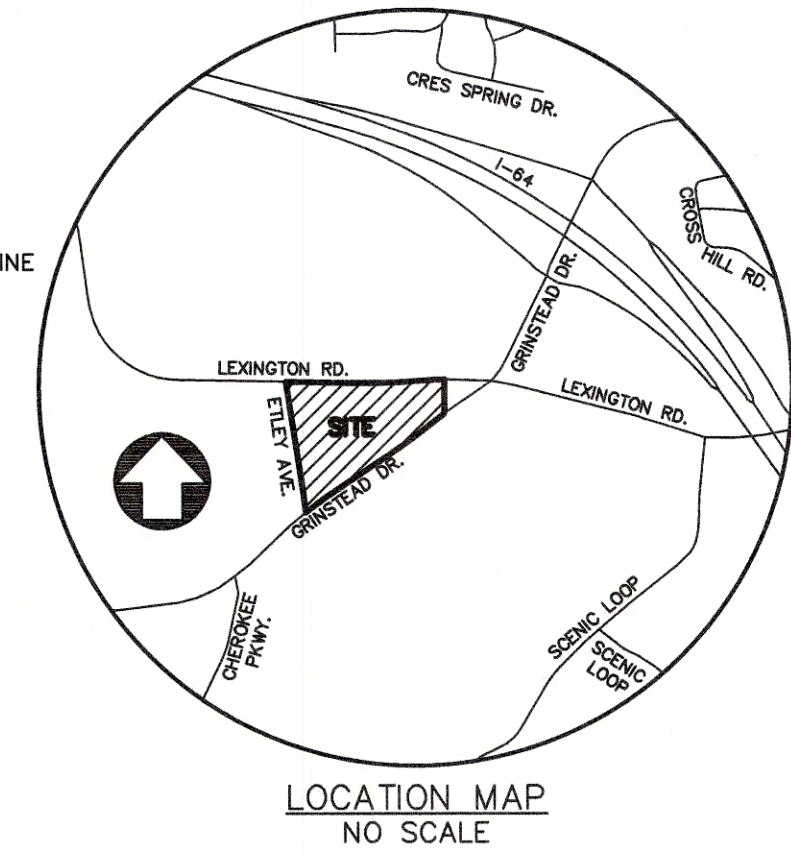


- LEGEND**
- EXISTING FIRE HYDRANT
 - EXISTING UTILITY POLE
 - EXISTING OVERHEAD ELECTRIC LINE
 - EXISTING SANITARY
 - EXISTING STORM
 - EXISTING WATER MANHOLE
 - EXISTING TELEPHONE MANHOLE
 - EXISTING LIGHT POLE
 - EXISTING WATER VALVE
 - EXISTING WATER STRUCTURE
 - EXISTING GAS STRUCTURE
 - EXISTING ELECTRIC STRUCTURE
 - EXISTING TARC STOP



SITE DATA:

GROSS SITE AREA 3.52 AC.
 NET SITE AREA 3.33 AC.
 FORM DISTRICT TNFD
 EXISTING ZONING C2
 PROPOSED ZONING PD
 EXISTING LAND USE COMMERCIAL/RETAIL
 PROPOSED LAND USE MULTI-FAMILY, RETAIL, HOTEL, OFFICE

BUILDING HEIGHT 18 STORIES
 TOTAL PARKING SPACES PROVIDED 1,202 SPACES
 (INCLUDES 24 ADA SPACES, INCLUDING 6 VAN SPACES)

*SEE PATTERN BOOK FOR FLOOR AREA RATIO, BUILDING AREA & DENSITY CALCULATIONS.

IMPERVIOUS AREA:

NET SITE AREA 145,219± S.F.
 EXISTING IMPERVIOUS AREA 132,824± S.F. (91%)
 PROPOSED IMPERVIOUS AREA* 109,275± S.F. (75%)
 *IN CONSIDERATION OF ROOF GARDENS

TREE CANOPY DATA

GROSS SITE AREA 153,465 S.F.
 TREE CANOPY CATEGORY CLASS C
 EXISTING TREE CANOPY* 6,106± S.F. (4%)
 TREE CANOPY TO BE PRESERVED 0± S.F. (0%)
 TOTAL TREE CANOPY REQUIRED/PROVIDED 30,693 S.F. (20%)

*TREE CANOPY AREAS DEPICTED HEREON ARE FROM AERIAL IMAGERY.

