



CONCEPT ARCHITECTS

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SEAL

PROJECT NAME

RENOVATION AND ADDITION  
1137 MULBERRY STREET  
LOUISVILLE, KY 40217

MATERIAL INCLUDED  
HEREIN IS INTELLECTUAL  
PROPERTY. USE OF THIS  
WORK IN WHOLE OR IN  
PART IS FORBIDDEN  
WITHOUT THE EXPRESSED  
WRITTEN CONSENT OF THE  
ARCHITECT

Project number: 18-03-01  
Date: 12/16/19  
Drawn by: RH  
Checked by: DS

CONSTRUCTION  
DOCUMENTS  
PERMIT SET

ELEVATIONS

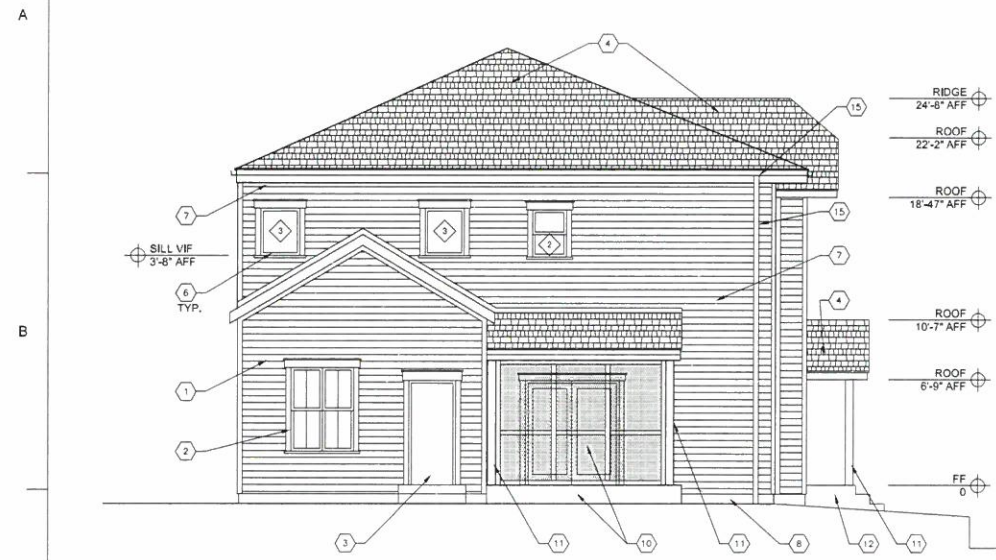
A2.01  
PAGE NUMBER

### GENERAL NOTES:

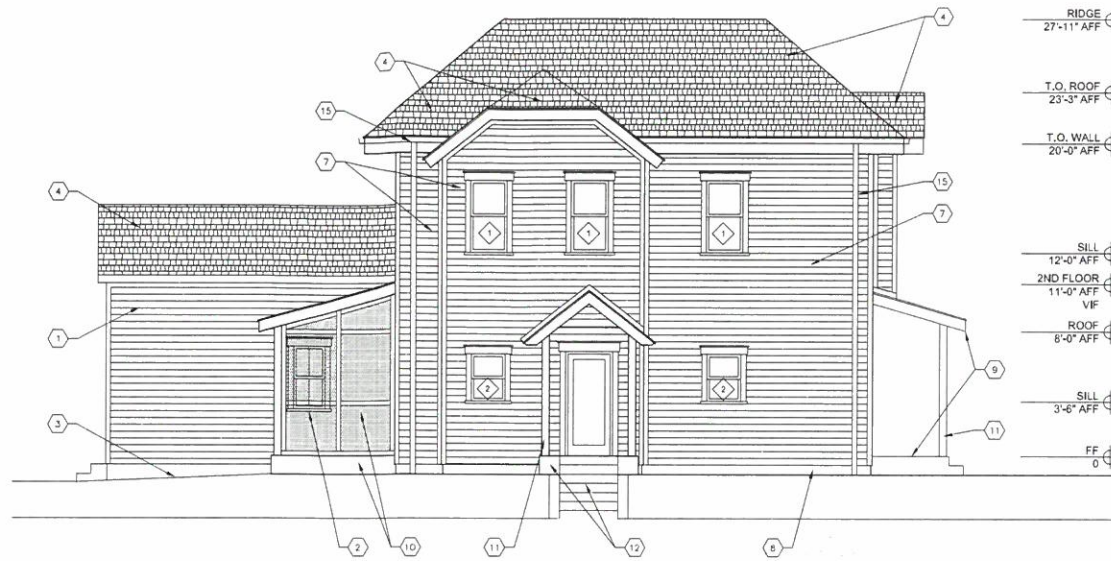
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH ALL APPLICABLE CODES.
- MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTOR MUST BE LICENSED AND IS RESPONSIBLE TO COMPLY WITH ALL APPLICABLE CODES
- VERIFY EXISTING CONDITIONS ON SITE PRIOR TO CONSTRUCTION
- ALL EXTERIOR WOOD STUD WALLS ARE TO BE PRESSURE TREATED
- ALL WOOD JOISTS, BEAMS AND COLUMNS MUST BE GRADE 2 LUMBER

