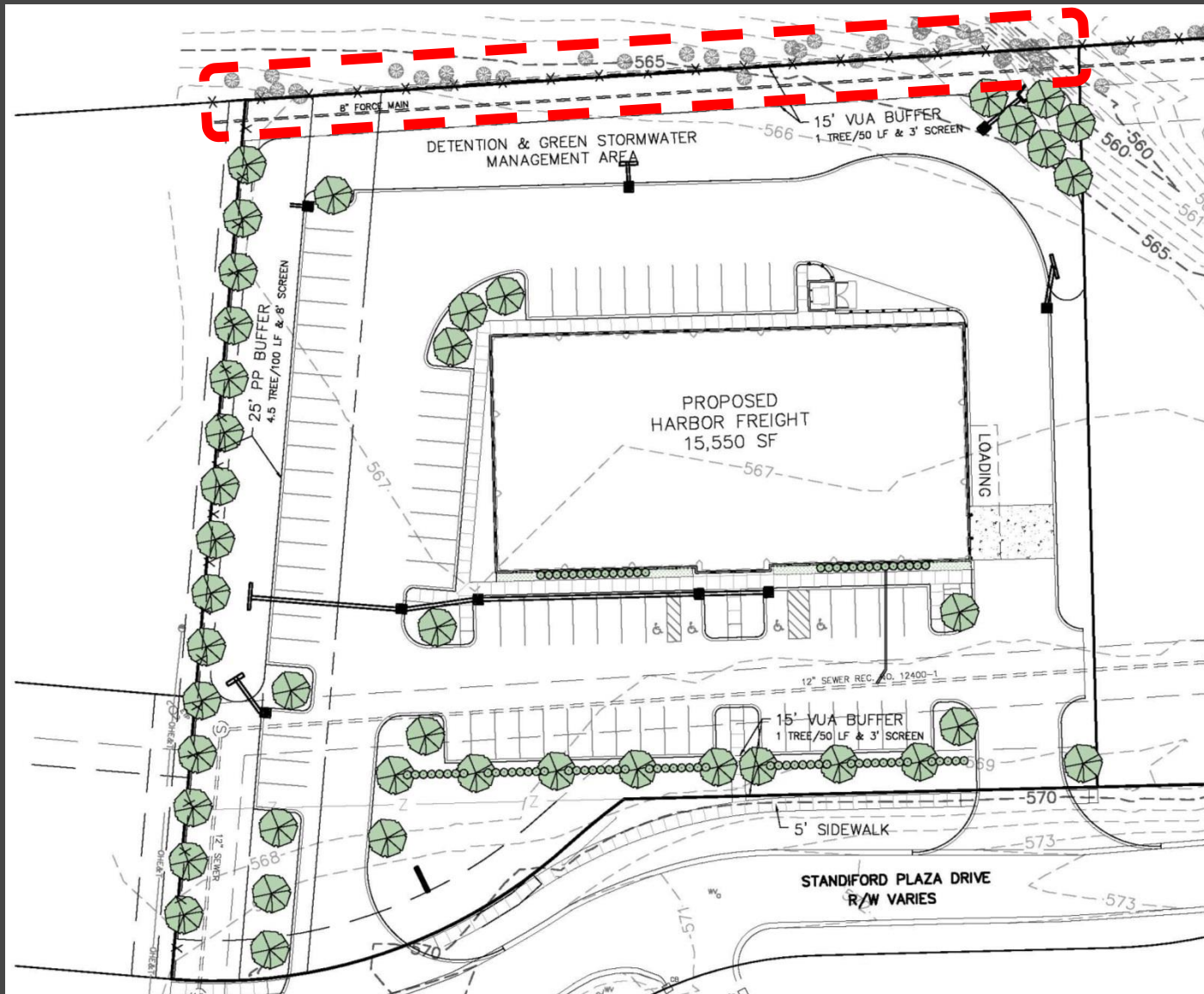
TYPICAL INTERIOR PHOTOS



LANDSCAPE EXHIBIT



LANDSCAPE EXHIBIT



LANDSCAPE EXHIBIT



SIDEWALK WAIVER





APPROVALS

- REVISED DETAILED DEVELOPMENT PLAN
- ~~CATEGORY 3 PLAN~~
- WAIVER
 - ANIMATING FEATURES (5.6.1.B.1.a)
 - WINDOWS (5.6.1.C.1)
 - SIDEWALK (5.8.1.B)