

**20-WAIVER-0010**

**4900 Cooper Chapel Road**



**Development Review Committee**

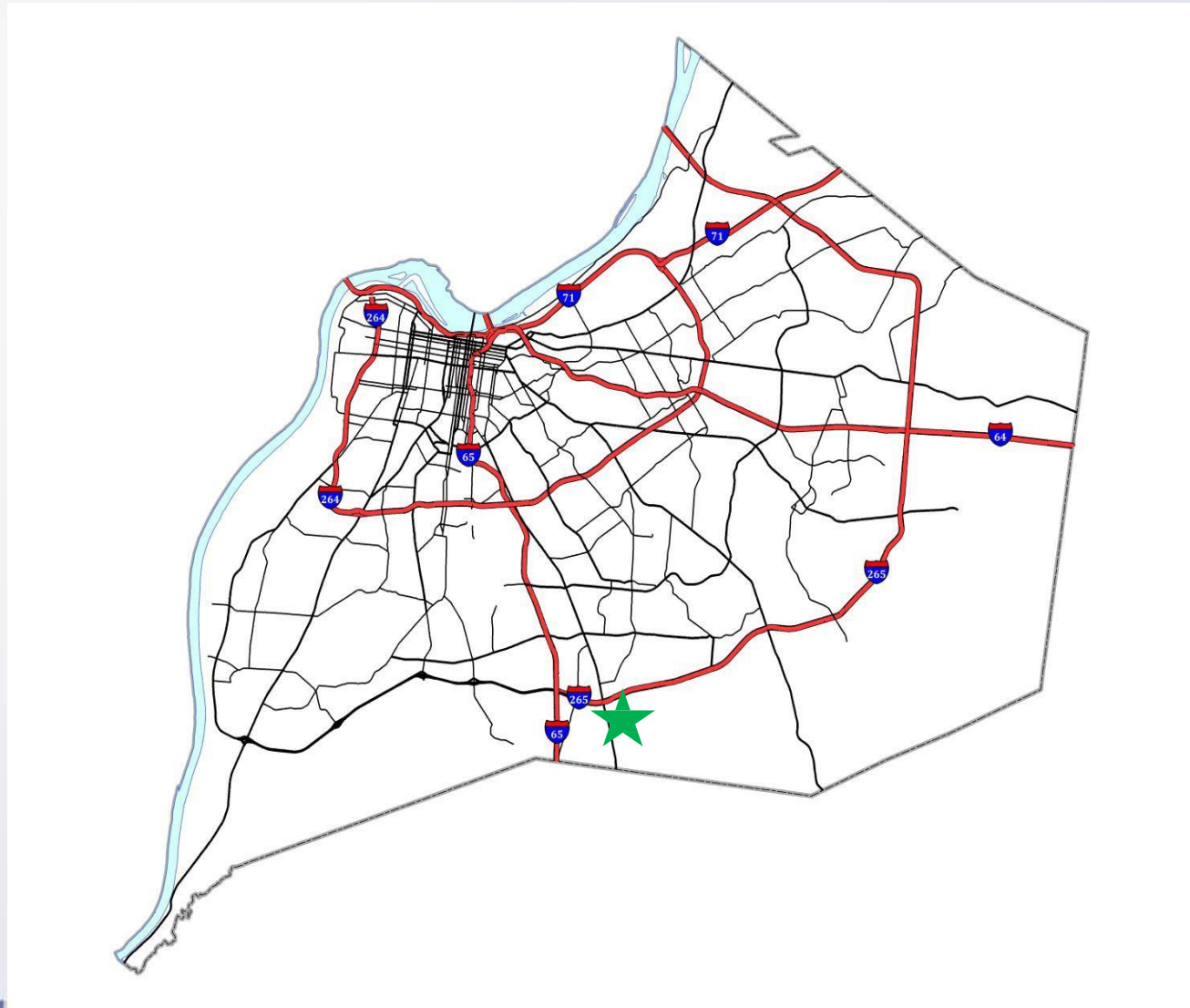
**Beth Jones, AICP, Planner II**

**February 19, 2020**

