

Louisville Metro Development Review Committee Meeting – March 28, 2018

Louisville Metro Board of Zoning Adjustment – April 2, 2018

Hurstbourne City Council Meeting – January 23, 2018

DOCKET NO. 17DEVPLAN1127

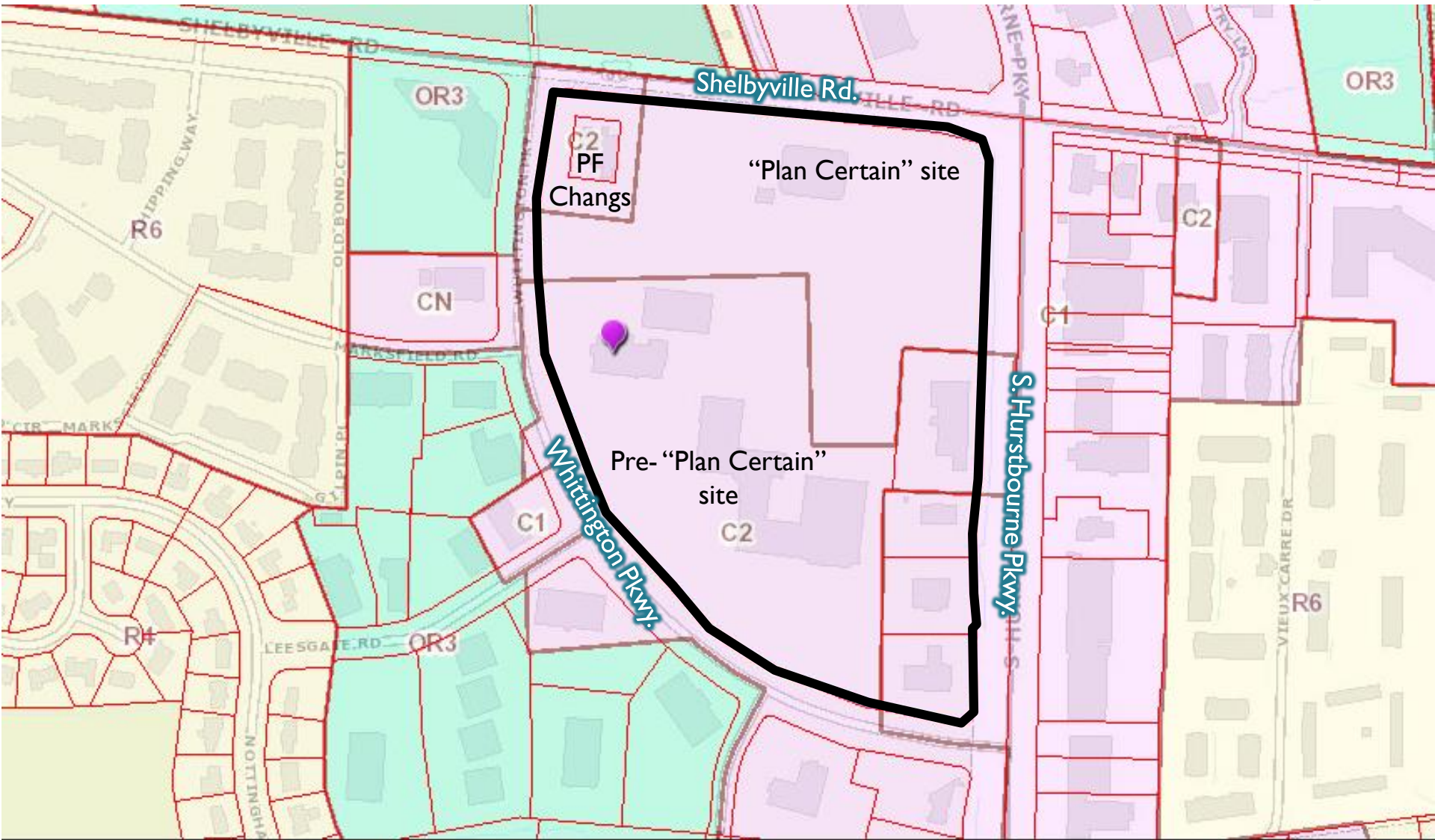
Updated RDDDP and Category 3 plan to include 2 restaurants, retail building and hotel plus apartments in place of the prior proposed grocery store plan previously submitted for 101 Whittington Pkwy and 9102 Shelbyville Rd.

VIKING PARTNERS HURSTBOURNE, LLC

in association with Hills Communities

Attorneys: Bardenwerper, Talbott & Roberts, PLLC

Land Planner, Landscape Architects And Engineers: Land Design & Development, Inc.





Search Addresses



SHELBYVILLE RD

60

Shelbyville Rd.

KY S Hurstbourne Pkwy.

Whittington Pkwy.



OSBURY PL

TERBOROUGH DR

FIELD PL

CHANCEY CT

OLD BOND CT

CHIPPING WAY

MARKSFIELD RD

MARKSFIELD CIR

GILPIN PL

NEEGATE RD

WESSEX PL

NOTTINGHAM

EDEN AVE

N HURSTBOURNE PKY

LONGWOOD CIR

DAVENTRY LN

WILDWOOD GT

WILDWOOD LN

TANGLEWOOD TRL

ROUNDSTONE TR

VLEUX CARRE DR



9373 Shelbyville Rd
Hurstbourne, Kentucky
Google, Inc.
Street View - Oct 2017



Google



Entrance to Whittington Pky from Shelbyville Road



Whittington Pkwy
Hurstbourne, Kentucky

Google, Inc.

Street View - Oct 2017

Z's Oyster Bar

Google

Image capture: Oct 2017 © 2018 Google United States Terms Report a problem

Entrance from Whittington Pkwy into development



Existing buildings to remain. View from interior access looking east.



Google, Inc. Street View - Dec 2016



P.F. Chang's 101 W
G
Silpin Pl
ky

Navigation controls: a compass, zoom in (+) and zoom out (-) buttons, and left/right arrow buttons.

View from interior access at rear of existing vacant Value Mart building, where proposed apartments will be located.



View of vacant Value Market building from interior access road, where proposed apartments will be located.



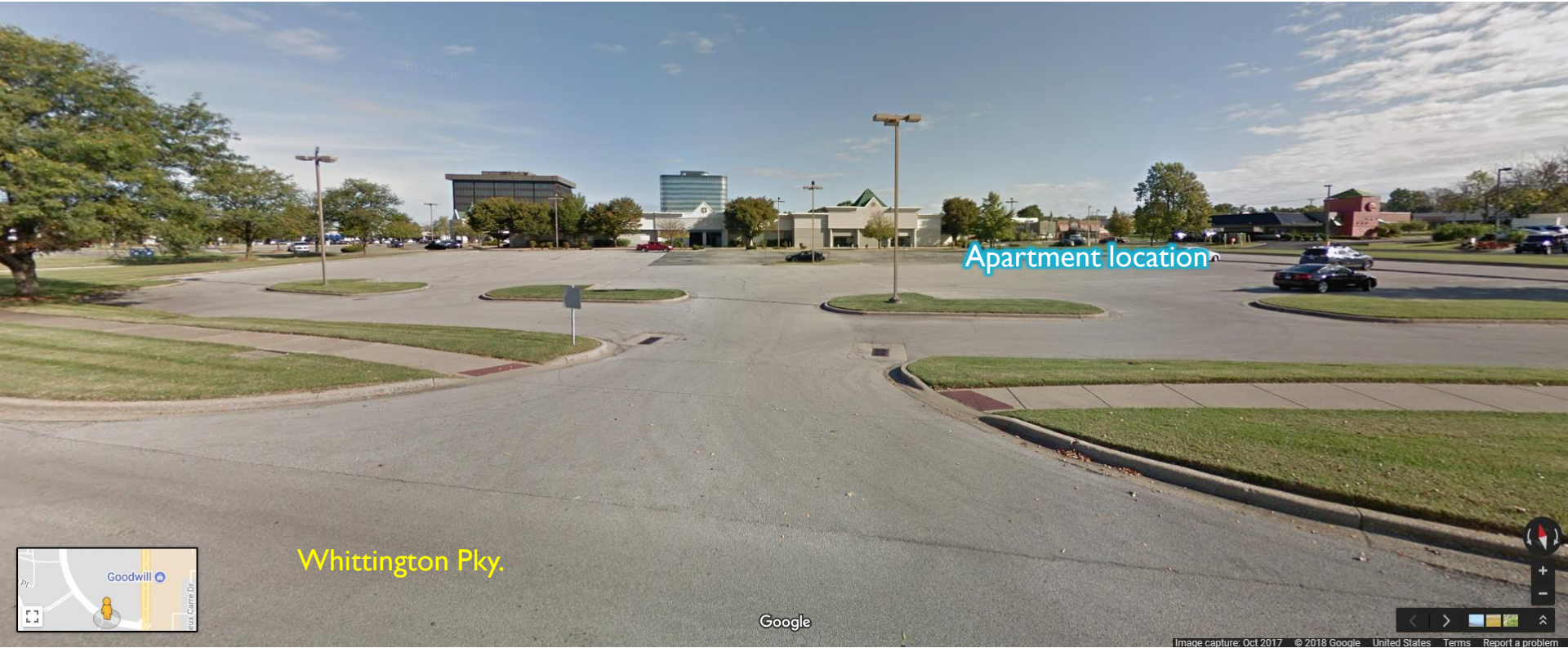
Whittington Pkwy
Hurstbourne, Kentucky

Google, Inc.

Street View - Oct 2017



Looking north from Whittington Pkwy at proposed apartment site.



Apartment location

Whittington Pky.



Google

Image capture: Oct 2017 © 2018 Google United States Terms Report a problem

Looking north from Whittington Pky at proposed apartment site.



Whittington Pkwy
Hurstbourne, Kentucky
Google, Inc.
Street View - Oct 2017

Hotel location

Whittington Pky.

Google

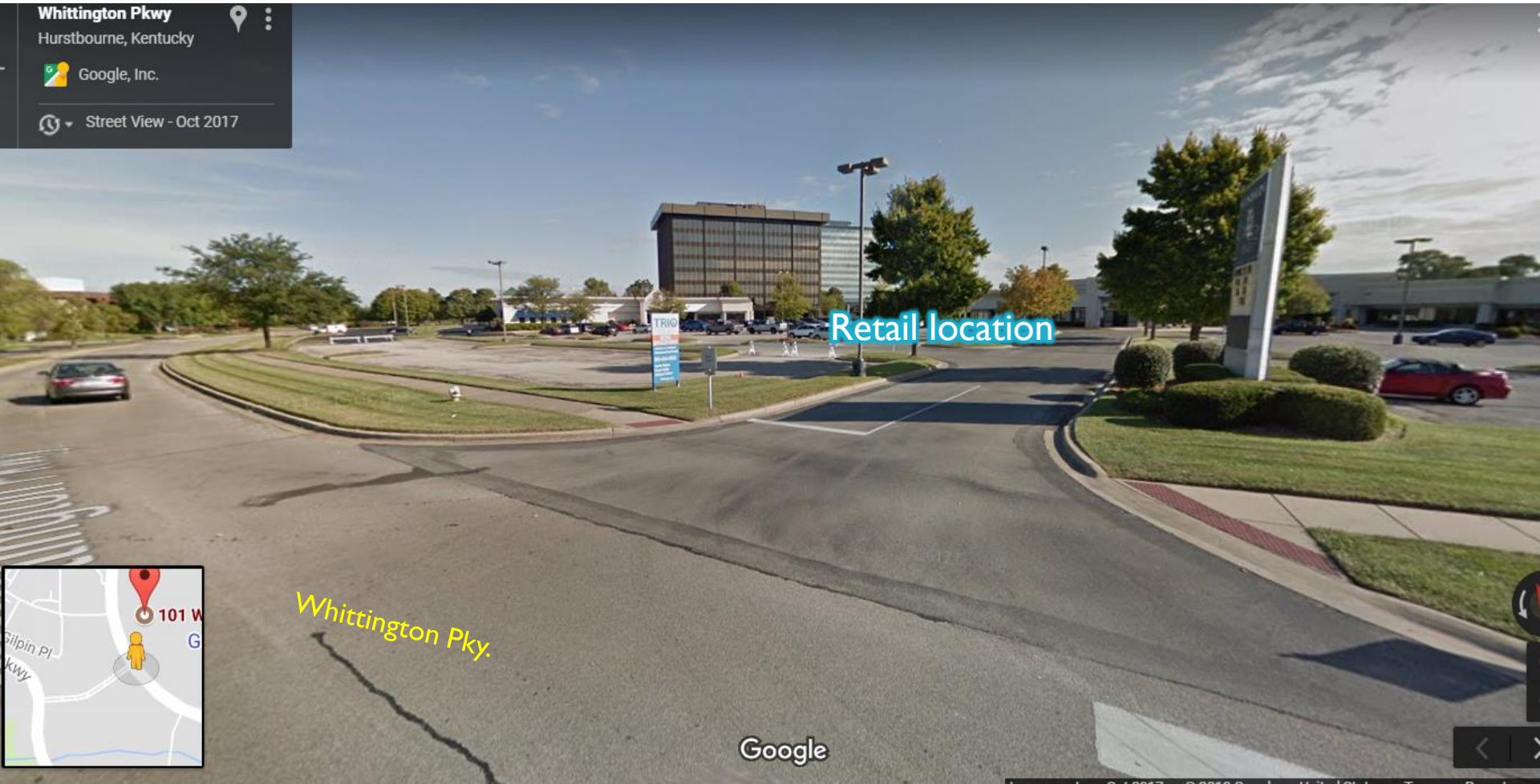
Looking east from Whittington Pky at proposed hotel site.