BUILDING USE DATA

USE	FLOORS	PODIUM UNITS/AREA	POTENTIAL OPTION 1 MID-RISE HOTEL	POTENTIAL OPTION 2 MID-RISE RESIDENTIAL	POTENTIAL OPTION 3 MID-RISE OFFICE	POTENTIAL OPTION 4 MID-RISE HYBRID
APARTMENTS/CONDOS	2-12	421 UNITS	-	-	-	-
RESTAURANT/CAFE	1-6	14,184 S.F.	-	-	-	-
GROCERY/RETAIL	1	41,279 S.F.	-	-	-	-
HOTEL	2-18	-	250 ROOMS	-	-	60 ROOMS
APARTMENTS/CONDOS	2-18	-	-	182 UNITS	-	38 UNITS
OFFICE	2-18	-	-	-	149,400 S.F.	87,001 S.F.
PARKING	1-6	1,202 SPACES	-	-	-	-

*PARKING TABLE DOES NOT ACCOUNT FOR 24 SHORT-TERM BICYCLE SPACES OR ON-STREET PARKING.

MSD NOTES:

- WASTEWATER: SANITARY SEWER WILL CONNECT TO THE MORRIS FOREMAN WASTEWATER TREATMENT PLANT BY LATERAL EXTENSION AGREEMENT, SUBJECT TO FEES. SANITARY SEWER CAPACITY TO BE APPROVED BY METROPOLITAN SEWER DISTRICT.
- IN LIEU OF ON-SITE DETENTION OR REGIONAL FACILITY FEES, THE DEVELOPER SHALL FINANCE AND CONSTRUCT A STORM WATER OUTFALL ACROSS LEXINGTON ROAD TO BEARGRASS AVENUE. (TO BE COORDINATED WITH MSD.) IF THE OUTFALL CANNOT BE CONSTRUCTED ALL MSD DESIGN REQUIREMENTS AND SPECIFICATION WILL APPLY.
- EROSION AND SILT CONTROL: A SOIL AND SEDIMENTATION CONTROL PLAN SHALL BE DEVELOPED AND IMPLEMENTED IN ACCORDANCE WITH MSD AND THE USDA NATURAL RESOURCES CONSERVATION SERVICE RECOMMENDATIONS. DOCUMENTATION OF MSD'S APPROVAL OF THE PLAN SHALL BE SUBMITTED TO THE PLANNING COMMISSION PRIOR TO GRADING AND CONSTRUCTION ACTIVITIES.
- NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN A FLOOD HAZARD AREA PER FEMA'S FIRM MAPPING (21111C0043E).
- THE FINAL DESIGN OF THIS PROJECT MUST MEET ALL MS4 WATER QUALITY REGULATIONS ESTABLISHED BY MSD. SITE LAYOUT MAY CHANGE AT DESIGN PHASE DUE TO PROPER SIZING OF BEST MANAGEMENT PRACTICES.
- ALL RETAIL SHOPS MUST HAVE INDIVIDUAL CONNECTIONS PER MSD'S FATS, OIL AND GREASE POLICY.