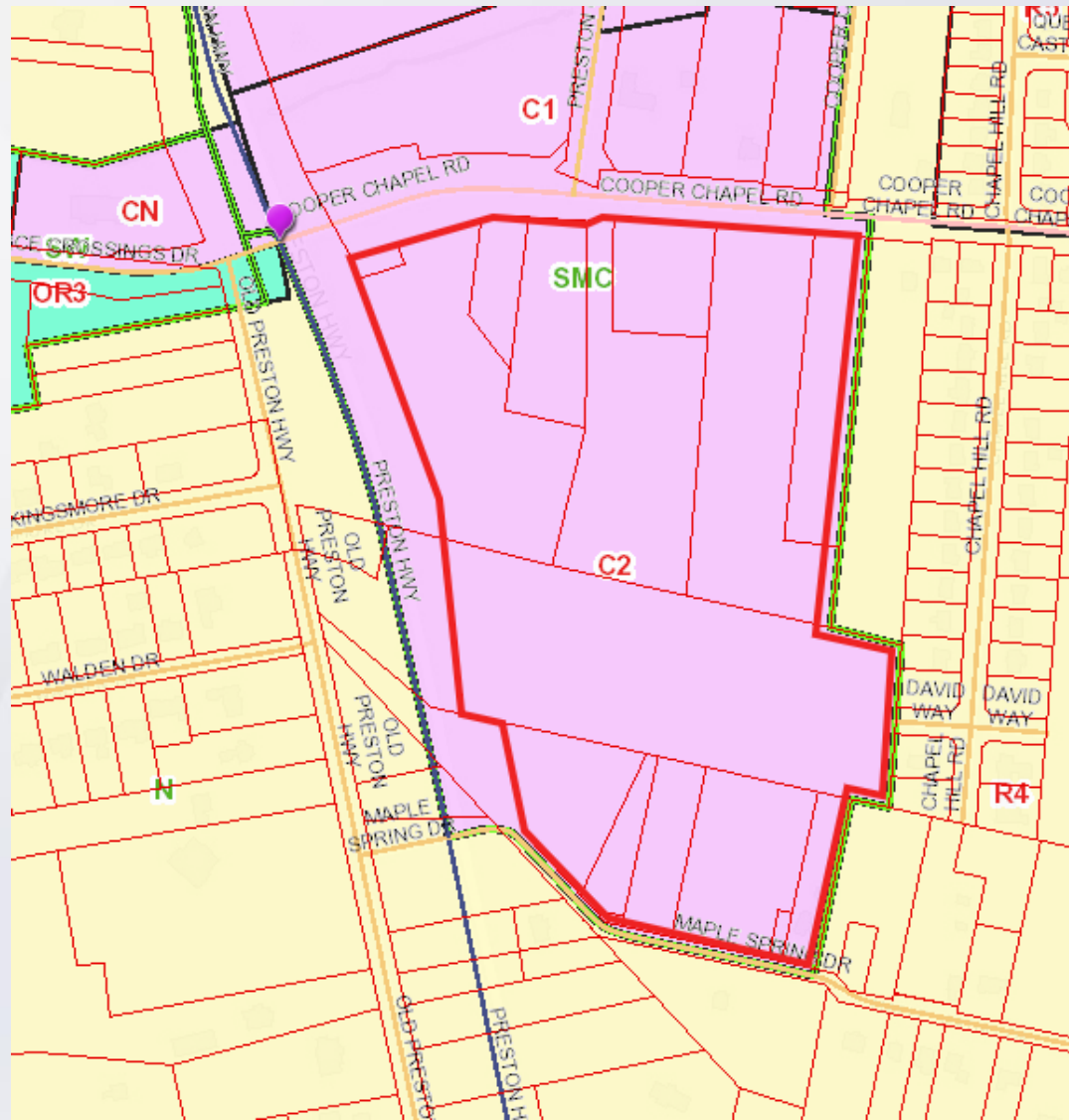
# Request

- **WAIVER** to allow more than three attached signs on the façade of a commercial structure (LDC Table 8.3.2. Suburban Marketplace Corridor)