Whittington Pkwy
Hurstbourne, Kentucky

Google, Inc.

Street View - Oct 2017



Looking northeast from Whittington Pky at proposed retail site.



View of site, where proposed restaurants are located, from Hurstbourne Parkway, near Shelbyville Road intersection.



View of site, where proposed restaurant is located, from Hurstbourne Parkway



GRAPHIC SCALE



Current proposed plan

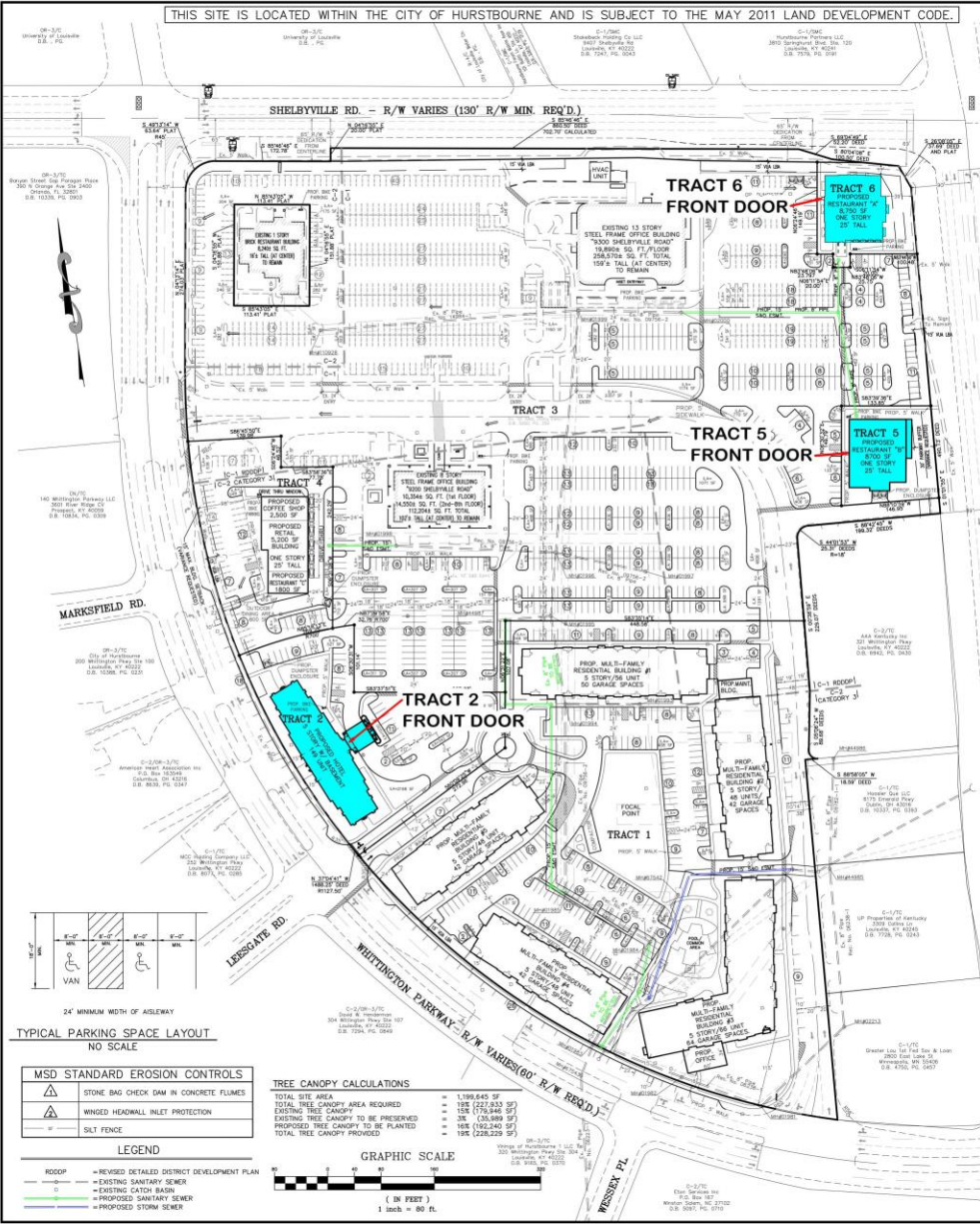


Current proposed plan



Curb-cuts into development

THIS SITE IS LOCATED WITHIN THE CITY OF HURSTBOURNE AND IS SUBJECT TO THE MAY 2011 LAND DEVELOPMENT CODE.



S. HURSTBOURNE PARKWAY - R/W VARIES (60' R/W MIN. REQ'D.)

VARIANCES REQUESTED:

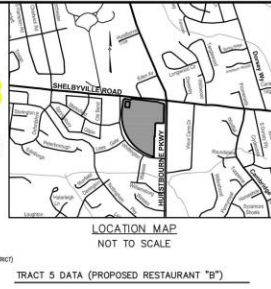
- TRACT 2: A Variance is requested from Section 5.2.4.C.3.a of the Louisville Metro Land Development Code to vary the Whittington Parkway 10 ft. equipment building setback on driveway.
- TRACT 4: A Variance is requested from Section 5.5.1.A.2 of the Louisville Metro Land Development Code to permit the proposed building to be built not within the Hurstbourne Parkway Buffer Area 30 ft. building setback.
- TRACT 5: A Variance is requested from Section 5.5.1.A.1.a of the Louisville Metro Land Development Code to waive the design standard to have the principal building entrance facing the primary street or to a focal point in a public open space.
- TRACT 6: A Variance is requested from Section 5.5.1.A.2 of the Louisville Metro Land Development Code to permit the proposed building to be built not within the Hurstbourne Parkway Buffer Area 30 ft. building setback.

WAIVERS REQUESTED:

- TRACT 2: A Waiver is requested from Section 5.5.1.A.1.a of the Louisville Metro Land Development Code to waive the design standard to have the principal building entrance facing the primary street or to a focal point in a public open space.
- TRACT 3: A Waiver is requested from Section 10.3.5.A.1 & 10.2.10 of the Louisville Metro Land Development Code to allow the encroachment of the parking into the Hurstbourne Parkway 30' Parkway Buffer Area and 15' Landscape Buffer Area.
- TRACT 4, 5 & 6: A Waiver is requested from Section 5.5.1.A.3.a of the Louisville Metro Land Development Code to permit the parking lots to be located in front of the building (TRACT 4) and closer to the Hurstbourne Parkway right of way than the principal building (TRACTS 5&6).
- TRACT 3: Waivers are requested from Section 5.5.1.A.3.a of the Louisville Metro Land Development Code to waive the masonry wall between the side parking and Hurstbourne Parkway.

PROJECT DATA

TOTAL SITE AREA	= 27.78 AC. (1,200,674 SF)
TRACT 1 AREA	= 0.28 AC. (120,488 SF)
TRACT 2 AREA	= 1.84 AC. (77,422 SF)
TRACT 3 AREA	= 1.36 AC. (57,738 SF)
TRACT 4 AREA	= 0.56 AC. (24,109 SF)
TRACT 5 AREA	= 0.56 AC. (24,109 SF)
TRACT 6 AREA	= 0.56 AC. (24,109 SF)
EXISTING ZONING	= C-1 A, C-2
FORM DISTRICT	= TOUR CENTER (TRADITIONAL FORM DISTRICT)
COMMERCIAL	= COMMERCIAL, RESIDENTIAL
MULTI-FAMILY RESIDENTIAL	



WAIVERS REQUESTED:

- (TRACTS 2,5&6) A Waiver is requested from Section 5.5.1.A.1.a of the Louisville Metro Land Development Code to waive the design standard to have the principal building entrance facing the primary street or to a focal point in a public open space.
- (TRACT 3) A Waiver is requested from Section 10.3.5.A.1 & 10.2.10 of The Louisville Metro Land Development Code to allow the encroachment of the parking into the Hurstbourne Parkway 30' Parkway Buffer Area and 15' Landscape Buffer Area.
- (TRACTS 4,5&6) A Waiver is requested from Section 5.5.1.A.3.a of the Louisville Metro Land Development Code to permit the parking lots to be located in front of the building (TRACT 4) and closer to the Hurstbourne Parkway right of way than the principal building (TRACTS 5&6).
- (TRACT 3) Waivers are requested from Section 5.5.1.A.3.a of the Louisville Metro Land Development Code to waive the masonry wall between the side parking and Hurstbourne Parkway.

STAIRWAYS

1.0 SF/ROOM (149 ROOMS)	= 124.5 SF
OFFICE	= 1.57/100 SF MIN. (273,734 SF)
PROPOSED P.W. INDICATION AREA	= 0.33 AC. (14,400 SF)
TRACT 2 NET SITE AREA	= 0.56 AC. (24,109 SF)
EXISTING ZONING	= C-1 A, C-2
EXISTING USE	= COMMERCIAL
PROPOSED USE	= OFFICE / RESTAURANT
F.A.S.:	14.56SF/34,459 SF
BUILDING HEIGHT	= 10.0 FT. (3.0 M MAX. ALLOWED)
EXISTING OFFICE AREA	= 112,224 SF
EXISTING 1 STORY OFFICE BUILDING	= 112,224 SF
EXISTING RESTAURANT AREA	= 8,436 SF
EXISTING BUILDING AREA	= 120,660 SF
TRACT 4 DATA (PROPOSED RETAIL/RESTAURANT/COFFEE SHOP)	
PROPOSED RESTAURANT "A" AREA	= 1,800 SF
PROPOSED OUTDOOR DINING AREA	= 900 SF
PROPOSED COFFEE SHOP	= 2,500 SF
PROPOSED BUILDING AREA	= 5,200 SF
EXISTING ZONING	= C-1 A, C-2
FORM DISTRICT	= TOUR CENTER
EXISTING USE	= COMMERCIAL
PROPOSED USE	= COMMERCIAL
F.A.S.:	14.56SF/34,459 SF
BUILDING HEIGHT	= 10.0 FT. (3.0 M MAX. ALLOWED)
PROPOSED RESTAURANT "C" AREA	= 1,800 SF
PROPOSED OUTDOOR DINING AREA	= 900 SF
PROPOSED COFFEE SHOP	= 2,500 SF
PROPOSED BUILDING AREA	= 5,200 SF
EXISTING ZONING	= C-1 A, C-2
FORM DISTRICT	= TOUR CENTER
EXISTING USE	= COMMERCIAL
PROPOSED USE	= COMMERCIAL
F.A.S.:	14.56SF/34,459 SF
BUILDING HEIGHT	= 10.0 FT. (3.0 M MAX. ALLOWED)
PROPOSED RESTAURANT "B" AREA	= 1,800 SF
PROPOSED OUTDOOR DINING AREA	= 900 SF
PROPOSED COFFEE SHOP	= 2,500 SF
PROPOSED BUILDING AREA	= 5,200 SF
EXISTING ZONING	= C-1 A, C-2
FORM DISTRICT	= TOUR CENTER
EXISTING USE	= COMMERCIAL
PROPOSED USE	= COMMERCIAL
F.A.S.:	14.56SF/34,459 SF

GENERAL NOTES:

- Parking areas and drive lanes to be a hard and durable surface.
- There shall be no concrete top on the right-of-way.
- No increase in drainage runoff to adjacent property.
- There shall be no encroachment on the right-of-way.
- There shall be no encroachment in the right of way without an encroachment permit.
- Existing utility lines, poles, and wires shall be located and marked prior to construction. All utility lines shall be marked with reflective orange paint, and shall be marked with reflective orange paint, and shall be marked with reflective orange paint.
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MSD NOTES:

- Construction and assessments shall comply with Louisville and Jefferson County Metropolitan Sewer District's Design Manual and Standards Specifications and other local, state and federal ordinances.
- Sanitary sewer service will be provided by lateral extension and subject to applicable fees.
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TRACT 5 DATA (PROPOSED RESTAURANT "B")

TOTAL SITE AREA	= 27.78 AC. (1,200,674 SF)
TRACT 1 AREA	= 0.28 AC. (120,488 SF)
TRACT 2 AREA	= 1.84 AC. (77,422 SF)
TRACT 3 AREA	= 1.36 AC. (57,738 SF)
TRACT 4 AREA	= 0.56 AC. (24,109 SF)
TRACT 5 AREA	= 0.56 AC. (24,109 SF)
TRACT 6 AREA	= 0.56 AC. (24,109 SF)
EXISTING ZONING	= C-1 A, C-2
FORM DISTRICT	= TOUR CENTER (TRADITIONAL FORM DISTRICT)
COMMERCIAL	= COMMERCIAL, RESIDENTIAL
MULTI-FAMILY RESIDENTIAL	

TRACT 6 DATA (PROPOSED RESTAURANT "B")

TOTAL SITE AREA	= 27.78 AC. (1,200,674 SF)
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TRACT 3 AREA	= 1.36 AC. (57,738 SF)
TRACT 4 AREA	= 0.56 AC. (24,109 SF)
TRACT 5 AREA	= 0.56 AC. (24,109 SF)
TRACT 6 AREA	= 0.56 AC. (24,109 SF)
EXISTING ZONING	= C-1 A, C-2
FORM DISTRICT	= TOUR CENTER (TRADITIONAL FORM DISTRICT)
COMMERCIAL	= COMMERCIAL, RESIDENTIAL
MULTI-FAMILY RESIDENTIAL	

TRACT 6 DATA (PROPOSED RESTAURANT "B")