PUBLIC WORKS AND KTC NOTES:

- COMPATIBLE UTILITY LINES (ELECTRIC, PHONE, CABLE) SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPROPRIATE AGENCIES.
- STREET TREES SHALL BE PLANTED IN A MANNER THAT DOES NOT AFFECT PUBLIC SAFETY AND MAINTAINS PROPER SITE DISTANCE. FINAL LOCATION WILL BE DETERMINED DURING CONSTRUCTION APPROVAL PROCESS.
- AN ENCROACHMENT PERMIT AND BOND MAY BE REQUIRED BY METRO PUBLIC WORKS FOR ROADWAY REPAIRS ON ALL SURROUNDING ACCESS ROADS TO THE SITE DUE TO DAMAGES CAUSED BY CONSTRUCTION TRAFFIC ACTIVITIES. THE DEVELOPER IS RESPONSIBLE FOR ANY UTILITY RELOCATION ON THE PROPERTY.
- ALL SIDEWALK RAMP SHALL CONFORM TO A.D.A. STANDARD SPECIFICATION, THE "SPECIAL NOTE FOR DETECTABLE WARNING FOR SIDEWALK RAMP" PER KTC STANDARD DRAWING FOR SIDEWALKS AND PER "KENTUCKY STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," LATEST EDITION.
- THERE SHOULD BE NO INCREASE IN DRAINAGE RUNOFF TO THE RIGHT-OF-WAY. CALCULATIONS WILL BE REQUIRED FOR ANY RUNOFF TO THE STATE RIGHT-OF-WAY.
- THERE SHOULD BE NO LANDSCAPING IN THE RIGHT-OF-WAY WITHOUT AN ENCROACHMENT PERMIT.
- SITE LIGHTING SHOULD NOT SHINE IN THE EYES OF DRIVERS. IF IT DOES, IT SHOULD BE RE-AIMED, SHIELDED OR TURNED OFF.
- METRO WORKS BOND AND ENCROACHMENT PERMIT WILL BE REQUIRED FOR ALL WORK DONE WITHIN THE PUBLIC RIGHT-OF-WAY.
- ALL DRIVE LANES & PARKING AREAS TO BE OF A HARD & DURABLE SURFACE.

STORMWATER POLLUTION PREVENTION PLAN NOTE:

THE APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATION TO THE APPROVED SWPPP PLAN MUST BE REVIEWED AND APPROVED BY MSD. SWPPP BMP'S (BEST MANAGEMENT PRACTICES) SHALL BE INSTALLED PER THE PLAN AND MSD STANDARDS.

DETONATION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PERFORM AS SEDIMENT BASINS DURING CONSTRUCTION UNTIL THE CONTRIBUTING DRAINAGE AREAS ARE SEEDED AND STABILIZED.

ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.

SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES, AND CATCH BASINS. STOCKPILES SHALL BE SEED, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE.

ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING STRUCTURES PER MSD STANDARD DRAWING ER-02-03.

SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICES PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE OR CATCH BASIN.

WHERE CONSTRUCTION OR LAND DISTURBING ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 DAYS AFTER THE ACTIVITY HAS CEASED.

GENERAL NOTES:

- DOMESTIC WATER SUPPLY: SUBJECT SITE CAN BE SERVED BY THE LOUISVILLE WATER COMPANY. THE NECESSARY WATER SYSTEM IMPROVEMENTS REQUIRED TO SERVICE THE DEVELOPMENT SHALL BE AT THE OWNER/DEVELOPER'S EXPENSE.
- TREE PRESERVATION: A TREE PRESERVATION PLAN SHALL BE PROVIDED TO THE PLANNING COMMISSION'S STAFF LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES ON THE SITE.
- PROTECTION OF TREES TO BE PRESERVED: CONSTRUCTION FENCING SHALL BE ERECTED PRIOR TO ANY GRADING OR CONSTRUCTION ACTIVITIES—PREVENTING COMPACTION OF ROOT SYSTEMS OF TREES TO BE PRESERVED. THE FENCING SHALL ENCLOSE THE AREA BENEATH THE DRIP LINE OF THE TREE CANOPY AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE. NO PARKING, MATERIAL STORAGE OR CONSTRUCTION ACTIVITIES SHALL BE PERMITTED WITHIN THE FENCED AREA.
- A LANDSCAPE AND TREE CANOPY PLAN PER CHAPTER 10 OF THE LDC SHALL BE PROVIDED AS REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.
- THE DEVELOPMENT LIES IN THE LOUISVILLE #4 FIRE DISTRICT.
- ALL LUMINAIRES SHALL BE AIMED, DIRECTED OR FOCUSED SUCH AS TO NOT CAUSE DIRECT LIGHT FROM THE LUMINAIRE TO BE DIRECTED TOWARDS RESIDENTIAL USES OR PROJECTED OPEN SPACES (IE. CONSERVATION EASEMENTS, GREENWAYS OR PARKWAYS) ON ADJACENT OR NEARBY PARCELS, OR TO CREATE GLARE PERCEPTIBLE ON PUBLIC STREETS AND RIGHT-OF-WAYS PER CHAPTER 4.1.3. OF THE LDC.
- ALL DUMPSTER PADS, TRANSFORMERS, AC UNITS, GENERATOR PADS TO BE SCREENED PER CHAPTER 10 OF THE LDC.
- BUILDING ARCHITECTURE TO COMPLY WITH PATTERN BOOK.
- MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE EMISSIONS REACHING EXISTING ROADS AND NEIGHBORHOODS.
- ALL EXISTING STRUCTURES AND EXISTING ENTRANCES SHALL BE REMOVED, EXCEPT AS NOTED ON THE PLAN.
- IN ACCORDANCE WITH CHAPTER 4.9 OF THE LDC, A KARST SURVEY WAS PERFORMED BY MARK A. SITES ON 11/1/17 AND NO KARST TOPOGRAPHY WAS FOUND. A REVIEW OF PUBLISHED GEOLOGIC INFORMATION FROM THE KY GEOLOGICAL SURVEY CONTAINED NO INDICATION OF SINKHOLES ON THE SUBJECT PROPERTY.
- CONSTRUCTION PLANS AND DOCUMENTS SHALL COMPLY WITH LOUISVILLE AND JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT'S DESIGN MANUAL AND STANDARD SPECIFICATIONS AND OTHER LOCAL, STATE, AND FEDERAL ORDINANCES.

PRELIMINARY APPROVAL

Condition of Approval:

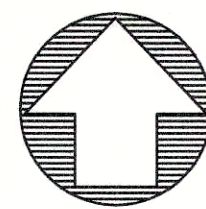
Development Review Date

LOUISVILLE & JEFFERSON COUNTY METROPOLITAN SEWER DISTRICT

PRELIMINARY APPROVAL DEVELOPMENT PLAN

CONDITIONS:

BY: *Quinn Lippel*
 DATE: 5/12/19
 LOUISVILLE/JEFFERSON COUNTY METRO PUBLIC WORKS



GRAPHIC SCALE 1"=40'

0 10 20 40 80

CASE # 16ZONE1044
 MSD WM # 11453

MINDEL SCOTT
 ENGINEERING & ARCHITECTURE
 3151 Jefferson Blvd. Louisville, KY 40219
 502-485-1508 | MindelScott.com

OWNER/DEVELOPER
 JDG TRIANGLE PARTNERS, LLC.
 320 WHITTINGTON PARKWAY SUITE 304
 LOUISVILLE, KY. 40222

DETAILED DISTRICT DEVELOPMENT PLAN & CONCEPT
ONE PARK - REZONING
 2294, 2300, 2338 & 2340 LEXINGTON ROAD
 2501, 2503, 2509, 2511 & 2515 GRINSTEAD DRIVE,
 LOUISVILLE, KY. 40206
 T.B.: 74A LOTS: 1, 2, 3, 4, 6, 10, 11, 12, 14 & 15
 D.B.: 10330 PG. 393, 396, 404, 406 & 411
 D.B.: 10273 PG. 252, D.B.: 10394 PG. 728,
 D.B.: 10458 PG. 397, D.B.: 10827 PG. 914

Revisions:
 5/20/19 PLAN & BUILDING UPDATES
 6/27/19 AGENCY COMMENTS
 7/15/19 AGENCY COMMENTS
 8/29/19 AGENCY COMMENTS

Vertical Scale: N/A
 Horizontal Scale: 1"=40'
 Date: 5/20/19
 Job Number: 3351
 Sheet
 1 of 1