# Site Location



# Zoning/Form District





# Aerial View



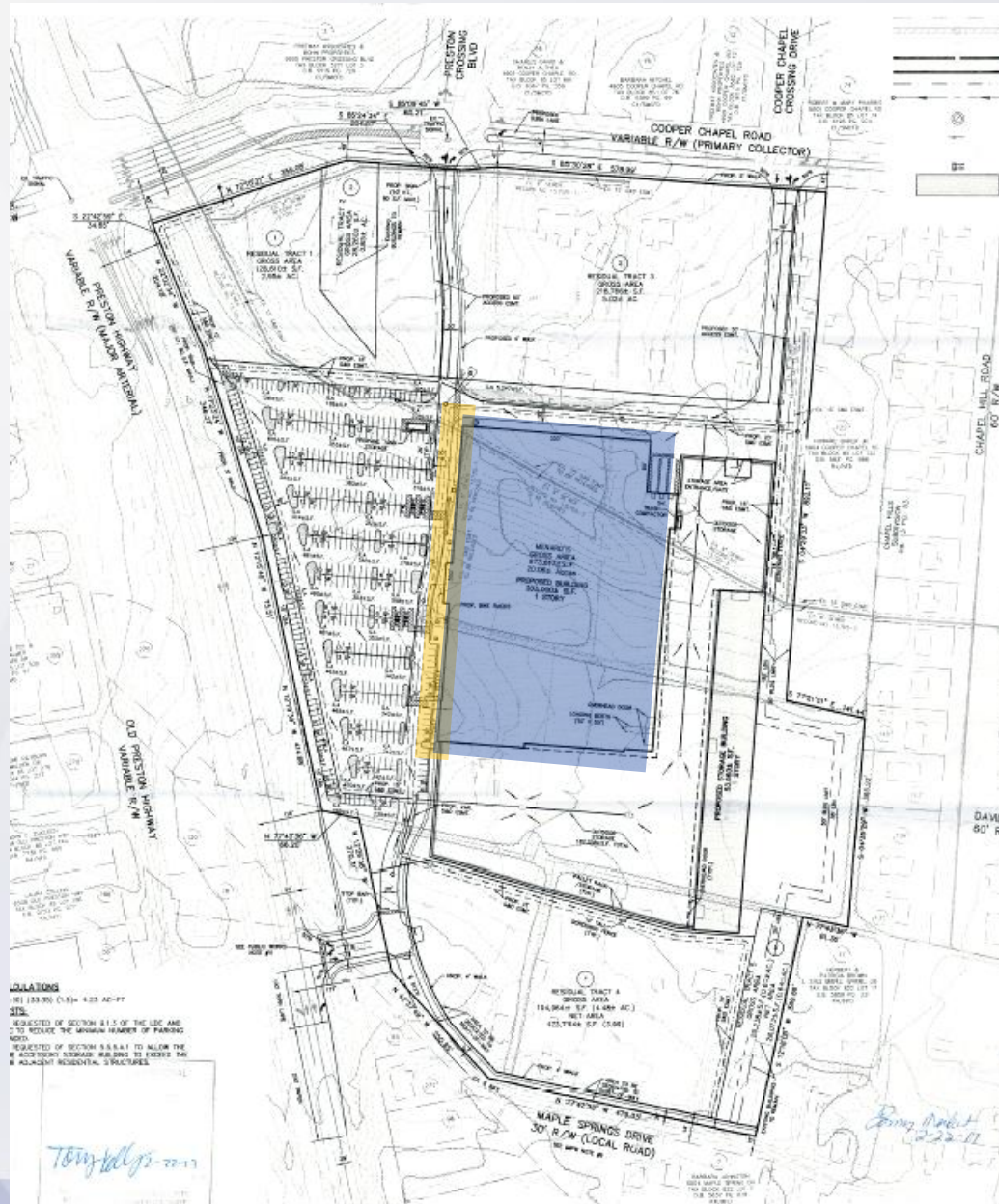
# Case Summary

Attached Signs Suburban Marketplace Corridor Form District	Permitted	Proposed
Total Area	500 sq ft	494 sq ft
Number	3 per facade	13 per facade