TOTAL SITE AREA	= 27.78 AC. (1,200,674 SF)
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TRACT 4 AREA	= 0.56 AC. (24,109 SF)
TRACT 5 AREA	= 0.56 AC. (24,109 SF)
TRACT 6 AREA	= 0.56 AC. (24,109 SF)
EXISTING ZONING	= C-1 A, C-2
FORM DISTRICT	= TOUR CENTER (TRADITIONAL FORM DISTRICT)
COMMERCIAL	= COMMERCIAL, RESIDENTIAL
MULTI-FAMILY RESIDENTIAL	

TRACT 6 DATA (PROPOSED RESTAURANT "B")

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TRACT 4 AREA	= 0.56 AC. (24,109 SF)
TRACT 5 AREA	= 0.56 AC. (24,109 SF)
TRACT 6 AREA	= 0.56 AC. (24,109 SF)
EXISTING ZONING	= C-1 A, C-2
FORM DISTRICT	= TOUR CENTER (TRADITIONAL FORM DISTRICT)
COMMERCIAL	= COMMERCIAL, RESIDENTIAL
MULTI-FAMILY RESIDENTIAL	



MSD STANDARD EROSION CONTROLS

STONE BAG CHECK DAM IN CONCRETE FLAMES	
WINGED HEADWALL INLET PROTECTION	
EXISTING TREE CANOPY TO BE PRESERVED	
PROPOSED TREE CANOPY TO BE PLANTED	
SILT FENCE	

TREE CANOPY CALCULATIONS

TOTAL SITE AREA	= 1,190,640 SF
TOTAL TREE CANOPY AREA REQUIRED	= 108 (221,833 SF)
EXISTING TREE CANOPY	= 156 (37,846 SF)
EXISTING TREE CANOPY TO BE PRESERVED	= 38 (8,589 SF)
PROPOSED TREE CANOPY TO BE PLANTED	= 168 (39,247 SF)
TOTAL TREE CANOPY PROVIDED	= 206 (48,036 SF)

LEGEND

ROOFP	= REVISED DETAILED DISTRICT DEVELOPMENT PLAN
---	= EXISTING SANITARY SEWER
---	= EXISTING CATCH BASIN
---	= PROPOSED SANITARY SEWER
---	= PROPOSED STORM SEWER

GRAPHIC SCALE

1 inch = 80 ft.

REVISIONS

NO.	DATE	DESCRIPTION	BY
1	2/7/24	REVISED LAYOUT	MAV
2	2/7/24	REVISED PARKING AND TRACT LAYOUT	MAV
3	3/25/24	PAVING TURNING, WARDEN AND WARDEN	MAV
4	3/27/24	REVISED ROAD FOR TRACT CONNECTIONS	MAV

PROJECT DATA

FILE NAME	19303-0000
DATE	3/27/24
SCALE	AS SHOWN
CHECKED BY	MAV
DATE	3/27/24

ENGINEER'S SEAL

LD&D
LAND DESIGN & DEVELOPMENT, INC.
4901 HUNT ROAD, STE. 102
GANNAPPA, OH 45226

HURSTBOURNE TOWN CENTER

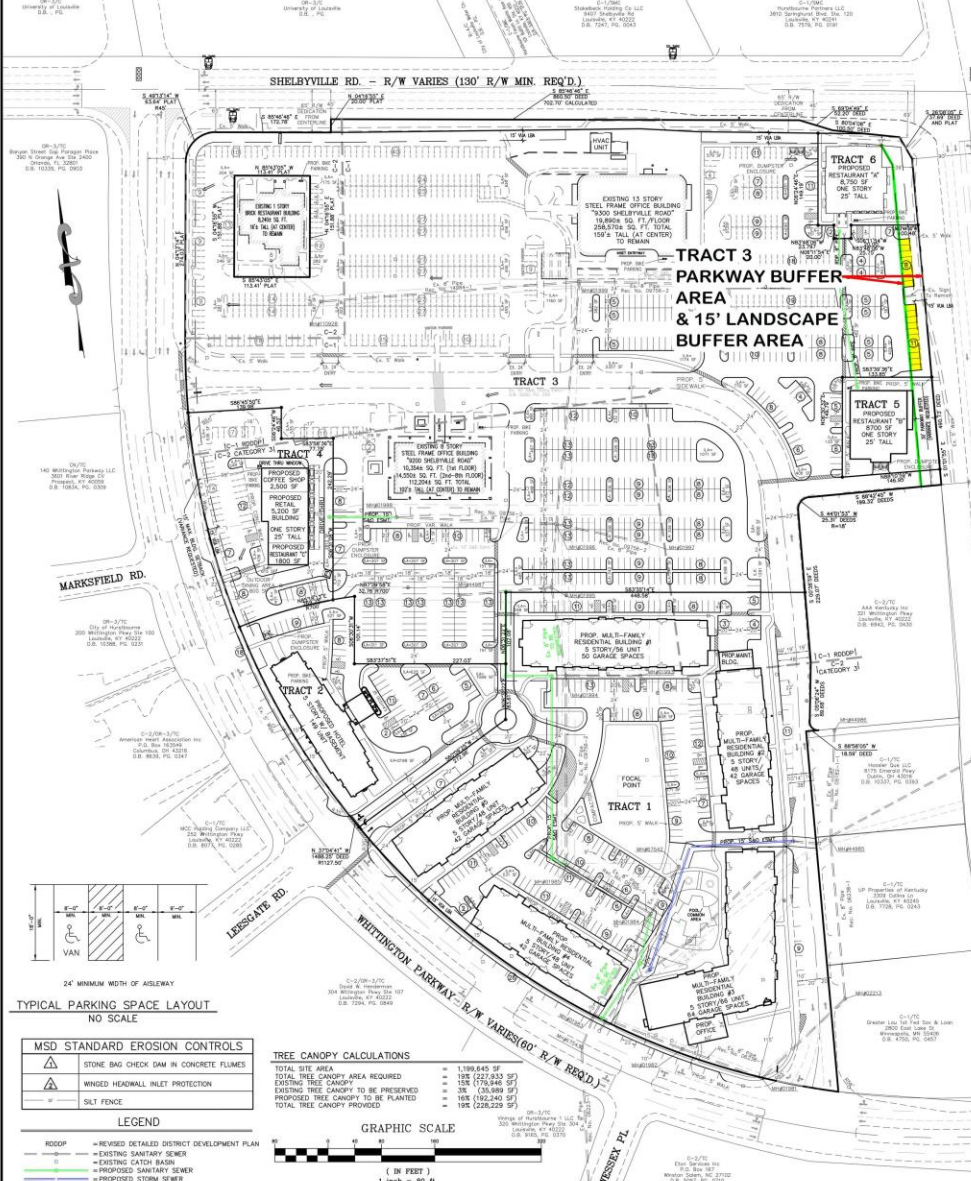
OWNER/DEVELOPER
VIKING PARTNERS HURSTBOURNE
4901 HUNT ROAD, STE. 102
GANNAPPA, OH 45226

DATE 162933

SHEET 1 OF 2

RELATED CASE # 009-030-017
FORM 541-02
CONTRACT DISTRICT - 16 LYSND WM # 11672

THIS SITE IS LOCATED WITHIN THE CITY OF HURSTBOURNE AND IS SUBJECT TO THE MAY 2011 LAND DEVELOPMENT CODE.



TRACT 3 PARKWAY BUFFER AREA & 15' LANDSCAPE BUFFER AREA

WAIVERS REQUESTED:

- (TRACTS 2,5&6) A Waiver is requested from Section 5.5.1.A.1.a of the Louisville Metro Land Development Code to waive the design standard to have the principal building entrance facing the primary street or to a focal point in a public open space.
- (TRACT 3) A Waiver is requested from Section 10.3.5.A.1 & 10.2.10 of the Louisville Metro Land Development Code to allow the encroachment of the parking into the Hurstbourne Parkway 30' Parkway Buffer Area and 15' Landscape Buffer Area.
- (TRACTS 4,5&6) A Waiver is requested from Section 5.5.1.A.3.a of the Louisville Metro Land Development Code to permit the parking lots to be located in front of the building (TRACT 4) and closer to the Hurstbourne Parkway right of way than the principal building (TRACTS 5&6).
- (TRACT 3) Waivers are requested from Section 5.5.1.A.3.a of the Louisville Metro Land Development Code to waive the masonry wall between the side parking and Hurstbourne Parkway.



VARIANCES REQUESTED:

- TRACT 4: A Variance is requested from Section 5.2.C.3.b of the Louisville Metro Land Development Code to vary the Whittington Parkway 15 ft. equipment building setback on all corners.
- TRACT (B) A Variance is requested from Section 5.5.1.A.2 of the Louisville Metro Land Development Code to permit the principal building to be built next to the parking area, closer to the Hurstbourne Parkway right of way than the principal building (TRACTS 5&6).

WAIVERS REQUESTED:

- TRACTS 2,5&6: A Waiver is requested from Section 5.5.1.A.1.a of the Louisville Metro Land Development Code to waive the design standard to have the principal building entrance facing the primary street or to a focal point in a public open space.
- TRACT 3: A Waiver is requested from Section 10.3.5.A.1 & 10.2.10 of the Louisville Metro Land Development Code to allow the encroachment of the parking into the Hurstbourne Parkway 30' Parkway Buffer Area and 15' Landscape Buffer Area.
- TRACTS 4,5&6: A Waiver is requested from Section 5.5.1.A.3.a of the Louisville Metro Land Development Code to permit the parking lots to be located in front of the building (TRACT 4) and closer to the Hurstbourne Parkway right of way than the principal building (TRACTS 5&6).

PROJECT DATA

TOTAL SITE AREA	= 27.78 AC (1,200,674 SF)
TRACT 1 AREA	= 0.28 AC (120,688 SF)
TRACT 2 AREA	= 1.84 AC (79,450 SF)
TRACT 3 AREA	= 13.56 AC (587,119 SF)
TRACT 4 AREA	= 1.35 AC (58,419 SF)
TRACT 5 AREA	= 0.56 AC (24,128 SF)
TOTAL PROPOSED AREA	= 6.61 AC (286,800 SF)
EXISTING ZONING	= T-2 CON
FORM DISTRICT	= TOWN CENTER (TRANSFORM FORM DISTRICT)
COMMERICAL	= COMMERCIAL
MULTI-FAMILY RESIDENTIAL	= COMMERCIAL/RESIDENTIAL

TRACT 5 DATA (PROPOSED RESTAURANT "B")

TOTAL AREA	= 1.84 AC (79,450 SF)
PROPOSED F.W. REDUCTION AREA	= 0.33 AC (14,422 SF)
TRACT 2 NET SITE AREA	= 15.14 AC (653,197 SF)
TOTAL FLOORING REQUIRED	= 1,432 SF (K&BB 1,000 SF)
TOTAL EXISTING	= 6,709 SF
EXISTING USE	= (TRADITIONAL FORM DISTRICT)
PROPOSED USE	= OFFICE / RESTAURANT
PROPOSED USE	= OFFICE / RESTAURANT
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TRACT 4 DATA (PROPOSED RETAIL/RESTAURANT/COFFEE SHOP)

TOTAL AREA	= 1.35 AC (58,419 SF)
PROPOSED F.W. REDUCTION AREA	= 0.33 AC (14,422 SF)
TRACT 2 NET SITE AREA	= 15.14 AC (653,197 SF)
TOTAL FLOORING REQUIRED	= 1,432 SF (K&BB 1,000 SF)
TOTAL EXISTING	= 6,709 SF
EXISTING USE	= (TRADITIONAL FORM DISTRICT)
PROPOSED USE	= COMMERCIAL
PROPOSED USE	= COMMERCIAL
PROPOSED USE	= COMMERCIAL
PROPOSED USE	= COMMERCIAL
PROPOSED USE	= COMMERCIAL

TRACT 3 DATA (PROPOSED MULTIFAMILY RESIDENTIAL)

TOTAL AREA	= 13.56 AC (587,119 SF)
PROPOSED F.W. REDUCTION AREA	= 0.33 AC (14,422 SF)
TRACT 2 NET SITE AREA	= 15.14 AC (653,197 SF)
TOTAL FLOORING REQUIRED	= 1,432 SF (K&BB 1,000 SF)
TOTAL EXISTING	= 6,709 SF
EXISTING USE	= (TRADITIONAL FORM DISTRICT)
PROPOSED USE	= COMMERCIAL
PROPOSED USE	= COMMERCIAL
PROPOSED USE	= COMMERCIAL
PROPOSED USE	= COMMERCIAL
PROPOSED USE	= COMMERCIAL