### KEYED NOTES:

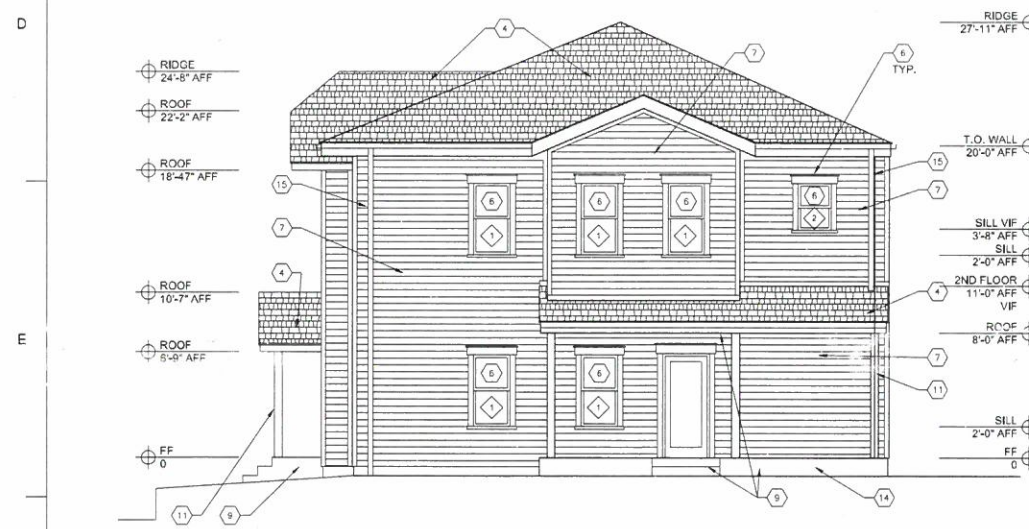
1. EXISTING BUILDING TO REMAIN. PROVIDE AND INSTALL NEW FIBER CEMENT SIDING AND TRIM. REPAIR SHEATHING AS NEEDED
2. EXISTING OPENINGS TO REMAIN. REPAIR AS NEEDED. PROVIDE AND INSTALL NEW WINDOWS.
3. EXISTING FRONT STEPS AND SIDEWALK TO REMAIN. EXISTING OPENING TO REMAIN. PROVIDE AND INSTALL NEW DOOR
4. NEW DIMENSIONAL SHINGLE ROOF OVER ENTIRE BUILDING
5. EXISTING CHIMNEY TO BE REMOVED ABOVE THE ROOF. REPAIR AS NEED TO BE STRUCTURAL SECURE AND WATER TIGHT
6. NEW DOUBLE HUNG WINDOWS. WINDOW TYPE 1 54" X 28". WINDOW TYPE 2 36" X 26". NEW CASEMENT WINDOWS TYPE 3 36" X 28" TO MEET EGRESS REQUIREMENTS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
7. NEW FIBER CEMENT SIDING ON NEW ADDITION AND OVER EXISTING BUILDING. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
8. NEW CONCRETE FOUNDATION. REFER TO FOUNDATION AND FRAMING PLANS
9. BACK PORCH - TREATED WOOD FRAME ROOF. REFER TO FRAMING PLAN. CONCRETE SLAB SLOPE AWAY FROM BUILDING
10. SCREENED IN PORCH - TREATED WOOD FRAMED WALLS AND ROOF. REFER TO FRAMING PLAN. CONCRETE SLAB SLOPE AWAY FROM BUILDING -
11. 6X6 TREATED WOOD STRUCTURAL COLUMNS
12. NEW CONCRETE STAIRS IN LOCATION OF EXISTING CONCRETE RAMP. REPAIR AND MODIFY AS NEEDED. VERIFY IN FIELD. PROVIDE NEW CONCRETE SLAB PORCH, SLOPE AWAY FROM BUILDING. REFER TO FOUNDATION PLAN
13. NEW PORTION OF EXTERIOR WALL AT SECOND FLOOR. ALIGN WITH FRAMING BELOW.
14. EXISTING STEPS DOWN TO CELLAR TO REMAIN. VERIFY IN FIELD
15. NEW GUTTER AND DOWNSPOUT, PREFINISHED