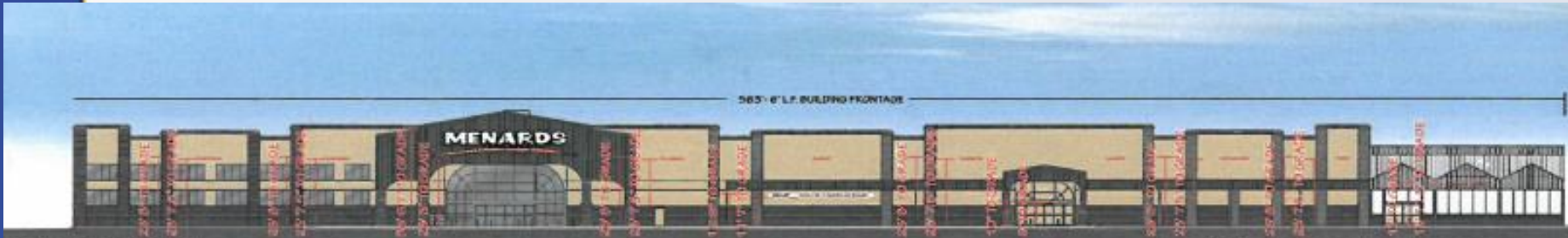
- Site located at southeast corner of Cooper Chapel and Preston Highway
- Applicant proposes 13 attached signs on front façade; proposal exceeds permitted quantity but meets maximum total area
- Single-family residences on all sides
  - Nearest is +/- 600 ft to south
  - Facing the store façade are +/- 800 ft away
  - To east are at rear of store and not affected



# Site Plan



# Façade Rendering



NIGHT VIEW CONCEPTUAL  
SCALE: NTS



GATE CANOPY SIGNS DAY  
SCALE: 1/32" = 1'



NIGHT  
SCALE: 3/16" = 1'

THANK YOU FOR SHOPPING ONLINE

## FRONT ELEVATION WALL SIGNS SIZING

### CHANNEL LETTERS & LOGOS

SCALE: 3/32" = 1'



**D CARPET**  
CARPET: 12.5' x 81.7' 104.2 FT

**E APPLIANCES**  
APPLIANCES: 12.5' x 128.2' 111.90 FT

**F ELECTRICAL**  
ELECTRICAL: 12.5' x 123.7' 107.90 FT

**G LUMBER**  
LUMBER: 12.5' x 84.6' 73.50 FT

**H CABINETS**  
CABINETS: 12.5' x 106.2' 95.90 FT

**I PLUMBING**  
PLUMBING: 12.5' x 105.6' 110.40 FT

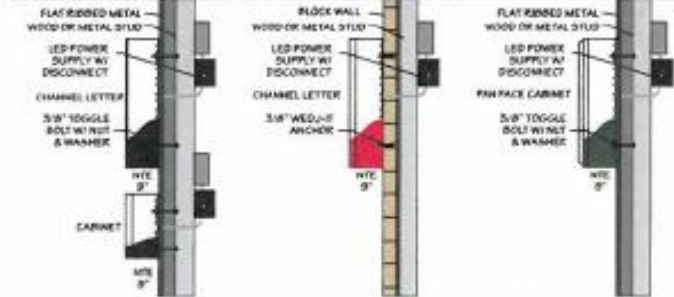
**J PAINT**  
PAINT: 12.5' x 58.5' 50.84 FT

**K HARDWARE**  
HARDWARE: 12.5' x 117' 101.90 FT

**L GARDEN CENTER**  
GARDEN CENTER: 12.5' x 163.6' 95.340 FT

**M OUT**  
OUT: 12" x 43' 3.5910 FT

### INSTALL METHOD



### GATE CANOPY SIGNS SIZING

SIGN CABINETS: Fan face  
SCALE: 3/16" = 1'

THANK YOU FOR SHOPPING ONLINE

THANK YOU FOR SHOPPING  
24" x 64"  
10.8190 FT



# Site Photo



# Site Photo



# Site Photo





# Site Photo



From Intersection South along Preston Hwy

# Staff Findings

- Staff supports waiver request
  - Site is surrounded by single-family residential on the north, south and west, but at a significant distance from front facade; residential on east is behind subject building
  - Request meets overall area requirements
  - Request is proportionate with scale of façade

# Required Action

## APPROVE or DENY

- **WAIVER** to allow more than three attached signs on the façade of a commercial structure (LDC Table 8.3.2. Suburban Marketplace Corridor)