REVISIONS

NO.	DATE	DESCRIPTION	BY
1	2/7/24	REVISIONS	
2	3/20/24	REVISIONS	
3	3/25/24	REVISIONS	
4	3/27/24	REVISIONS	

PROJECT DATA

FILE NAME	162933-000P
DATE	3/27/24
SCALE AS SHOWN	
CHECKED BY	AKB
DATE	3/27/24

ENGINEER'S SEAL

PROJECT DATA

FILE NAME	162933-000P
DATE	3/27/24
SCALE AS SHOWN	
CHECKED BY	AKB
DATE	3/27/24

ENGINEER'S SEAL

REVISIONS

NO.	DATE	DESCRIPTION	BY
1	2/7/24	REVISIONS	
2	3/20/24	REVISIONS	
3	3/25/24	REVISIONS	
4	3/27/24	REVISIONS	

ENGINEER'S SEAL

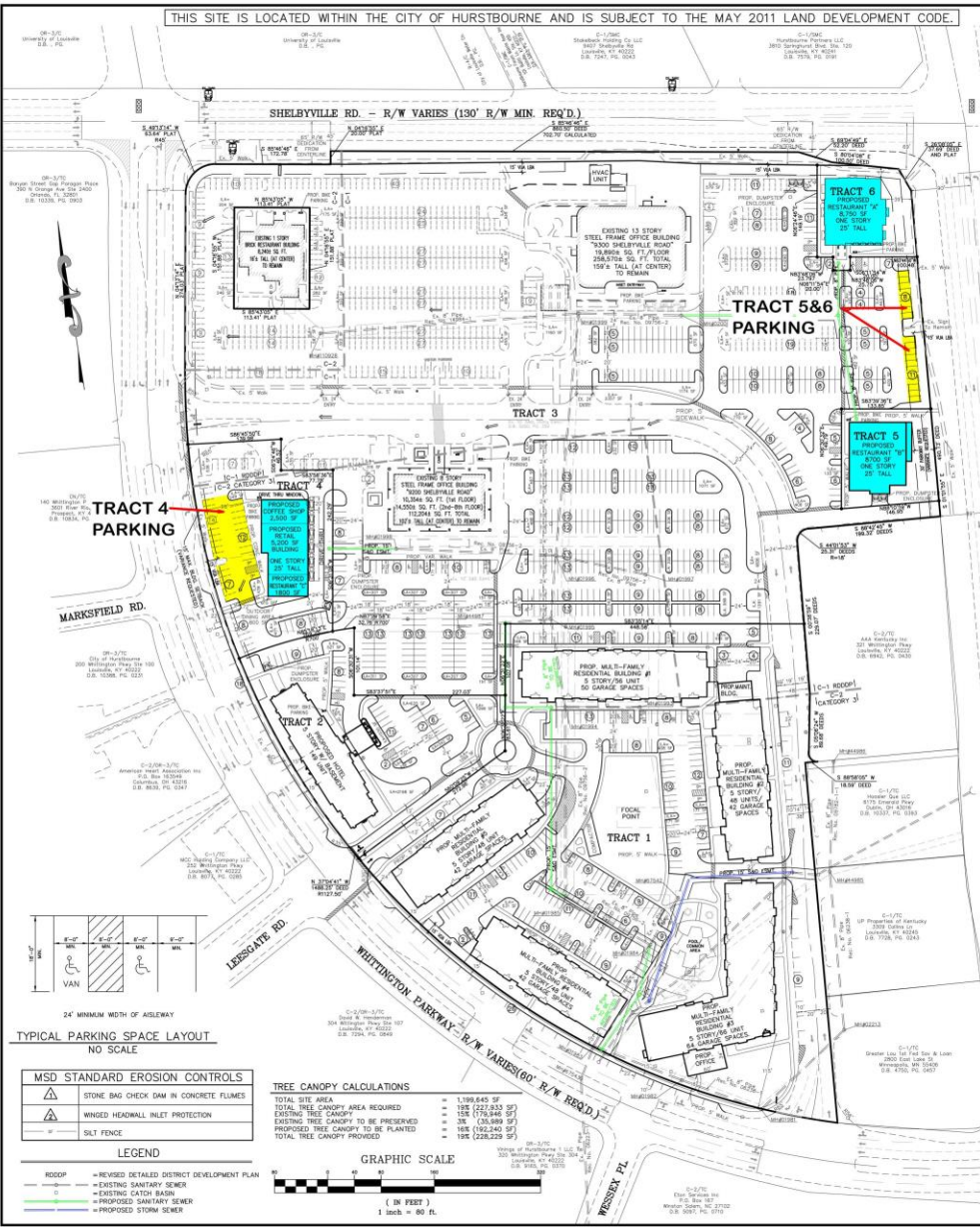
LAND DESIGN & DEVELOPMENT, INC.
401 HUNT ROAD, STE. 102
GANNANVILLE, OH 45274

HURSTBOURNE TOWN CENTER
ORINER DEVELOPER
VIKING PARTNERS HURSTBOURNE
4501 HUNT ROAD, STE. 102
GANNANVILLE, OH 45274

162933
SHEET
OF 2

RELATED CASE #09-030-014
FORM-S&I-02
FEE COLLECTION DISTRICT - LYNDON
MASON WM #11672

THIS SITE IS LOCATED WITHIN THE CITY OF HURSTBOURNE AND IS SUBJECT TO THE MAY 2011 LAND DEVELOPMENT CODE.



VARIANCES REQUESTED:

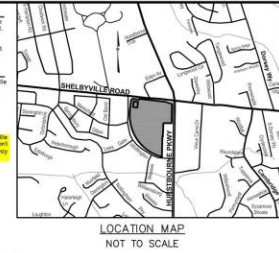
- TRACT 4: A Variance is requested from Section 5.2.4.C.3.a of the Metro Land Development Code to vary the Whittington Parkway 15 ft. easement building setback on all corners.
- TRACT 4: A Variance is requested from Section 5.5.1.A.2 of the Louisville Metro Land Development Code to permit the proposed building to be built not further from the Hurstbourne Parkway Buffer Area 30 ft. building setback.
- TRACT 5: A Waiver is requested from Section 5.5.1.A.1.a of the Louisville Metro Land Development Code to waive the design standard to have the principal building entrance facing the primary street or to a focal point in a public open space.
- TRACT 5: A Waiver is requested from Section 10.3.5.A.1 & 10.2.10 of the Louisville Metro Land Development Code to allow the encroachment of the parking into the Hurstbourne Parkway 30' Parkway Buffer Area and 15' Landscape Buffer Area.
- TRACT 4, 5&6: A Waiver is requested from Section 5.5.1.A.3.a of the Louisville Metro Land Development Code to permit the parking lots to be located in front of the building (TRACT 4) and closer to the Hurstbourne Parkway right of way than the principal building (TRACTS 5&6).

WAIVERS REQUESTED:

- TRACTS 4, 5&6: A Waiver is requested from Section 5.5.1.A.3.a of the Louisville Metro Land Development Code to waive the masonry wall between the side parking and Hurstbourne Parkway.

PROJECT DATA

TOTAL SITE AREA	= 27.78 AC (1,200,874 SF)
TRACT 1 AREA	= 0.26 AC (1,126,488 SF)
TRACT 2 AREA	= 1.84 AC (77,432 SF)
TRACT 3 AREA	= 0.26 AC (117,734 SF)
TRACT 4 AREA	= 1.38 AC (58,849 SF)
TRACT 5 AREA	= 0.26 AC (10,218 SF)
TRACT 5&6 AREA	= 0.26 AC (10,218 SF)
EXISTING ZONING	= C-1 A - 2
FORM GOVT	= TOWN CENTER (METROFORM DISTRICT)
COMMERCIAL	= COMMERCIAL
MULTI-FAMILY RESIDENTIAL	= MULTI-FAMILY RESIDENTIAL



- WAIVERS REQUESTED:**
- TRACTS 2, 5&6: A Waiver is requested from Section 5.5.1.A.1.a of the Louisville Metro Land Development Code to waive the design standard to have the principal building entrance facing the primary street or to a focal point in a public open space.
 - TRACT 3: A Waiver is requested from Section 10.3.5.A.1 & 10.2.10 of the Louisville Metro Land Development Code to allow the encroachment of the parking into the Hurstbourne Parkway 30' Parkway Buffer Area and 15' Landscape Buffer Area.
 - TRACTS 4, 5&6: A Waiver is requested from Section 5.5.1.A.3.a of the Louisville Metro Land Development Code to permit the parking lots to be located in front of the building (TRACT 4) and closer to the Hurstbourne Parkway right of way than the principal building (TRACTS 5&6).
 - TRACT 3: Waivers are requested from Section 5.5.1.A.3.a of the Louisville Metro Land Development Code to waive the masonry wall between the side parking and Hurstbourne Parkway.

STAIRWAY

1.0 SF/ROOM (48 ROOMS)	= 264 SF
1.0 SF/100 SF MIN. (273,754 SF)	= 746 SF
OFFICE AREA (527,324 SF)	= 1,284 SF
TOTAL PARKING REQUIRED	= 1,436 SF (3,868 SF)
EXISTING	= 1,176 SF

PARKING PROVIDED

PARALLEL PARKING	= 1,364 SPACES
PERPENDICULAR PARKING	= 71 SPACES
TOTAL PARKING PROVIDED	= 1,435 SPACES

NEW PARKING REQUIRED/PROVIDED

COFFEE SHOP	= 2 30' SHOT/2 1/2' LONG 10M
RESTAURANT	= 2 30' SHOT/2 1/2' LONG 10M
RESTAURANT 7A	= 2 30' SHOT/2 1/2' LONG 10M
RESTAURANT 7B	= 2 30' SHOT/2 1/2' LONG 10M
RESTAURANT 7C	= 2 30' SHOT/2 1/2' LONG 10M
CL. OFFICE "13 STORY"	= 2 30' SHOT/2 1/2' LONG 10M
CL. OFFICE "4 STORY"	= 2 30' SHOT/2 1/2' LONG 10M
TOTAL BIKE PARKING REQUIRED/PROVIDED	= 36 BIKE SPACES (36 BIKE SPACES REQUIRED)

TOTAL VEHICULAR AREA

INTERNAL LANDSCAPE AREA REQUIRED (7.6X)	= 645,011 SF
EXTERNAL LANDSCAPE AREA PROVIDED	= 48,109 SF
TOTAL BIKE REQUIREMENT	= 740,764 SF
EXISTING IMPERVIOUS AREA	= 802,145 SF
PROPOSED TOTAL IMPERVIOUS AREA	= 838,465 SF (8.5% REDUCTION)

GENERAL NOTES:

- Parking areas and drive lanes to be a hard and durable surface.
- There shall be no concrete type on the right-of-way.
- No increase in drainage run off to adjacent properties.
- Drainage shall be designed to meet the design storm for the site.
- There shall be no encroachment in the right of way without an encroachment permit.
- Existing utility lines shall be shown on all sheets. If there is to be any relocation, extension, or removal of any utility lines, the applicant shall provide a utility relocation plan to the City Engineer for approval.
- Any new utility lines shall be shown on all sheets. If there is to be any relocation, extension, or removal of any utility lines, the applicant shall provide a utility relocation plan to the City Engineer for approval.
- Any new utility lines shall be shown on all sheets. If there is to be any relocation, extension, or removal of any utility lines, the applicant shall provide a utility relocation plan to the City Engineer for approval.
- Any new utility lines shall be shown on all sheets. If there is to be any relocation, extension, or removal of any utility lines, the applicant shall provide a utility relocation plan to the City Engineer for approval.
- Any new utility lines shall be shown on all sheets. If there is to be any relocation, extension, or removal of any utility lines, the applicant shall provide a utility relocation plan to the City Engineer for approval.

MSD NOTES:

- Stormwater management and detention shall comply with Louisville and Jefferson County Metropolitan Sewer District's Design Manual and Standards Specifications and other local, state and federal ordinances.
- Stormwater detention shall be provided by a detention pond and shall be designed to meet the design storm for the site.
- Any portion of the site within the 100 year flood plain per FEMA Map No. 21111 C 0047 of dated December 5, 2008.
- Any portion of the site within the 100 year flood plain shall be designed to meet the design storm for the site.
- If the site falls into a flood plain, the applicant shall provide a flood plain management plan to the City Engineer for approval.
- Any new utility lines shall be shown on all sheets. If there is to be any relocation, extension, or removal of any utility lines, the applicant shall provide a utility relocation plan to the City Engineer for approval.
- Any new utility lines shall be shown on all sheets. If there is to be any relocation, extension, or removal of any utility lines, the applicant shall provide a utility relocation plan to the City Engineer for approval.
- Any new utility lines shall be shown on all sheets. If there is to be any relocation, extension, or removal of any utility lines, the applicant shall provide a utility relocation plan to the City Engineer for approval.
- Any new utility lines shall be shown on all sheets. If there is to be any relocation, extension, or removal of any utility lines, the applicant shall provide a utility relocation plan to the City Engineer for approval.
- Any new utility lines shall be shown on all sheets. If there is to be any relocation, extension, or removal of any utility lines, the applicant shall provide a utility relocation plan to the City Engineer for approval.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES:

- The approved erosion prevention and sediment control (EPPC) plan shall be implemented prior to any land-disturbance activity on the construction site.
- The EPPC plan shall be approved by the City Engineer prior to construction site approval. EPPC shall be installed per the plan and MSD standards.
- Stabilization banks, if applicable, shall be constructed first and shall perform as designed before construction until the contributing drainage areas are stabilized.
- Stabilization banks shall be constructed first and shall perform as designed before construction until the contributing drainage areas are stabilized.
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- Stabilization banks shall be constructed first and shall perform as designed before construction until the contributing drainage areas are stabilized.