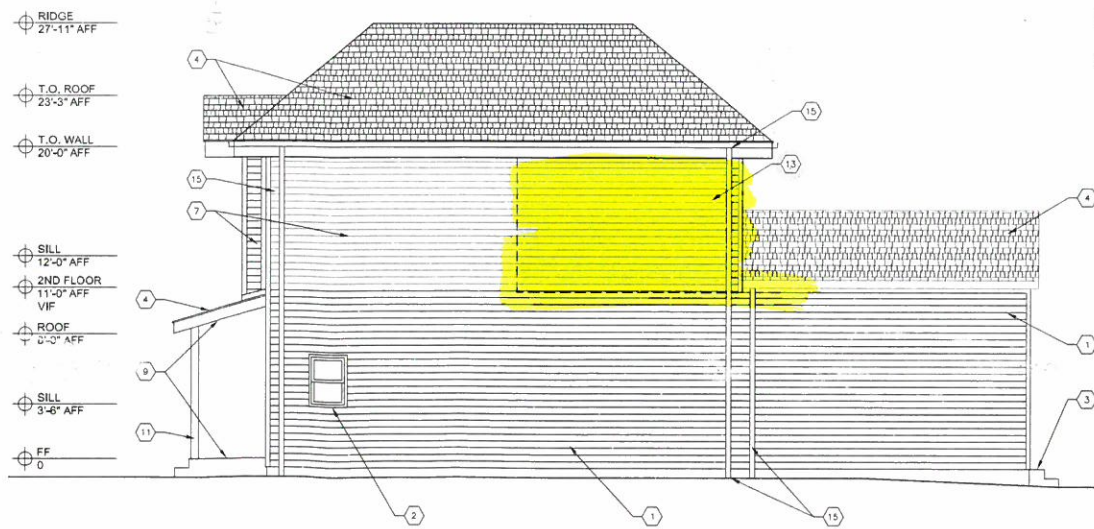
**1 SOUTH ELEVATION - MULBERRY ST**  
SCALE: 3/16" = 1'-0"



**2 EAST ELEVATION - TEXAS AVE**  
SCALE: 3/16" = 1'-0"



**3 NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"



**4 WEST ELEVATION**  
SCALE: 3/16" = 1'-0"

RECEIVED  
JAN 16 2020  
PLANNING &  
DESIGN SERVICES

19-VARIANCE0078