NO.	DATE	REVISION	BY
1	1/27/24	REVISED PARKING AND TRACT LAYOUT	MAV
2	2/29/24	PAVING TRENCH, MANHOLE AND WALKWAY	MAV
3	3/25/24	REVISED TRACT 5&6 CONNECTIONS	MAV
4	3/27/24	REVISED TRACT 5&6 CONNECTIONS	MAV

PROJECT DATA

FILE NAME	19233-000P
DATE	3/27/24
SCALE	AS SHOWN
CHECKED BY	MAV
DRAWN BY	MAV

ENGINEER'S SEAL

SURVEYOR'S SEAL

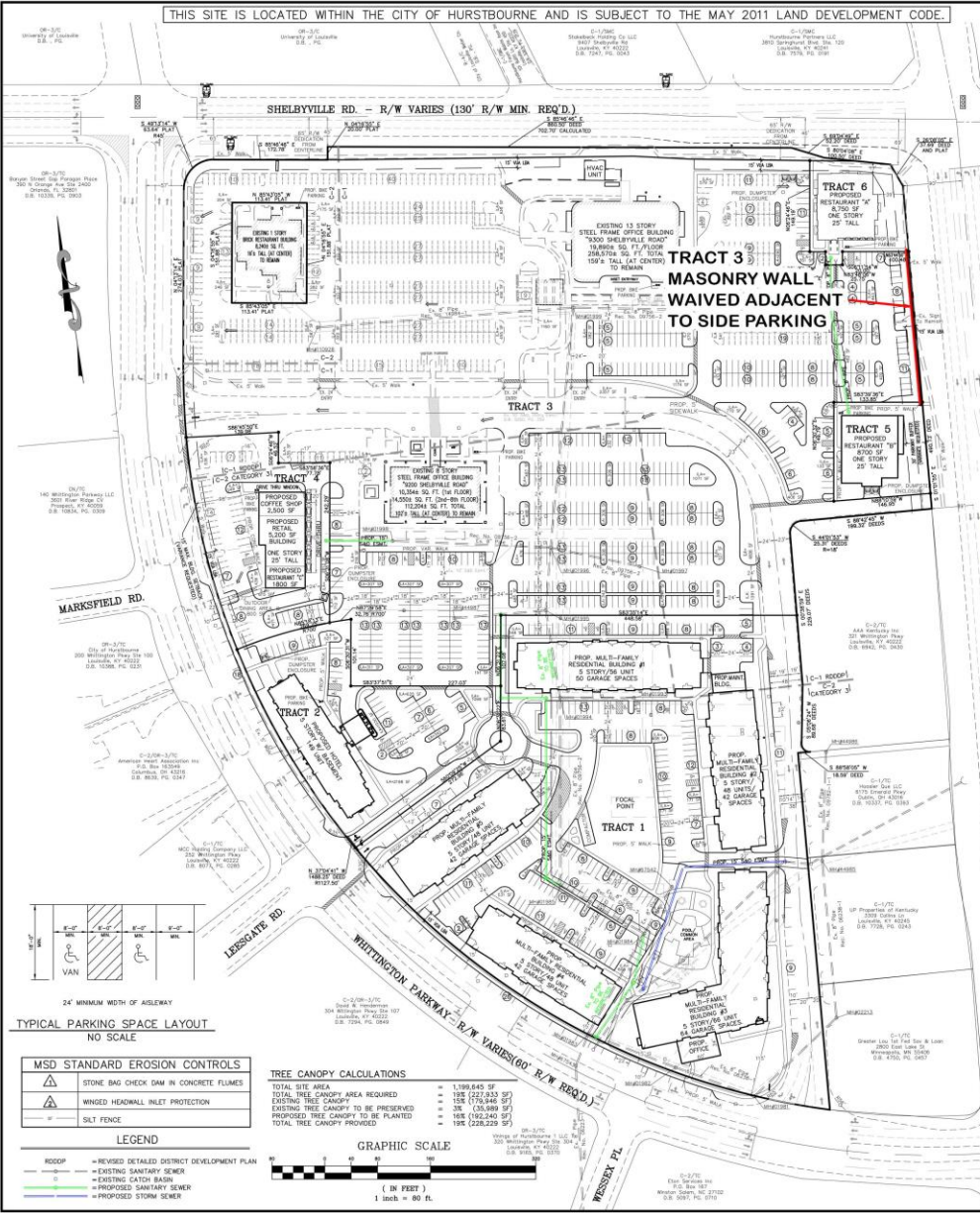
PREPARED BY: L&D LAND DESIGN & DEVELOPMENT, INC.
4901 HUNT ROAD, STE. 102
GANNAPPA, OH 45226

OWNERS/DEVELOPER:
HURSTBOURNE TOWN CENTER
Viking Partners Hurstbourne
4901 Hunt Road Ste 102
Gannappa, OH 45226

DATE NO: 162933

SHEET 1 OF 2

THIS SITE IS LOCATED WITHIN THE CITY OF HURSTBOURNE AND IS SUBJECT TO THE MAY 2011 LAND DEVELOPMENT CODE.



**TRACT 3
MASONRY WALL
WAIVED ADJACENT
TO SIDE PARKING**

WAIVERS REQUESTED:

- (TRACTS 2,5&6) A Waiver is requested from Section 5.5.1.A.1.a of the Louisville Metro Land Development Code to waive the design standard to have the principal building entrance facing the primary street or to a focal point in a public open space.
- (TRACT 3) A Waiver is requested from Section 10.3.5.A.1 & 10.2.10 of The Louisville Metro Land Development Code to allow the encroachment of the parking into the Hurstbourne Parkway 30' Parkway Buffer Area and 15' Landscape Buffer Area.
- (TRACTS 4,5&6) A Waiver is requested from Section 5.5.1.A.3.a of the Louisville Metro Land Development Code to permit the parking lots to be located in front of the building (TRACT 4) and closer to the Hurstbourne Parkway right of way than the principal building (TRACTS 5&6).
- (TRACT 3) Waivers are requested from Section 5.5.1.A.3.a of the Louisville Metro Land Development Code to waive the masonry wall between the side parking and Hurstbourne Parkway.

VARIANCES REQUESTED:

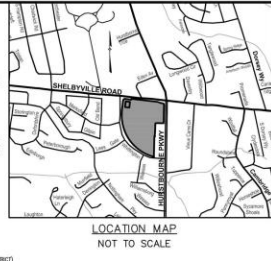
- TRACT 1 & 4 Variance is requested from Section 5.2.4.C.3.a of the Louisville Metro Land Development Code to vary the Whittington Parkway 10 ft. equipment building setback on driveway.
- (TRACT 8) A Variance is requested from Section 5.5.1.A.2 of the Louisville Metro Land Development Code to permit the proposed building to be built not within the Hurstbourne Parkway 30' Parkway Buffer Area and 15' Landscape Buffer Area.

WAIVERS REQUESTED:

- TRACT 3 & 4 Waiver is requested from Section 5.5.1.A.1.a of the Louisville Metro Land Development Code to waive the design standard to have the principal building entrance facing the primary street or to a focal point in a public open space.
- (TRACT 3) A Waiver is requested from Section 10.3.5.A.1 & 10.2.10 of the Louisville Metro Land Development Code to allow the encroachment of the parking into the Hurstbourne Parkway 30' Parkway Buffer Area and 15' Landscape Buffer Area.
- (TRACTS 4,5&6) A Waiver is requested from Section 5.5.1.A.3.a of the Louisville Metro Land Development Code to permit the parking lots to be located in front of the building (TRACT 4) and closer to the Hurstbourne Parkway right of way than the principal building (TRACTS 5&6).

PROJECT DATA

TOTAL SITE AREA	= 27.78 AC (1,200,674 SF)
TRACT 1 AREA	= 0.28 AC (120,488 SF)
TRACT 2 AREA	= 1.84 AC (79,420 SF)
TRACT 3 AREA	= 1.38 AC (59,748 SF)
TRACT 4 AREA	= 1.38 AC (59,748 SF)
TRACT 5 AREA	= 0.54 AC (23,218 SF)
TRACT 6 AREA	= 0.41 AC (17,641 SF)
EXISTING ZONING	= C-1 A - 2
FORM DISTRICT	= TOWN CENTER (TRADITIONAL FORM DISTRICT)
COMMERCIAL	= COMMERCIAL/RESIDENTIAL
MULTI-FAMILY RESIDENTIAL	



TRACT 5 DATA (PROPOSED RESTAURANT "B")

TRACT 1 AREA	= 0.28 AC (120,488 SF)	OFFICE	= 1,284 SF
PROPOSED P+R DESIGNATION AREA	= 0.39 AC (15,828 SF)	1 SF/300 SF MIN. (273,754 SF)	= 746 SF
TRACT 2 NET SITE AREA	= 1.84 AC (80,519 SF)	1 SF/500 SF MIN. (572,524 SF)	= 1,432 SF
EXISTING ZONING	= C-1 A - 2	TOTAL PARKING REQUIRED	= 1,432 SF
EXISTING USE	(TRADITIONAL FORM DISTRICT)	EXISTING USE	= 1,378 SF
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	PARALLEL PARKING	= 1,364 SPACES
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	PERPENDICULAR/ANGLED SHARED PARKING	= 71 SPACES
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	TOTAL PARKING PROVIDED	= 1,435 SPACES
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	PERPENDICULAR/ANGLED SHARED PARKING	= 39 (36 SPACES REQUIRED)
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	COFFEE SHOP	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "A"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "B"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "C"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "D"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "E"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "F"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "G"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "H"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "I"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "J"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "K"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "L"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "M"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "N"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "O"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "P"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "Q"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "R"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "S"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "T"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "U"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "V"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "W"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "X"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "Y"	= 2 2,907 SQM/2 LING TON
PROPOSED USE	(TRADITIONAL FORM DISTRICT)	RESTAURANT "Z"	= 2 2,907 SQM/2 LING TON

GENERAL NOTES:

- Parking areas and drive lanes to be a hard and durable surface.
- There shall be no concrete type on the right-of-way.
- There shall be no landscaping in the right of way without an encroachment permit.
- Any existing utility lines, in the area of streets, if it is found to be an existing, abandoned, or unused utility line, shall be removed by the contractor at their expense.
- Any existing utility lines, in the area of streets, if it is found to be an existing, abandoned, or unused utility line, shall be removed by the contractor at their expense.
- Any existing utility lines, in the area of streets, if it is found to be an existing, abandoned, or unused utility line, shall be removed by the contractor at their expense.
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- Any existing utility lines, in the area of streets, if it is found to be an existing, abandoned, or unused utility line, shall be removed by the contractor at their expense.

MSD NOTES:

- Construction methods and materials shall comply with Louisville and Jefferson County Metropolitan Sewer District's Design Manual and Standards Specifications and other local, state and federal ordinances.
- Soil erosion prevention shall be provided by silt fence extension and subject to applicable laws.
- Any portion of the site within the 100 year flood plain per FEMA Map No. 21111 C 0047 of date December 5, 2006.
- Any portion of the site within the 100 year flood plain per FEMA Map No. 21111 C 0047 of date December 5, 2006.
- Any portion of the site within the 100 year flood plain per FEMA Map No. 21111 C 0047 of date December 5, 2006.
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- Any portion of the site within the 100 year flood plain per FEMA Map No. 21111 C 0047 of date December 5, 2006.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES:

- The approved erosion prevention and sediment control (EPSC) plan shall be implemented prior to any land-disturbing activity on the construction site.
- The approved EPSC plan shall be reviewed and approved by MSD prior to construction plan approval.
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- The approved EPSC plan shall be reviewed and approved by MSD prior to construction plan approval.

NO.	DATE	REVISIONS	BY
1	2/7/24	REVISED LAYOUT	MMV
2	2/29/24	REVISED PARKING AND TRACT LAYOUT	MMV
3	3/25/24	PAVING PARKING AND WALKWAY FINISH	MMV
4	3/27/24	REVISED TRACT FOR TRACT CORRECTS	MMV
5	3/27/24	REVISED TRACT FOR TRACT CORRECTS	MMV

PROJECT DATA	DATE	SCALE	CREATED BY	CHECKED BY
FILE NAME: 1933-100P	DATE: 3/27/24	SCALE AS SHOWN	CREATED BY: MMV	CHECKED BY: MMV

PROJECT DATA	DATE	SCALE	CREATED BY	CHECKED BY
FILE NAME: 1933-100P	DATE: 3/27/24	SCALE AS SHOWN	CREATED BY: MMV	CHECKED BY: MMV

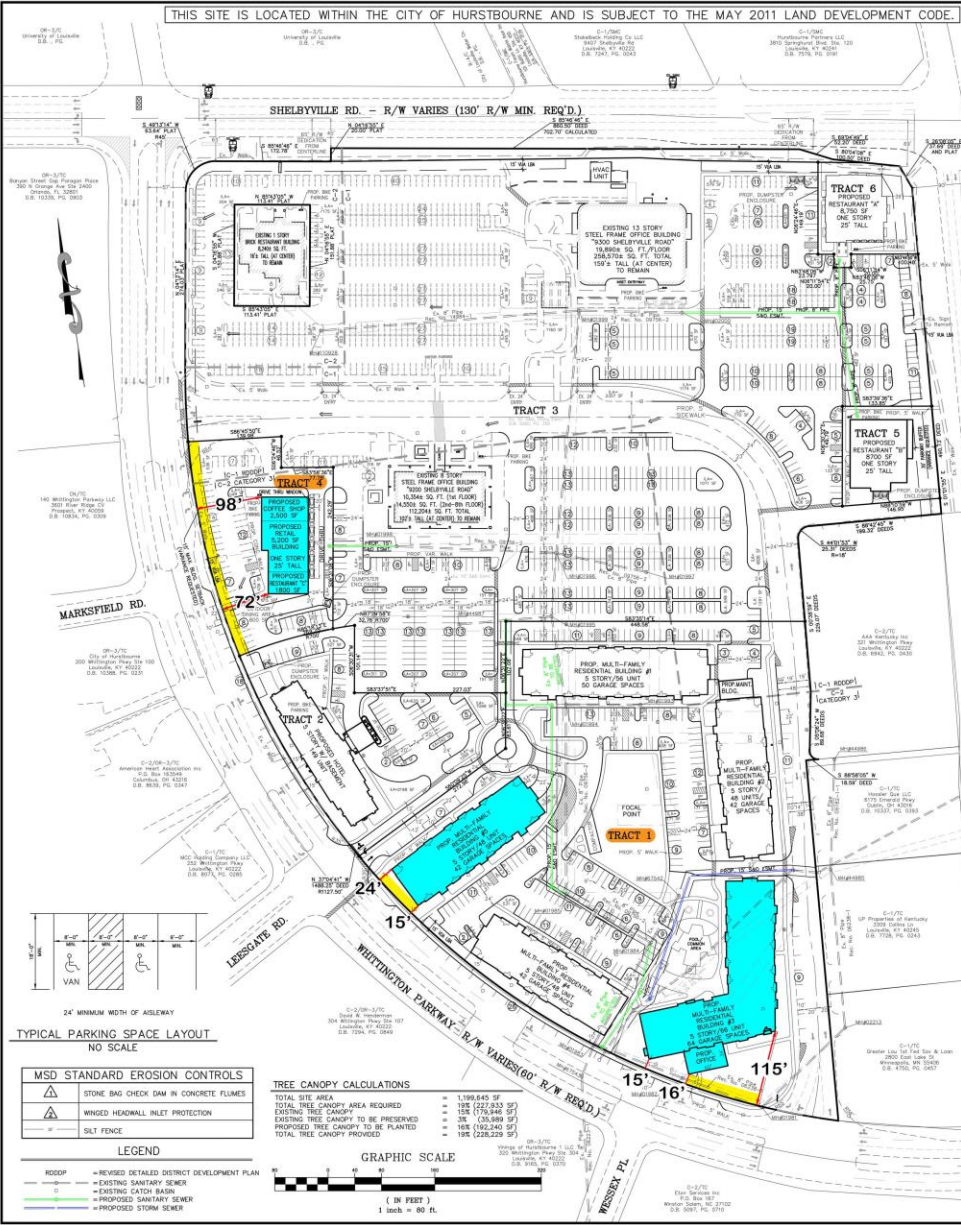
LD&D
LAND DESIGN & DEVELOPMENT, INC.
4501 HUNT ROAD, SUITE 102
GANNAPPAH, OH 45226
PH: 513.481.1100 FAX: 513.481.1101

PERIOD DETAILED DISTRICT DEVELOPMENT PLAN AND CATEGORY 3 PLAN
HURSTBOURNE TOWN CENTER
OWNER/DEVELOPER
VIKING PARTNERS HURSTBOURNE
4501 HUNT ROAD, SUITE 102
GANNAPPAH, OH 45226

DATE: MAR 16, 2024
PROJECT NO: 162933
SHEET NO: 1 OF 2

RELATED CASE #09-030-017
FOR-S41-02
COUNCIL DISTRICT - 16
LYNDON MS WM # 11672
FREE PROTECTION DISTRICT - LYNDON

THIS SITE IS LOCATED WITHIN THE CITY OF HURSTBOURNE AND IS SUBJECT TO THE MAY 2011 LAND DEVELOPMENT CODE.



VARIANCES REQUESTED:

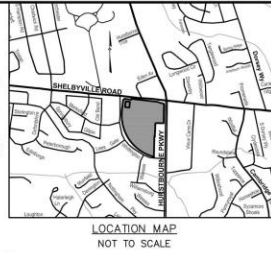
- (TRACTS 1&4) Variance is requested from Section 5.2.4.C.3.a of the The Louisville Metro Land Development Code to vary the Whittington Parkway 15 ft maximum building setback as shown.
- (TRACT 6) A Variance is requested from Section 5.5.1.A.2 of the Louisville Metro Land Development Code to permit the proposed building to be built not at the right of way line along Shelbyville Road & Hurstbourne Parkway but rather at the Hurstbourne Parkway Buffer Area 30 ft building setback.

WAIVERS REQUESTED:

- (TRACT 3) A Waiver is requested from Section 5.5.1.A.1 of the Louisville Metro Land Development Code to waive the design standard to have the proposed building entrance from the primary street or on a front court in a parking lot in the Hurstbourne Parkway 30' Parkway Buffer Area and 15' Leasing Buffer Area.
- (TRACT 4) A Waiver is requested from Section 5.5.1.A.2 of the Louisville Metro Land Development Code to allow the proposed building to be located in front of the primary building in the Hurstbourne Parkway 30' Parkway Buffer Area and 15' Leasing Buffer Area.

PROJECT DATA

TOTAL SITE AREA	= 27.78 AC (1,200,674 SF)
TRACT 1 AREA	= 0.28 AC (120,688 SF)
TRACT 2 AREA	= 1.84 AC (79,420 SF)
TRACT 3 AREA	= 1.36 AC (59,148 SF)
TRACT 4 AREA	= 0.58 AC (25,218 SF)
TRACT 5 AREA	= 0.36 AC (15,617 SF)
TRACT 6 AREA	= 0.36 AC (15,617 SF)
EXISTING ZONING	= COMMERCIAL (TRADITIONAL FORM DISTRICT)
FORM DISTRICT	= COMMERCIAL/RESIDENTIAL



VARIANCES REQUESTED:

- (TRACTS 1&4) Variance is requested from Section 5.2.4.C.3.a of the The Louisville Metro Land Development Code to vary the Whittington Parkway 15 ft maximum building setback as shown.
- (TRACT 6) A Variance is requested from Section 5.5.1.A.2 of the Louisville Metro Land Development Code to permit the proposed building to be built not at the right of way line along Shelbyville Road & Hurstbourne Parkway but rather at the Hurstbourne Parkway Buffer Area 30 ft building setback.

TRACT 2 DATA (PROPOSED HOTEL)

TRACT 2 AREA	= 1.84 AC (79,420 SF)
PROPOSED F&R RESIDENCE AREA	= 0.36 AC (15,617 SF)
TRACT 2 NET SITE AREA	= 1.48 AC (63,803 SF)
EXISTING ZONING	= COMMERCIAL
FORM DISTRICT	= TRADITIONAL FORM DISTRICT
EXISTING USE	= HOTEL
PROPOSED USE	= HOTEL
PROPOSED F&R RESIDENCE AREA	= 0.36 AC (15,617 SF)
PROPOSED HOTEL ROOMS	= 100 HOTEL ROOMS (INCLUDES 8 RESIDENTIAL UNITS)
PROPOSED HOTEL ROOMS	= 100 HOTEL ROOMS (INCLUDES 8 RESIDENTIAL UNITS)
PROPOSED HOTEL ROOMS	= 100 HOTEL ROOMS (INCLUDES 8 RESIDENTIAL UNITS)

TRACT 3 DATA (EXISTING OFFICE AND RESTAURANT)

TRACT 3 AREA	= 1.36 AC (59,148 SF)
PROPOSED F&R RESIDENCE AREA	= 0.36 AC (15,617 SF)
TRACT 3 NET SITE AREA	= 1.00 AC (43,531 SF)
EXISTING ZONING	= COMMERCIAL
FORM DISTRICT	= TRADITIONAL FORM DISTRICT
EXISTING USE	= OFFICE / RESTAURANT
PROPOSED USE	= OFFICE / RESTAURANT
PROPOSED F&R RESIDENCE AREA	= 0.36 AC (15,617 SF)
PROPOSED OFFICE AREA	= 0.36 AC (15,617 SF)
PROPOSED RESTAURANT AREA	= 0.36 AC (15,617 SF)

TRACT 4 DATA (PROPOSED RETAIL/RESTAURANT/COFFEE SHOP)

TRACT 4 AREA	= 0.58 AC (25,218 SF)
PROPOSED F&R RESIDENCE AREA	= 0.36 AC (15,617 SF)
TRACT 4 NET SITE AREA	= 0.22 AC (9,601 SF)
EXISTING ZONING	= COMMERCIAL
FORM DISTRICT	= TRADITIONAL FORM DISTRICT
EXISTING USE	= OFFICE / RESTAURANT
PROPOSED USE	= OFFICE / RESTAURANT
PROPOSED F&R RESIDENCE AREA	= 0.36 AC (15,617 SF)
PROPOSED OFFICE AREA	= 0.36 AC (15,617 SF)
PROPOSED RESTAURANT AREA	= 0.36 AC (15,617 SF)
PROPOSED COFFEE SHOP AREA	= 0.36 AC (15,617 SF)

TRACT 5 DATA (PROPOSED RETAIL/RESTAURANT/COFFEE SHOP)

TRACT 5 AREA	= 0.36 AC (15,617 SF)
PROPOSED F&R RESIDENCE AREA	= 0.36 AC (15,617 SF)
TRACT 5 NET SITE AREA	= 0.00 AC (0 SF)
EXISTING ZONING	= COMMERCIAL
FORM DISTRICT	= TRADITIONAL FORM DISTRICT
EXISTING USE	= OFFICE / RESTAURANT
PROPOSED USE	= OFFICE / RESTAURANT
PROPOSED F&R RESIDENCE AREA	= 0.36 AC (15,617 SF)
PROPOSED OFFICE AREA	= 0.36 AC (15,617 SF)
PROPOSED RESTAURANT AREA	= 0.36 AC (15,617 SF)
PROPOSED COFFEE SHOP AREA	= 0.36 AC (15,617 SF)

TRACT 6 DATA (PROPOSED RETAIL/RESTAURANT/COFFEE SHOP)

TRACT 6 AREA	= 0.36 AC (15,617 SF)
PROPOSED F&R RESIDENCE AREA	= 0.36 AC (15,617 SF)
TRACT 6 NET SITE AREA	= 0.00 AC (0 SF)
EXISTING ZONING	= COMMERCIAL
FORM DISTRICT	= TRADITIONAL FORM DISTRICT
EXISTING USE	= OFFICE / RESTAURANT
PROPOSED USE	= OFFICE / RESTAURANT
PROPOSED F&R RESIDENCE AREA	= 0.36 AC (15,617 SF)
PROPOSED OFFICE AREA	= 0.36 AC (15,617 SF)
PROPOSED RESTAURANT AREA	= 0.36 AC (15,617 SF)
PROPOSED COFFEE SHOP AREA	= 0.36 AC (15,617 SF)

TRACT 5 DATA (PROPOSED "B")

TOTAL SITE AREA	= 27.78 AC (1,200,674 SF)
TRACT 1 AREA	= 0.28 AC (120,688 SF)
TRACT 2 AREA	= 1.84 AC (79,420 SF)
TRACT 3 AREA	= 1.36 AC (59,148 SF)
TRACT 4 AREA	= 0.58 AC (25,218 SF)
TRACT 5 AREA	= 0.36 AC (15,617 SF)
TRACT 6 AREA	= 0.36 AC (15,617 SF)
EXISTING ZONING	= COMMERCIAL (TRADITIONAL FORM DISTRICT)
FORM DISTRICT	= COMMERCIAL/RESIDENTIAL

SHARED PARKING CALCULATIONS

TRACT 1	100 HOTEL ROOMS	100 SPACES
TRACT 2	100 HOTEL ROOMS	100 SPACES
TRACT 3	100 HOTEL ROOMS	100 SPACES
TRACT 4	100 HOTEL ROOMS	100 SPACES
TRACT 5	100 HOTEL ROOMS	100 SPACES
TRACT 6	100 HOTEL ROOMS	100 SPACES

SHARED PARKING CALCULATIONS

TRACT 1	100 HOTEL ROOMS	100 SPACES
TRACT 2	100 HOTEL ROOMS	100 SPACES
TRACT 3	100 HOTEL ROOMS	100 SPACES
TRACT 4	100 HOTEL ROOMS	100 SPACES
TRACT 5	100 HOTEL ROOMS	100 SPACES
TRACT 6	100 HOTEL ROOMS	100 SPACES

SHARED PARKING CALCULATIONS

TRACT 1	100 HOTEL ROOMS	100 SPACES
TRACT 2	100 HOTEL ROOMS	100 SPACES
TRACT 3	100 HOTEL ROOMS	100 SPACES
TRACT 4	100 HOTEL ROOMS	100 SPACES
TRACT 5	100 HOTEL ROOMS	100 SPACES
TRACT 6	100 HOTEL ROOMS	100 SPACES

SHARED PARKING CALCULATIONS

TRACT 1	100 HOTEL ROOMS	100 SPACES
TRACT 2	100 HOTEL ROOMS	100 SPACES
TRACT 3	100 HOTEL ROOMS	100 SPACES
TRACT 4	100 HOTEL ROOMS	100 SPACES
TRACT 5	100 HOTEL ROOMS	100 SPACES
TRACT 6	100 HOTEL ROOMS	100 SPACES

SHARED PARKING CALCULATIONS

TRACT 1	100 HOTEL ROOMS	100 SPACES
TRACT 2	100 HOTEL ROOMS	100 SPACES
TRACT 3	100 HOTEL ROOMS	100 SPACES
TRACT 4	100 HOTEL ROOMS	100 SPACES
TRACT 5	100 HOTEL ROOMS	100 SPACES
TRACT 6	100 HOTEL ROOMS	100 SPACES

SHARED PARKING CALCULATIONS

TRACT 1	100 HOTEL ROOMS	100 SPACES
TRACT 2	100 HOTEL ROOMS	100 SPACES
TRACT 3	100 HOTEL ROOMS	100 SPACES
TRACT 4	100 HOTEL ROOMS	100 SPACES
TRACT 5	100 HOTEL ROOMS	100 SPACES
TRACT 6	100 HOTEL ROOMS	100 SPACES

SHARED PARKING CALCULATIONS

TRACT 1	100 HOTEL ROOMS	100 SPACES
TRACT 2	100 HOTEL ROOMS	100 SPACES
TRACT 3	100 HOTEL ROOMS	100 SPACES
TRACT 4	100 HOTEL ROOMS	100 SPACES
TRACT 5	100 HOTEL ROOMS	100 SPACES
TRACT 6	100 HOTEL ROOMS	100 SPACES

SHARED PARKING CALCULATIONS

TRACT 1	100 HOTEL ROOMS	100 SPACES
TRACT 2	100 HOTEL ROOMS	100 SPACES
TRACT 3	100 HOTEL ROOMS	100 SPACES
TRACT 4	100 HOTEL ROOMS	100 SPACES
TRACT 5	100 HOTEL ROOMS	100 SPACES
TRACT 6	100 HOTEL ROOMS	100 SPACES

SHARED PARKING CALCULATIONS

TRACT 1	100 HOTEL ROOMS	100 SPACES
TRACT 2	100 HOTEL ROOMS	100 SPACES
TRACT 3	100 HOTEL ROOMS	100 SPACES
TRACT 4	100 HOTEL ROOMS	100 SPACES
TRACT 5	100 HOTEL ROOMS	100 SPACES
TRACT 6	100 HOTEL ROOMS	100 SPACES

REVISIONS

NO.	DATE	DESCRIPTION	BY
1	2/29/24	REVISED PARKING AND TRACT LAYOUT	MAV
2	3/05/24	PAVING PLAN, IMPROVED WALKWAY	MAV
3	3/19/24	REVISED TRACT DATA COMMENTS	MAV

PROJECT DATA

FILE NAME: 19233.DWG
DATE: 3/07/24
CHECKED BY: MAV
SCALE: AS SHOWN
DRAWN BY: JWB

ENGINEER'S SEAL

SURVEYOR'S SEAL

LAND DESIGN & DEVELOPMENT, INC.
LAND DESIGN & DEVELOPMENT, INC.
4901 HUNT ROAD, STE. 102
GANNONVILLE, OH 45226

HURSTBOURNE TOWN CENTER

OWNERS/DEVELOPER
VIKING PARTNERS HURSTBOURNE
4901 HUNT ROAD, STE. 102
GANNONVILLE, OH 45226

PROJECT NUMBER
162933

SHEET
1 OF 2

PROJECT DISTRICT - 16
LYNDON
PROJECT DISTRICT - LYSND
LYNDON WM #11672

THIS SITE IS LOCATED WITHIN THE CITY OF HURSTBOURNE AND IS SUBJECT TO THE MAY 2011 LAND DEVELOPMENT CODE.

VARIANCES REQUESTED:

- 1. (TRACTS 1&4) Variance is requested from Section 5.2.4.C.3.a of the The Louisville Metro Land Development Code to vary the Whittington Parkway 15 ft. maximum building setback as shown.
- 2. (TRACT 6) A Variance is requested from Section 5.5.1.A.2 of the Louisville Metro Land Development Code to permit the proposed building to be built not at the right of way line along Shelbyville Road & Hurstbourne Parkway but rather at the Hurstbourne Parkway Buffer Area 30 ft. building setback as shown.

WAVERS REQUESTED:

- 1. (TRACT 5) A Waiver is requested from Section 5.5.1.A.1 of the Louisville Metro Land Development Code to waive the design standard to have the proposed building entrance from the primary street or to a road front on a lot.
- 2. (TRACT 5) A Waiver is requested from Section 10.5.A.1 & 10.5.1.2 of the Louisville Metro Land Development Code to allow the encroachment of the parking into the Hurstbourne Parkway 30' Parkway Buffer Area and 15' Landscape Buffer Area.
- 3. (TRACT 4) A Waiver is requested from Section 5.5.1.A.2 of the Louisville Metro Land Development Code to permit the proposed building to be built not at the right of way line along Shelbyville Road & Hurstbourne Parkway but rather at the Hurstbourne Parkway Buffer Area 30 ft. building setback as shown.

PROJECT DATA

TOTAL SITE AREA	= 27.78 AC. (1,200,674 SF)
TRACT 1 AREA	= 0.28 AC. (120,488 SF)
TRACT 2 AREA	= 1.84 AC. (77,452 SF)
TRACT 3 AREA	= 1.84 AC. (77,452 SF)
TRACT 4 AREA	= 1.36 AC. (54,438 SF)
TRACT 5 AREA	= 0.58 AC. (25,218 SF)
TRACT 6 AREA	= 0.58 AC. (25,218 SF)
EXISTING ZONING	= COMMERCIAL (TRADITIONAL FORM DISTRICT)
FORM DISTRICT	= COMMERCIAL
FORM CATEGORY	= COMMERCIAL/RESIDENTIAL



TRACT 5 DATA (PROPOSED RESTAURANT "B")

VARIANCES REQUESTED:

- (TRACTS 1&4) Variance are requested from Section 5.2.4.C.3.a of the The Louisville Metro Land Development Code to vary the Whittington Parkway 15 ft. maximum building setback as shown.
- (TRACT 6) A Variance is requested from Section 5.5.1.A.2 of the Louisville Metro Land Development Code to permit the proposed building to be built not at the right of way line along Shelbyville Road & Hurstbourne Parkway but rather at the Hurstbourne Parkway Buffer Area 30 ft. building setback.

TRACT 2 DATA (PROPOSED HOTEL)

EXISTING ZONING	= COMMERCIAL
FORM DISTRICT	= COMMERCIAL (TRADITIONAL FORM DISTRICT)
FORM CATEGORY	= COMMERCIAL
EXISTING USE	= HOTEL
F.A.R.: 74.375 SF/PA.459 SF	= 1.06
BUILDING HEIGHT	= 10.0 MAX. ALLOWED
OFFICE	= 10.0 MAX. ALLOWED
HOTEL ROOMS	= 10.0 MAX. ALLOWED

TRACT 3 DATA (EXISTING OFFICE AND RESTAURANT)

EXISTING ZONING	= COMMERCIAL
FORM DISTRICT	= COMMERCIAL (TRADITIONAL FORM DISTRICT)
FORM CATEGORY	= COMMERCIAL
EXISTING USE	= OFFICE / RESTAURANT
F.A.R.: 14.362 SF/PA.161 SF	= 0.51
BUILDING HEIGHT	= 10.0 MAX. ALLOWED
OFFICE	= 10.0 MAX. ALLOWED
RESTAURANT	= 10.0 MAX. ALLOWED

TRACT 4 DATA (PROPOSED RETAIL/RESTAURANT/COFFEE SHOP)

EXISTING ZONING	= COMMERCIAL
FORM DISTRICT	= COMMERCIAL (TRADITIONAL FORM DISTRICT)
FORM CATEGORY	= COMMERCIAL
EXISTING USE	= OFFICE / RESTAURANT
F.A.R.: 14.362 SF/PA.161 SF	= 0.51
BUILDING HEIGHT	= 10.0 MAX. ALLOWED
OFFICE	= 10.0 MAX. ALLOWED
RESTAURANT	= 10.0 MAX. ALLOWED
COFFEE SHOP	= 10.0 MAX. ALLOWED

TRACT 5 DATA (PROPOSED RESTAURANT "A")

EXISTING ZONING	= COMMERCIAL
FORM DISTRICT	= COMMERCIAL (TRADITIONAL FORM DISTRICT)
FORM CATEGORY	= COMMERCIAL
EXISTING USE	= OFFICE / RESTAURANT
F.A.R.: 14.362 SF/PA.161 SF	= 0.51
BUILDING HEIGHT	= 10.0 MAX. ALLOWED
OFFICE	= 10.0 MAX. ALLOWED
RESTAURANT	= 10.0 MAX. ALLOWED

TRACT 6 DATA (PROPOSED RESTAURANT "B")

EXISTING ZONING	= COMMERCIAL
FORM DISTRICT	= COMMERCIAL (TRADITIONAL FORM DISTRICT)
FORM CATEGORY	= COMMERCIAL
EXISTING USE	= OFFICE / RESTAURANT
F.A.R.: 14.362 SF/PA.161 SF	= 0.51
BUILDING HEIGHT	= 10.0 MAX. ALLOWED
OFFICE	= 10.0 MAX. ALLOWED
RESTAURANT	= 10.0 MAX. ALLOWED

GENERAL NOTES:

- Parking areas and drive lanes to be a hard and durable surface.
- There shall be no concrete type 1 or 2 curb on the right-of-way.
- No increase in drainage flow to adjacent properties.
- There shall be no encroachment on the right of way.
- There shall be no encroachment in the right of way without an encroachment permit.
- Any utility lines shall be located in the area of streets. If it is found that no utility lines are located in the area of streets, the utility company shall be notified to install utility lines in the area of streets.
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MSD NOTES:

1. All construction and materials shall comply with Louisville and Jefferson County Metropolitan Sewer District's Design Manual and Standards Specifications and other local, state and federal ordinances.
2. Stormwater shall be collected in a stormwater detention structure per MS4 standard design.
3. No portion of the site within the 100 year flood plain per FEMA Map No. 21111 C 0047 of date December 5, 2008.
4. Existing utility lines shall be located in the area of streets. If it is found that no utility lines are located in the area of streets, the utility company shall be notified to install utility lines in the area of streets.
5. If the site falls within an easement area it will be required prior to MSD granting construction plan approval.
6. A Development Fee shall be submitted and approved by MSD.
7. The final design of this project must meet all MS4 water quality regulatory requirements by MSD. Site input may change at the design phase to the proper zoning of the MS4 Management Practices.
8. All utility lines shall be located in the area of streets. If it is found that no utility lines are located in the area of streets, the utility company shall be notified to install utility lines in the area of streets.
9. All utility lines shall be located in the area of streets. If it is found that no utility lines are located in the area of streets, the utility company shall be notified to install utility lines in the area of streets.
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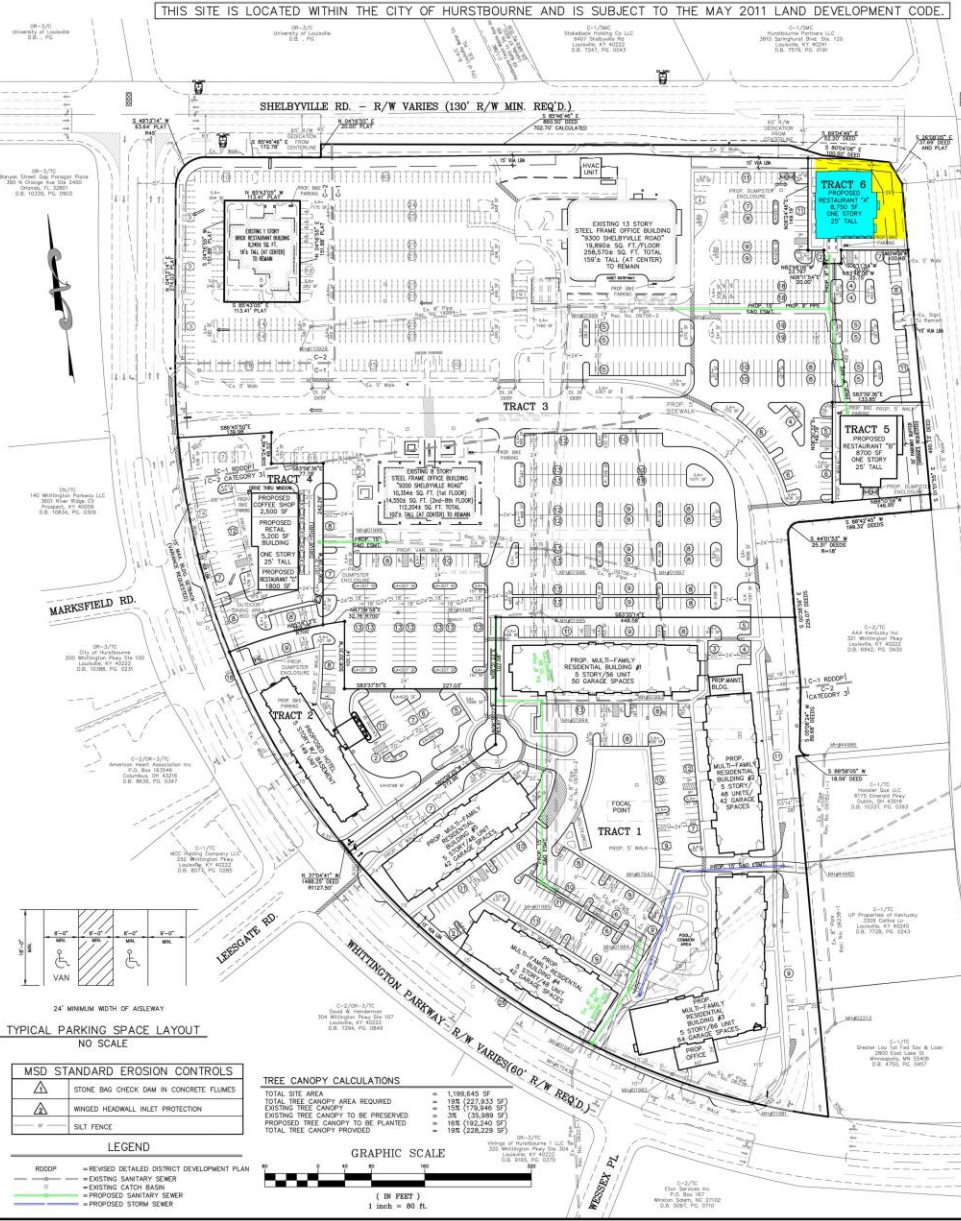
EROSION PREVENTION AND SEDIMENT CONTROL NOTES:

- The approved erosion prevention and sediment control (EPSC) plan shall be implemented prior to any land-disturbance activity on the construction site.
- Construction shall be completed and approved by MSD prior to construction plan approval.
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101 WHITTINGTON PARKWAY TAX BLOCK 1877, LOT 0001 D.B. 10725, PG. 0021

9200 SHELBYVILLE ROAD TAX BLOCK 1877, LOT 0001 D.B. 10725, PG. 0021

CONSTRUCTION DISTRICT - 18 LINDSEY MS4 WM # 11672



24' MINIMUM WIDTH OF ASIDEWAY

TYPICAL PARKING SPACE LAYOUT NOT SCALE

MSD STANDARD EROSION CONTROLS	
[Symbol]	STONE BAG CHECK DAM IN CONCRETE FLAMES
[Symbol]	WINGED HEADWALL INLET PROTECTION
[Symbol]	SILT FENCE

TREE CANOPY CALCULATIONS	
TOTAL SITE AREA	= 1,190,645 SF
TOTAL TREE CANOPY AREA REQUIRED	= 158 (221,833 SF)
EXISTING TREE CANOPY	= 158 (176,846 SF)
EXISTING TREE CANOPY TO BE PRESERVED	= 38 (53,589 SF)
PROPOSED TREE CANOPY TO BE PLANTED	= 120 (123,243 SF)
TOTAL TREE CANOPY PROVIDED	= 158 (123,243 SF)

LEGEND

[Symbol]	REMOVED DETAILED DISTRICT DEVELOPMENT PLAN
[Symbol]	EXISTING SANITARY SEWER
[Symbol]	EXISTING CATCH BASIN
[Symbol]	PROPOSED SANITARY SEWER
[Symbol]	PROPOSED STORM SEWER

GRAPHIC SCALE (IN FEET) 1 inch = 80 ft.

REVISIONS	
NO.	DATE
1	1/29/18
2	2/7/18
3	3/25/18
4	5/9/18

PROJECT DATA	
FILE NAME	18031-0001
DATE	3/7/18
CHECKED BY	AKK
DESIGNED BY	JWB

SURVEYOR'S SEAL	
NO.	DATE
1	1/29/18
2	2/7/18
3	3/25/18
4	5/9/18

L&D
LAND DESIGN & DEVELOPMENT, INC.
4501 HUNT ROAD, SUITE 102
GANNONVILLE, OH 45226

HURSTBOURNE TOWN CENTER
OWNER/DEVELOPER
VIKING PARTNERS HURSTBOURNE
4501 HUNT ROAD, SUITE 102
GANNONVILLE, OH 45226

DATE	162933
SHEET	1 OF 2



SAVOY

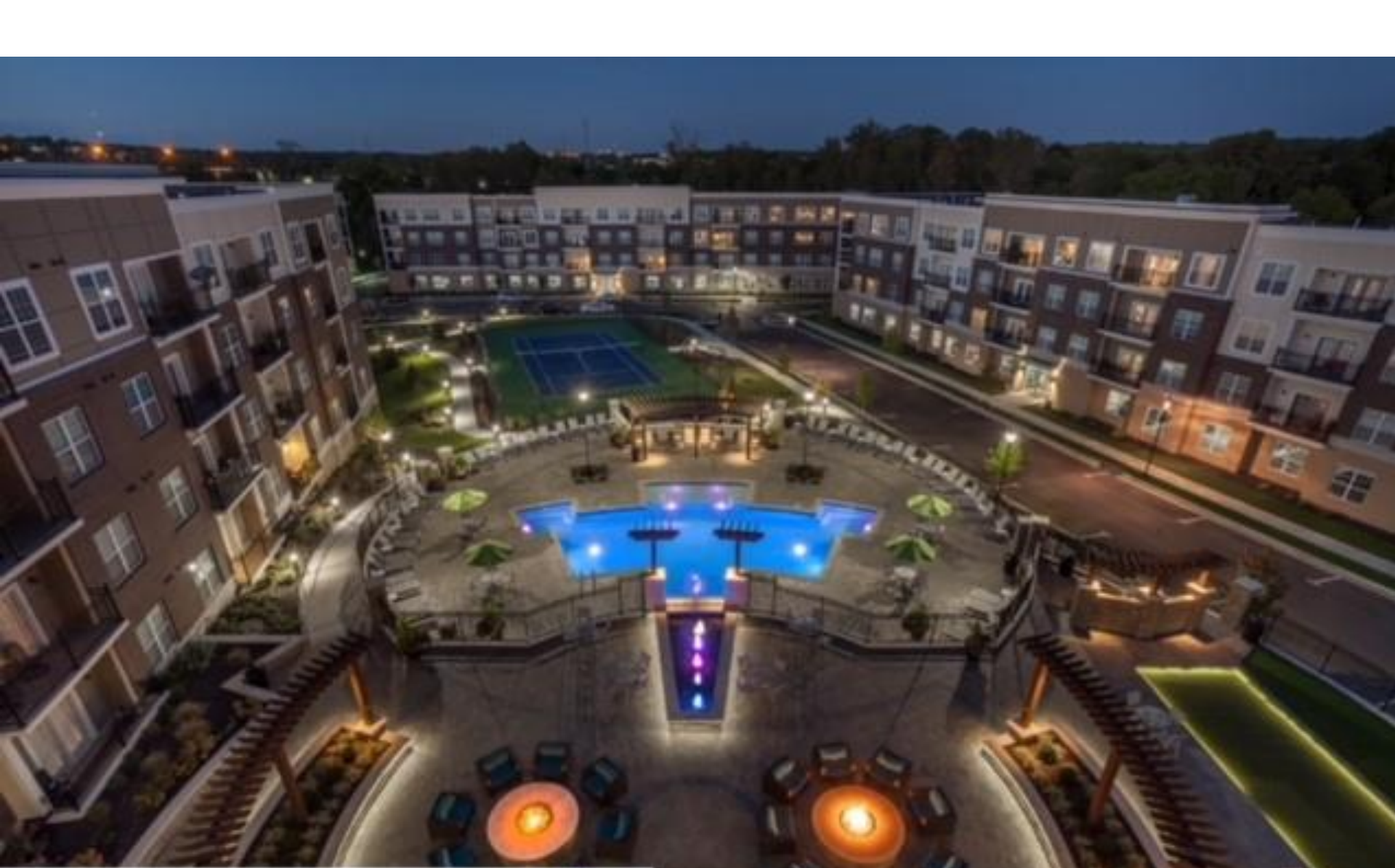
AT THE STREETS OF WEST CHESTER

NATIONAL APARTMENT ASSOCIATION
NATIONAL AWARD OF EXCELLENCE
BEST APARTMENT COMMUNITY 2017
1 TO 5 YEARS, OVER 150 UNITS





Attached are a couple of photos of the central amenity area of Hills' Savoy Community in Cincinnati. Savoy was completed in 2016 and was awarded the Best New Apartment Community over 150 units in the entire country by the National Apartment Association at the annual meeting in Atlanta last fall. The community that Hills is proposing at Hurstbourne is the next generation of Savoy in that the amenities will be similar, except for the tennis court and at Hurstbourne Hills is proposing upgrades to the exterior elevations. Savoy is also the multi-family component to a bigger mixed-use development similar to Hurstbourne.



SAVOY
THE RESIDENTIAL COMMUNITY

NATIONAL APARTMENT ASSOCIATION
NATIONAL AWARD OF EXCELLENCE
BEST APARTMENT COMMUNITY 2017

1-2018 YEAR, OVER 100 UNITS





56 Residence Building - Internal View

Hurstbourne Site



48 Residence Building - Internal View

Hurstbourne Site



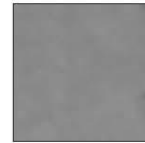
BRICK VENEER



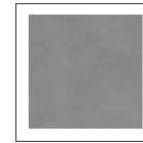
BRICK VENEER



HARDIE PANEL



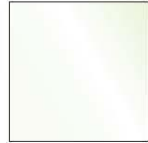
HARDIE PANEL



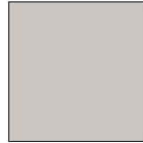
SPANDRELS



**ARCHITECTURAL
BRACKETS**



**DOWNSPOUTS
KYNAR FINISH**



**CASTSTONE
HEADER & SILLS**



**RAILING
ALUMINA CLASSIC STYLE
BLACK**



**BUILDING ENTRY
DOOR SYSTEM**

The drawings presented are illustrative of character and design intent only and are subject to change based upon final design considerations (i.e. applicable codes, structural and MEP design requirements, unit plan/floor plan changes, etc.).



48 Residence Building - Internal View



48 Residence Building - External View



48 Residence Building - End Views



58 Residence Building - External View



56 Residence Building - Internal View



56 Residence Building - External View

final report

January 8, 2018

Traffic Impact Study

*Hurstbourne Town Center
101 Whittington Parkway
Louisville, KY*

Prepared for

Louisville Metro Planning Commission

DIANE B. ZIMMERMAN
Traffic Engineering, LLC

12803 High Meadows Pkwy
Prospect, KY 40059
502.548.1858
diane.zim@aft.net



ANALYSIS

The qualitative measure of operation for a roadway facility or intersection is evaluated by assigning a “Level of Service”. Level of Service is a ranking scale from A through F, “A” is the best operating condition and “F” is the worst. Level of Service results depend upon the facility that is analyzed. In this case, the Level of Service is based upon the total delay experienced at an intersection.

To evaluate the impact of the proposed development, the vehicle delays at the intersections were determined using procedures detailed in the [Highway Capacity Manual](#), 6th edition. Future delays and Level of Service were determined for the intersections using the HCS Streets (version 7.4) software. The delays and Level of Service are summarized in **Table 2.**

Table 2. Peak Hour Level of Service

Approach	A.M.			P.M.		
	2017 Existing	2019 No Build	2019 Build	2017 Existing	2019 No Build	2019 Build
Shelbyville Road at Whittington Pkwy	B 18.0	B 18.8	C 21.8	D 53.5	D 57.5	E 63.9
Shelbyville Road Eastbound	B 18.6	B 17.4	B 18.1	D 40.4	D 48.4	E 60.3
Shelbyville Road Westbound	A 9.3	B 12.3	B 12.9	D 53.8	D 54.5	E 57.8
Whittington Pkwy Northbound	E 72.6	E 72.8	E 76.5	E 76.5	E 76.4	E 75.1
Whittington Pkwy Southbound	E 71.0	E 70.4	E 72.1	F 81.5	F 84.9	F 84.6
Shelbyville Road at Hurstbourne Pkwy	E 58.6	E 61.7	E 63.6	E 57.9	E 74.8	E 77.0
Shelbyville Road Eastbound	D 41.4	D 46.2	D 49.8	D 38.1	E 60.4	E 65.2
Shelbyville Road Westbound	E 57.0	E 66.1	E 71.4	F 91.0	F 137.6	F 139.4
Hurstbourne Pkwy Northbound	E 63.8	E 62.7	E 62.1	D 49.8	D 50.9	D 51.0
Hurstbourne Pkwy Southbound	E 72.7	E 71.4	E 70.0	E 60.6	E 61.5	E 62.4
Hurstbourne Pkwy at Whittington Pkwy	A 9.8	B 11.1	B 15.9	C 30.6	C 31.5	C 34.4
Whittington Pkwy Eastbound	E 78.1	E 76.9	E 73.3	E 73.6	E 73.7	E 77.6
Whittington Pkwy Westbound	E 76.6	E 75.7	E 72.0	E 60.7	E 59.3	E 59.6
Hurstbourne Pkwy Northbound	A 5.2	A 5.7	A 7.1	B 12.2	B 12.9	B 14.1

Hurstbourne Town Center
Traffic Impact Study

Approach	A.M.			P.M.		
	2017 Existing	2019 No Build	2019 Build	2017 Existing	2019 No Build	2019 Build
Hurstbourne Pkwy Southbound	A 3.9	A 7.6	B 14.5	D 35.6	D 37.1	D 39.1
PF Chang's at Whittington Pkwy						
Office Eastbound	B 11.4	B 12.4	B 14.5	B 13.5	B 14.3	C 19.8
PF Chang's Westbound	B 10.2	B 10.3	B 13.0	B 11.2	B 11.5	B 13.2
Whittington Pkwy Northbound (left)	A 8.0	A 8.1	A 8.2	A 7.9	A 7.9	A 8.1
Whittington Pkwy Southbound (left)	A 8.0	A 8.1	A 8.6	A 8.2	A 8.3	A 8.6
Leesgate Road at Whittington Pkwy	A 8.9	A 9.1	B 10.4	B 10.6	B 11.0	B 17.6
Leesgate Road Eastbound	A 8.8	A 9.0	B 10.0	B 10.3	B 10.7	D 53.4
Leesgate Road Westbound	A 8.8	A 8.9	B 11.2	B 10.3	B 10.6	E 59.2
Whittington Pkwy Northbound	A 8.8	A 8.9	B 10.0	B 10.5	B 10.9	B 13.8
Whittington Pkwy Southbound	A 9.1	A 9.3	B 10.5	B 10.8	B 11.3	B 13.5
Access Road at Whittington Pkwy						
Whittington Pkwy Eastbound (left)	A 8.1	A 8.2	A 8.5	A 7.7	A 7.7	A 8.1
Whittington Pkwy Westbound (left)	A 7.5	A 7.6	A 7.7	A 8.0	A 8.1	A 8.3
Bank Drive Northbound	A 7.5	A 8.2	A 8.8	A 8.2	A 8.2	A 8.4
Access Road Southbound	B 10.4	B 10.6	B 12.4	B 12.5	B 13.1	C 15.7

Key: Level of Service, Delay in seconds per vehicle

On-street parking has been proposed on the north side of Whittington Parkway between the access road and Leesgate Road. This will not impact the capacity of Whittington Parkway. It will aid in calming traffic in this section.

CONCLUSIONS

Based upon the volume of traffic generated by the development and the amount of traffic forecasted for the year 2021, there will be a manageable impact to the existing highway network, with Levels of Service remaining within acceptable limits. The delays experienced in the area will increase within acceptable limits, thus no improvements are recommended.